



# MONROE COUNTY GROWTH MANAGEMENT BUILDING DEPARTMENT BUILDING – FLOODPLAIN – DEVELOPMENTAL PERMIT

ISSUED	10/13/2016	PERMIT #	<b>16406491</b>												
APPLIED	08/24/2016	PERMIT TYPE	<b>PLUMBING</b>												
APPLIED VALUE	\$95430	Code 55													
SQ FT	0	PARCEL ID / RE #	0008171000000												
DEO DATE	EXEMPT	ADDRESS	100/120 NIRVANA LN - HR BUILDING KEY LARGO												
<b>LEGAL DESCRIPTION:</b> ISLAND OF KEY LARGO		OWNER	OCEAN REEF CLUB INC 35 OCEAN REEF DR STE 200 KEY LARGO, FL 33037 9043583362												
		MAIN Contractor ID= 11591	BELLINGHAM MARINE FLORIDA FLOATS INC DBA JACKSONVILLE, FL 32204 (904) 358-3362												
		<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 15%;">TYPE</th> <th style="width: 10%;">ID</th> <th style="width: 40%;">COMPANY NAME</th> <th style="width: 35%;">LICENSE</th> </tr> </thead> <tbody> <tr> <td>SUB-Contractor(s)</td> <td>EC</td> <td>11498 LOMAR ELECTRIC DESIGNS LLC</td> <td>EC 1337</td> </tr> <tr> <td></td> <td>PC</td> <td>13301 BELLINGHAM MARINE UTILITIES</td> <td>CF C1428781</td> </tr> </tbody> </table>		TYPE	ID	COMPANY NAME	LICENSE	SUB-Contractor(s)	EC	11498 LOMAR ELECTRIC DESIGNS LLC	EC 1337		PC	13301 BELLINGHAM MARINE UTILITIES	CF C1428781
TYPE	ID	COMPANY NAME	LICENSE												
SUB-Contractor(s)	EC	11498 LOMAR ELECTRIC DESIGNS LLC	EC 1337												
	PC	13301 BELLINGHAM MARINE UTILITIES	CF C1428781												

**JOB ADDRESS and CONDITIONS OF PERMIT:**

***No work within a right of way is authorized by this permit. A separate permit from the Monroe County Engineering Department for work within a County Right of Way or from the Florida Department of Transportation for work within a State Right of Way is required.***

100/120 NIRVANA LN - ORC  
PLUMBING  
NOTICE OF COMMENCEMENT REQUIRED  
\*\*\*\*\*  
PERMIT APPROVAL FOR THE INSTALLATION OF PLUMBING LINES FOR PUMP OUT FOR MARINA AS PER APPROVED PLANS.  
ELECTRICAL AND PLUMBING WORK INCLUDED THIS PERMIT.  
PLANNING DEPARTMENT DID NOT REVIEW THIS APPLICATION.  
THERE MAY BE DEVELOPMENT AND/OR LAND USE ISSUES ON THE SITE THAT ARE NO LONGER IN COMPLIANCE WITH A COUNTY REGULATION(S) OR ESTABLISHED UNLAWFULLY WITHOUT THE BENEFIT OF PROPER APPROVALS.  
APPROVAL OF THIS PERMIT DOES NOT DEEM ALL DEVELOPMENT AS CONFORMING OR DEEM UNLAWFUL DEVELOPMENT AS LAWFUL.

**Customer's INITIAL - acknowledgement of understanding all conditions provided on this page (not required on signature page):**

*[Handwritten Initial]*

PERMIT NUMBER:  
16406491



# MONROE COUNTY GROWTH MANAGEMENT BUILDING DEPARTMENT BUILDING – FLOODPLAIN – DEVELOPMENTAL PERMIT

THE GROWTH MANAGEMENT DIVISION RESERVES THE RIGHT TO REQUIRE THAT SUCH DEVELOPMENT BE BROUGHT INTO COMPLIANCE THROUGH THE PROPER APPROVAL PROCESS OR TERMINATED UPON FUTURE DISCOVERY.

Work in the right of way requires coordination with the Monroe County Public Works & Engineering Division. Work performed within the right of way may require a separate permit or approval in addition to a permit issued by the Monroe County Building Department and /or the utilities. It is the responsibility of the owner to obtain all required permits before starting work. Failure to obtain a right of way permit when required may result in work stoppages or penalties.

Contacts for right of way permits are:

Upper Keys at the Plantation Key Public Works Building; 88770 Overseas Highway; Tavernier FL 33070; ph 305/852-7161

Lower Keys at the Gato Building – Engineering Office; 1100 Simonton Street; Key west, FL 33040; ph 305/292-4426

NO OTHER WORK THIS PERMIT.

NO PLAN DEVIATION ALLOWED WITHOUT A REVISED PERMIT

INSPECTIONS REQUIRED PER PERMIT CARD.

ALL DEBRIS TO BE REMOVED TO A LEGAL DUMPSITE.

DEEMED NON-DEVELOPMENT. DEO EXEMPT.

**For detail plan review history for this permit refer to eGov ([http://egov.monroecounty-fl.gov/eGovPlus/entity/login\\_main.aspx](http://egov.monroecounty-fl.gov/eGovPlus/entity/login_main.aspx)); or ask staff for a detail printout.**

SAMPLE

**Customer's INITIAL - acknowledgement of understanding all conditions provided on this page (not required on signature page):**

PERMIT NUMBER:  
16406491



**MONROE COUNTY GROWTH MANAGEMENT BUILDING DEPARTMENT  
BUILDING – FLOODPLAIN – DEVELOPMENTAL  
PERMIT**

**INSPECTION(S) REQUIRED:** \_\_\_\_\_

**Minimally, the following inspections are required.**

The 199 - Building Final (if listed below) must be the last inspections requested after all other inspections have passed..

Please refer to inspection request directions on our website <http://www.monroecounty-fl.gov/index.aspx?NID=161>)

**699 - FINAL PLUMBING**

SAMPLE

*Customer's INITIAL - acknowledgement of understanding all conditions provided on this page (not required on signature page):*

PERMIT NUMBER:  
16406491



# MONROE COUNTY GROWTH MANAGEMENT BUILDING DEPARTMENT BUILDING – FLOODPLAIN – DEVELOPMENTAL PERMIT

**IMPORTANT INFORMATION:**

- **Floodplain Development, and Planning and Environmental Resources Permit:**  
This Permit serves as a Floodplain Development permit, under Chapter 122 of the Monroe County Land Development Code, as well as a Planning and Environmental Resources permit, under the Monroe County Land Development Code.

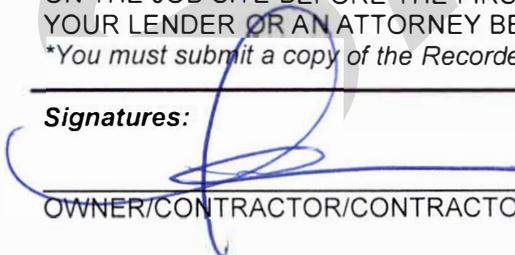
- **APPEAL PERIOD:**
  - **Local Appeal Expiration Date:**  
30 Days from 10/13/2016  
Building permit shall not be rendered until the time within which to file any local administrative appeals pursuant to local ordinances has expired. Work completed prior to the expiration of this local appeal period is at owner's risk.
  - **State Appeal Expiration Date (If applicable):**  
30 Days from 10/13/2016 + 45 Days from receipt of permit from Monroe County to the state.  
A development order shall not take effect or be acted upon by the developer until 45 days after rendition, unless a later date is specified in the order, and the effectiveness of a development order shall be stayed by the filing of a notice of appeal pursuant to Section 380.07, Florida Statutes. Whenever possible, local governments shall issue concurrently all local permits or development orders that may be applicable to the proposed development. Monroe County has up to 5 days to process and submit to state.

- **MONROE COUNTY, STATE OF FLORIDA, and other FEDERAL AGENCIES CODES:**
  - In consideration of the granting of this permit, it is agreed that in all respects the work will be performed and completed in accordance with the permitted plans and the applicable Building, Zoning and Environmental codes Monroe County, State of Florida and Federal agencies.
  - This permit may be revoked at any time upon the violation of any of the provisions of said laws, ordinances or rules and regulations or upon any change in the plans and specifications unauthorized by this department.
  - In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as Water Management Districts, State Agencies, and/or Federal Agencies.

- **EXPIRATION:**  
Permits shall expire and become null and void if work, as defined in this permit
  - is not commenced within 180 days from the date of issuance date and an approved inspection has not been obtained within 180 days, unless extended by the Building Official
  - or 180 days from the State Appeal date and does not meet 180 day inspections thereafter unless extended by the Building Official.

**WARNING TO OWNER:**  
YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED \* AND POSTED ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING YOUR NOTICE OF COMMENCEMENT.  
*\*You must submit a copy of the Recorded NOC with the Building Department before requesting first inspection.*

**Signatures:**

  
OWNER/CONTRACTOR/CONTRACTOR AGENT

  
BUILDING DEPARTMENT  
DATE 10/13/16

**Customer's INITIAL - acknowledgement of understanding all conditions provided on this page (not required on signature page):**

MONROE COUNTY, FL

11 ITEMS OF 11

PERMIT RECEIPT

OPERATOR: sebbenc  
COPY # : 1

Sec:7 Twp:59 Rng:41 Sub: Blk: Lot:4  
RE .....: 00081710000000

DATE ISSUED.....: 10/13/2016  
RECEIPT #.....: 04000001682  
REFERENCE ID # ...: 16406491  
NOTES .....

SITE ADDRESS .....: 100/120 NIRVANA LN - HR BUILDI  
SUBDIVISION .....:  
CITY .....: KEY LARGO  
IMPACT AREA .....

OWNER .....: OCEAN REEF CLUB INC  
ADDRESS .....: 35 OCEAN REEF DR STE 200  
CITY/STATE/ZIP ...: KEY LARGO, FL 33037

RECEIVED FROM .....: OCEAN REEF CLUB  
CONTRACTOR .....: THOMPSON, KEVIN MICHAEL LIC # 11591  
COMPANY .....: BELLINGHAM MARINE  
ADDRESS .....: 1813 DENNIS STREET  
CITY/STATE/ZIP ...: JACKSONVILLE, FL 32204  
TELEPHONE .....: (904) 358-3362

FEE ID	UNIT	QUANTITY	AMOUNT	PD-TO-DT	THIS REC	NEW BAL
OABLD2PR	VALUATION	95,430.00	818.80	818.50	0.30	0.00
OBBLD2PR	VALUATION	95,430.00	818.80	0.00	818.80	0.00
OBPLNEG5	VALUATION	95,430.00	639.38	0.00	639.38	0.00
CONT-INVES	FLAT RATE	1.00	11.00	0.00	11.00	0.00
DBPR	UNITS	1,637.60	22.11	0.00	22.11	0.00
DBPR RE ED	UNITS	1,637.60	2.46	0.00	2.46	0.00
DCA	UNITS	1,637.60	22.11	0.00	22.11	0.00
DCA RE ED	UNITS	1,637.60	2.46	0.00	2.46	0.00
E- 0 EDUC	FLAT RATE	1.00	2.00	0.00	2.00	0.00
P- 0 EDUC	FLAT RATE	1.00	2.00	0.00	2.00	0.00
PLAN ED	FLAT RATE	1.00	10.00	0.00	10.00	0.00
TOTAL PERMIT :			2351.12	818.50	1532.62	0.00

METHOD OF PAYMENT	AMOUNT	REFERENCE NUMBER
CHECK	1,532.62	310133-BANK OF AMERI
TOTAL RECEIPT :	1,532.62	



# Monroe County Growth Management Building Department

Middle Keys/Main Office: 2798 Overseas Highway, Marathon, (305) 289-2501  
Upper Keys offices: 102050 Overseas Hwy, Key Largo, (305) 453-8800  
Lower Keys offices: 5503 College Rd., Key West, (305) 295-3990

## SUB-CONTRACTOR AUTHORIZATION

<b>PERMIT #</b>	16406491
<b>PARCEL ID/RE #</b>	00081710-000000
<b>ADDRESS</b>	BEACH ROAD
<b>OWNER Name</b>	OCEAN REEF CLUB INC

**Name of Company:** LOMAR ELECTRIC DESIGNS LLC

This Company will be the sub identified below on the above referenced permit:

<input checked="" type="checkbox"/>	Electrical	<input checked="" type="checkbox"/>	Elevator
<input type="checkbox"/>	Plumbing	<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Pool	<input type="checkbox"/>	Roofing
<input type="checkbox"/>	Other:		

This letter authorizes GAY MARIE SMITHE  
(Print Name of Individual)

to apply, sign, and pick-up any and all documents pertaining to this permit related to the sub discipline noted above.

This authorization becomes effective on the date this affidavit is notarized, and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

The undersigned understands the liabilities involved in the granting of this agency and accepts full responsibility (thus hold Monroe County harmless) for any and all of the actions of the agent(s) named, related to the acquisition of permits for the aforementioned company.

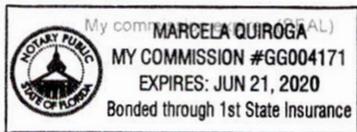
[Signature]  
Signature and Title of Authorized Sub-Contractor (QUALIFIER)

NOTARY:  
State of Florida  
County of Monroe

The foregoing instrument was acknowledged before me this 13 day of October 2016  
by Omar Lugo as the Qualifying Contractore  
(Print Name of Qualifier of Company)  
for Lomar Electric Designs  
(Company Name of Qualifier - not of agent)

Personally known  or produced identification \_\_\_\_\_ in the form of \_\_\_\_\_ e \_\_\_\_\_

[Signature]  
Signature of Notary Public - State of Florida





# Monroe County Growth Management Building Department

Middle Keys/Main Office: 2798 Overseas Highway, Marathon, (305) 289-2501  
Upper Keys offices: 102050 Overseas Hwy., Key Largo, (305) 453-8800  
Lower Keys offices: 5503 College Rd., Key West, (305) 295-3990

## SUB-CONTRACTOR AUTHORIZATION

<b>PERMIT #</b>	16406491
<b>PARCEL ID/RE #</b>	00081710-000000
<b>ADDRESS</b>	BEACH ROAD
<b>OWNER Name</b>	OCEAN REEF CLUB INC

**Name of Company:** BELLINGHAM MARINE UTILITIES

This Company will be the sub identified below on the above referenced permit:

<input type="checkbox"/>	Electrical	<input type="checkbox"/>	Elevator
<input checked="" type="checkbox"/>	Plumbing	<input type="checkbox"/>	Mechanical
<input type="checkbox"/>	Pool	<input type="checkbox"/>	Roofing
<input type="checkbox"/>	Other:		

This letter authorizes GAY MARIE SMITH  
(Print Name of Individual)

to apply, sign, and pick-up any and all documents pertaining to this permit related to the sub discipline noted above.

This authorization becomes effective on the date this affidavit is notarized, and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated.

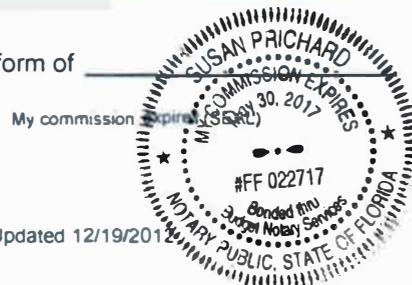
The undersigned understands the liabilities involved in the granting of this agency and accepts full responsibility (thus hold Monroe County harmless) for any and all of the actions of the agent(s) named, related to the acquisition of permits for the aforementioned company.

[Signature]  
Signature and Title of Authorized Sub-Contractor (QUALIFIER)

NOTARY:  
State of Florida  
County of Monroe

The foregoing instrument was acknowledged before me this 13 day of October, 20 16  
by Robert McInnis as the Qualifying Contractor  
(Print Name of Qualifier of Company)  
for Bellingham Marine Utilities  
(Company Name of Qualifier - not of agent)

Personally known [Signature] or produced identification \_\_\_\_\_ in the form of \_\_\_\_\_  
[Signature]  
Signature of Notary Public - State of Florida



MONROE COUNTY, FL

ITEM 1 OF 1

PERMIT RECEIPT

OPERATOR: sebbenc  
COPY # : 1

Sec:7 Twp:59 Rng:41 Sub: Blk: Lot:4  
RE .....: 00081710000000

DATE ISSUED.....: 09/29/2016  
RECEIPT #.....: 04000001639  
REFERENCE ID # ...: 16406491  
NOTES .....

SITE ADDRESS .....: 100/120 NIRVANA LN - HR BUILDI  
SUBDIVISION .....:  
CITY .....: KEY LARGO  
IMPACT AREA .....

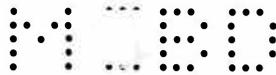
OWNER .....: OCEAN REEF CLUB INC  
ADDRESS .....: 35 OCEAN REEF DR STE 200  
CITY/STATE/ZIP ...: KEY LARGO, FL 33037

RECEIVED FROM .....: BELLINGHAM MARINE  
CONTRACTOR .....: THOMPSON, KEVIN MICHAEL LIC # 11591  
COMPANY .....: BELLINGHAM MARINE  
ADDRESS .....: 1813 DENNIS STREET  
CITY/STATE/ZIP ...: JACKSONVILLE, FL 32204  
TELEPHONE .....: (904) 358-3362

FEE ID	UNIT	QUANTITY	AMOUNT	PD-TO-DT	THIS REC	NEW BAL
REVCORPG	UNITS	1.00	10.00	0.00	10.00	0.00
TOTAL PERMIT :			10.00	0.00	10.00	0.00
METHOD OF PAYMENT	AMOUNT	REFERENCE NUMBER				
CHECK	10.00	12575-SUNTRUST				
TOTAL RECEIPT :		10.00				



BUILDING - FLOODPLAIN - DEVELOPMENT PERMIT APPLICATION  
 MONROE COUNTY FLORIDA  
 (Effective 6/1/16)



INTERNAL USE ONLY	DATE: 8-24-16	Rec'd by: CS	PERMIT # 16406491
	<input type="checkbox"/> Emergency <input type="checkbox"/> Fast Track <input type="checkbox"/> Over Counter <input type="checkbox"/> DEMO ( <input type="checkbox"/> Asbestos ) <input type="checkbox"/> Revision ( A - B - C - D )		YEAR BUILT
	<input type="checkbox"/> ROGO (RES) <input type="checkbox"/> NROGO (COM) <input type="checkbox"/> AFH		(Per Property Appraiser web)
			BLD Value

**JOB SITE INFORMATION:**

RE# 0081710-000000 / (Parcel id#) 00569480-000400/000100	Jobe 31 OCEAN REEF DRIVE
Legal Lot/Block/Unit	Address:e
Description LENGTHYe	Location Key KEY LARGO MM 905
	Information: Subdiv OCEAN REEF PLAT NO 1

**OWNER INFORMATION:**

**OWNER BUILDER:** ALL OWNER BUILDERS MUST APPEAR IN PERSON - F.S.489.103(7) Check if Owner Builder >>>

Name and Mailing Address	Email	Phone: ( 305 )
OCEAN REEF CLUB INC 35 OCEAN REEF DRIVE STE 200 KEY LARGO, FL 33037		
Fee Simple Titleholder (if applicable-other than owner)	Name and Mailing Address	Phone: ( )
	NA	
Mortgage Lender	Name and Mailing Address	
	NA	

**CONTRACTOR INFORMATION:**

*Any change in contractor information must be provided on "Qualifier/Contractor/Address Change Form"*

Company Name and Mailing Address	Email	Phone:
BELLINGHAM MARINE 1813 DENNIS STREET JACKSONVILLE, FL 32204		(904)858 - 3362e
Qualifier	Name	License #
KEVIN MICHAEL THOMPSON	KEVIN MICHAEL THOMPSON	CGC 1506623

**OTHER PROFESSIONAL INFORMATION:**

Drawings by	Name and Mailing Address	Email	Phone:
Architect / Engineer/ Contractor	BELLINGHAM MARINE JACKSONVILLE, FL		(904)858 - 3362e
Private Provider	Name and Mailing Address	Email	Phone:
NA			

Type of Service:     Plan Review & Inspections     Plan Review only     Inspections onlye

Agent	Name and Mailing Address	Email	Phone:
GAY MARIE SMITH		gaymarie21@yahoo.com	(305)894 - 8004e

Bonding Company	Company Name and Mailing Address
NA	

Debris Removed by  Applicant  Specialty Contractor - Name >

**SUB CONTRACTOR(s) Name/License # (if applicable): Provide Sub Contractor Authorization for each**

ELECTRICAL - TBD	PLUMBING - TBD

**SUBMITTED WITH APPLICATION:**

- TWO (2) SETS of PLANS \*  
 Contract Statement displaying legitimate total cost
- Environmental (Page 4)  
 Residential Site Plan Checklist
- ATF (Page 5)

\* All plans prepared shall have the preparer's signature, printed name, date and contact information printed on them.  
 Acceptable preparers: architects, engineers, qualifier for contractor business or owner if owner builder permit.

**JOB DETAILS:**

Please be advised that for work not indicated, that is later determined by examination of plans or onsite, required fees related to that discipline will be charged following the "Work Commencing Before Permit Issuance" penalty fee policy. (Fee Resolution Section G; MC Code Ch 6).

**TOTAL COST FOR WORK: \$ \$95,430.00**

*Please Note:  
 Job value provided may be audited using ICC Building Valuation Data methodology*

**Estimated Total Sq Ft:**

TYPE:	CHANGE IN OCCUPANCY/USE:	LOCATION ON PROPERTY:	WILL NEW GROUND BE DISTURBED W/ DEVELOPMENT?	CONSTRUCTION:
<input type="checkbox"/> Residential/Duplex/MH <input checked="" type="checkbox"/> Commercial / MultiFam	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	<input type="checkbox"/> Interior <input checked="" type="checkbox"/> Exterior <input type="checkbox"/> BOTH	(Change in footprint): <input type="checkbox"/> Yes (ENVIR) <input checked="" type="checkbox"/> No	<input type="checkbox"/> New <input checked="" type="checkbox"/> Repair/Renov.

**SUBS - WORK Acknowledgment:**

**ELECTRIC:**  No  Yes  
**MECH/FUEL/GAS:**  No  Yes  
 Elevator:  Yes  
**PLUMBING:**  No  Yes

AC REPLACEMENT	Plumbing Sewer Lateral Tie In	Electric Permit Associated w/ Plumbing Sewer Lateral Tie In
Same Location (inside footprint): <input type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> Condenser Only <input type="checkbox"/> Air Handler & Condenser (Calcs reqd) <input type="checkbox"/> Package Unit <b>TONNAGE:</b> Current: Proposed: <b>SEER:</b> Current: Proposed:	<input type="checkbox"/> Grinder Pump <input type="checkbox"/> Lift Station <input type="checkbox"/> Gravity <input type="checkbox"/> Residential/Duplex/MH <input type="checkbox"/> Commercial / MultiFam	<input type="checkbox"/> Grinder Pump <input type="checkbox"/> Lift Station

DEMO	FENCE	RECONNECT/ SAFETY ELECTRICAL	ROOF	SIGN	SOLAR UNIT	SPA
<input type="checkbox"/> Full / All of Structure <input checked="" type="checkbox"/> Partial (Detail Below) (PLAN)	<b>LOCATION:</b> <input type="checkbox"/> YES <input type="checkbox"/> NO <b>FENCE TYPE:</b> <input type="checkbox"/> Concrete <input type="checkbox"/> With Electric <input type="checkbox"/> Chain/Iron/Wood/PVC	<input type="checkbox"/> YES	<input type="checkbox"/> New <input type="checkbox"/> Re-Roof <input type="checkbox"/> Re-Cover	<input type="checkbox"/> Change of Face/ Copy Only (NoEXAM) <input type="checkbox"/> Construction Change	<input type="checkbox"/> Photo-voltaic (No PLUMB)	<input type="checkbox"/> Portable <input type="checkbox"/> Inside footprint (No ENVIR)

**DETAIL SCOPE OF WORK:**

INSTALLATION OF PLUMBING LINES FOR PUMP OUT FOR MARINA

**JOBS INVOLVING ENVIRONMENTAL COMPONENTS: MUST submit PAGE 4 of Application**  
 (Boat Davits-Lifts, Docking Facility, Dock/Seawall Repair, Seawall (w/o Dock), Retaining Wall, Clearing/Grubbing, Dredging, Excavation, Fill, Riprap, Hazardous Tree, Invasive Exotics, Tree Rem/Trim, Landscaping, and Land Development Permit for Chickees by Miccosukee or Seminole Indians)

**WORK COMMENCING WITHOUT PERMIT (ATF): MUST submit PAGE 5 of Application**

Floodplain Information can be found online FEMA Flood Map Service Center (<https://msc.fema.gov/portal>)

**WARNING TO OWNER**

YOUR FAILURE TO RECORD A NOTICE OF COMMENCEMENT MAY RESULT IN YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN ATTORNEY BEFORE RECORDING NOTICE OF COMMENCEMENT.  
(FL Building Code 105.8)

A certified copy of the recorded Notice of Commencement or a notarized statement from the owner of the property or the owner's authorized agent (including any contractor that has been authorized below) stating that a Notice of Commencement has been filed for recording to the Monroe County Clerk's Office for recording along with a copy of the Notice of Commencement submitted for recording, must be submitted to Building Department and posted on the job site before the first inspection. (FS 713.13(1)(a), 713.13(1)(d))

**ASBESTOS AGREEMENT: (Initial If Applicable: \_\_\_\_\_)**

As owner/contractor/agent of record for the construction applied for in this application, I agree that I will comply with the provisions of the Florida Statute 469.003 and to notify the DEP of my intent to demolish/remove a structure at the above address and remove asbestos, when applicable, in accordance with state and federal law.

**SOLID WASTE ASSESSMENT:**

Upon completion of the project for which I have made application for a Building Permit, I must pay the pro-rated residential solid waste assessment, or show proof of commercial service with a franchised commercial collector prior to issued Certificate of Occupancy.

**OUTSIDE LOCAL, STATE and FEDERAL AGENCIES:**

In addition to the requirements of this permit, there may be additional restrictions applicable to this property that may be found in the public records of this county, and there may be additional permits required from other governmental entities such as water management districts, state agencies or federal agencies."

**OWNER'S AFFIDAVIT:**

- eApplication is hereby made to obtain a permit to do the work and installations as indicated.e
- el certify that no work or installation has commenced prior to the issuance of a permit and that all work will be performed to meet the standards of all laws regulating construction in this jurisdiction.e
- el understand that a separate permit (sub on a permit) must be secured for Electrical, Plumbing, Signs, A/C, etc. as appropriate.e
- el hereby certify that all of the foregoing information is accurate and that all work will be done in compliance with all applicable laws regulating construction and zoning.e
- eThe homeowner hereby expressly acknowledges and agrees that it is the responsibility of the homeowner to ensure all permits are closed following final inspections and failure to do so may likely interfere with homeowner's ability to sell the property identified in the permit.e
- el understand that permit fees paid upon submission of application are non-refundablee

Owner (print): by Tony Jordan General Counsel

Qualifier (print): Kevin Thompson

Signature: Tony Jordan

Signature: [Handwritten Signature]

Date: 8-19-2016

Date: 8/19/16

NOTARY Signature as to Owner: LuAnn V. Lowen

NOTARY Signature as to Qualifier: Audrey J. Stefanowitz

This 19 day of August, 2016, he/she is personally known to me or has produced \_\_\_\_\_ as identification and who did (did not) take an oath.

This 19th day of August, 2016, he/she is personally known to me or has \_\_\_\_\_ as identification and who \_\_\_\_\_

My Commission Expires on:



My Commission Expires on:





FLORIDA DEPARTMENT OF STATE  
DIVISION OF CORPORATIONS



### Detail by Entity Name

Florida Not For Profit Corporation

OCEAN REEF CLUB, INC.

Filing Information

Document Number	N92000000498
FEI/EIN Number	65-0371142
Date Filed	11/30/1992
State	FL
Status	ACTIVE
Last Event	AMENDED AND RESTATED ARTICLES
Event Date Filed	01/26/2006
Event Effective Date	NONE

Principal Address

35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Changed: 01/10/2003

Mailing Address

35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Changed: 07/15/2010

Registered Agent Name & Address

Bogdan, Robert A  
35 OCEAN REEF DR  
STE 200 EO  
KEY LARGO, FL 33037

Name Changed: 04/30/2014

Address Changed: 04/13/2006

Officer/Director Detail

**Name & Address**

Title CTD

SCHMETTERER, ROBERT A  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title VC

HOLMES, TERESA A  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title P

LEEMHUIS, MICHAEL G  
35 OCEAN REEF DR STE 200 EO  
KEY LARGO, FL 33037

Title VP, Asst. Treasurer

FRANKLIN, RUFORD DII  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title VP

Gunkel, Robert C  
35 OCEAN REEF DRIVE, STE EO 200  
KEY LARGO, FL 33037

Title VP

Lyberger, John  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title VP

Melis, Giovanni  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title VP

Weinstein, Richard K  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

Title Secretary, GC



Bogdan, Robert A  
35 OCEAN REEF DRIVE  
SUITE 200  
KEY LARGO, FL 33037

### Annual Reports

Report Year	Filed Date
2015	01/05/2015
2015	10/27/2015
2016	04/26/2016

### Document Images

<a href="#">04/26/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">10/27/2015 -- AMENDED ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/05/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/30/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/27/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/17/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/19/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/15/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/23/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/22/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/20/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/19/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/12/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/13/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/26/2006 -- Amended and Restated Articles</a>	<a href="#">View image in PDF format</a>
<a href="#">07/13/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/05/2004 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/10/2003 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/14/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/14/2001 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/01/2000 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/23/1999 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/20/1998 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/1997 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/08/1996 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/18/1995 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>

MONROE COUNTY, FL

ITEM 1 OF 1

PERMIT RECEIPT

OPERATOR: sebbenc  
COPY # : 1

Sec:07 Twp:59 Rng:41 Sub: Blk: Lot:  
RE .....: 00569480000400

DATE ISSUED.....: 08/24/2016  
RECEIPT #.....: 04000001511  
REFERENCE ID # ...: 16406491  
NOTES .....

SITE ADDRESS .....: 31 OCEAN REEF DR  
SUBDIVISION .....:  
CITY .....: KEY LARGO  
IMPACT AREA .....

OWNER .....: OCEAN REEF MARINA CONDO IV  
ADDRESS .....: 120 ANCHOR DRIVE  
CITY/STATE/ZIP ...: KEY LARGO, FL 33037

RECEIVED FROM .....: BELLINGHAM MARINE  
CONTRACTOR .....: THOMPSON, KEVIN MICHAEL LIC # 11591  
COMPANY .....: BELLINGHAM MARINE  
ADDRESS .....: 1813 DENNIS STREET  
CITY/STATE/ZIP ...: JACKSONVILLE, FL 32204  
TELEPHONE .....: (904) 358-3362

FEE ID	UNIT	QUANTITY	AMOUNT	PD-TO-DT	THIS REC	NEW BAL
0ABLD2PR	VALUATION	95,430.00	818.80	0.00	818.50	0.30
TOTAL PERMIT :			818.80	0.00	818.50	0.30
METHOD OF PAYMENT	AMOUNT	REFERENCE NUMBER				
CHECK	818.50	12493-SUNTRUST				
TOTAL RECEIPT :		818.50				

NOTICE OF COMMENCEMENT

Doc# 2089572 08/29/2016 1:54PM
Filed & Recorded in Official Records of
MONROE COUNTY AMY HEAVILIN

A RECORDED COPY MUST BE POSTED ON THE JOB SITE AT TIME OF FIRST INSPECTION
A Notice of Commencement must be filed with Clerk of Court, and recorded copy submitted to Building Department prior to
first inspection, if the job valuation is \$2,500 or more (FS Section 713.02(5)). This does not apply to a direct contract to
REPAIR or REPLACE an EXISTING heating or air-conditioning system in the an amount less than \$7,500 (FS Section
713.135(d)), or to any political subdivision, agency, or department of the state, a municipality, or other governmental
entity.(FS 713.01(23))

Doc# 2089572
Bk# 2813 Pg# 253

PERMIT NO. 1640691 TAX FOLIO NC. 00081710.000000
00569480-000400/000100

STATE OF FLORIDA, COUNTY OF MONROE

THE UNDERSIGNED hereby gives notice that improvement will be made to certain real property,
and in accordance with Chapter 713, Florida Statutes, the following information is provided in this
Notice of Commencement.

Space above reserved for use of recording office.

PREPARED BY (Name and Address):

Gay Marie Smith
PO Box 1638
Tavernier, FL 33070

- 1. Legal description of property: Lengthy Block Bldo # Unit #
Subdivision Ocean Reef Beach 1
Street address if available: Beach Road
2. General description of improvement: Installation of Plumbing Lines for Pump Out
3. a. Owner(s), or Lessee Contracted for Improvement Name: Ocean Reef Club Inc
Address: 35 Ocean Reef Drive Ste 200 Key Largo, FL
b. Interest in property: Owner
c. Name and address of fee simple titleholder: N/A
4. a. Contractor's Name: Bellingham Marine b. Phone number:
Address: 1813 Dennis Stret, Jacksonville, FL
5. Surety (if applicable, a copy of the payment bond is attached): c. Amount of Bond \$
a. Name: N/A b. Phone number
6. a. Lender's Name: N/A b. Phone number
7. Persons within the State of Florida designated by Owner upon whom notices or other documents may be served as provided by Section
713.13(1)(a)7., Florida Statutes: a. Name: N/A
b. Phone numbers of designated persons:
8. a. In addition to himself/herself, Owners designates N/A of
to receive a copy of the Lienor's Notice as provided in Section 713.13(1)(b), Florida Statutes
b. Phone number of person or entity designated by owner:
9. Expiration date of this Notice of Commencement: (the expiration date is 1 year from the date of recording unless a different date is specified).



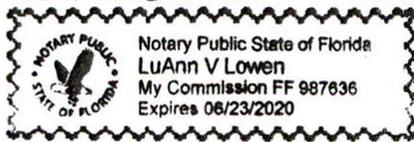
WARNING TO OWNER: ANY PAYMENTS MADE BY THE OWNER AFTER THE EXPIRATION OF THE NOTICE OF COMMENCEMENT ARE
CONSIDERED IMPROPER PAYMENTS UNDER CHAPTER 713, PART 1, SECTION 713.13, FLORIDA STATUTES, AND CAN RESULT IN
YOUR PAYING TWICE FOR IMPROVEMENTS TO YOUR PROPERTY. A NOTICE OF COMMENCEMENT MUST BE RECORDED AND POSTED
ON THE JOB SITE BEFORE THE FIRST INSPECTION. IF YOU INTEND TO OBTAIN FINANCING, CONSULT WITH YOUR LENDER OR AN
ATTORNEY BEFORE COMMENCING WORK OR RECORDING YOUR NOTICE OF COMMENCEMENT.

VERIFICATION PURSUANT TO SECTION 92.525, FLORIDA STATUTES

Under penalties of perjury, I declare that I have read the foregoing and that the facts stated in it are true, to the best of my knowledge and belief.

Signature(s) of Owner(s) or Lessee, or Owner(s)' or Lessee's Authorized Officer/Director/Partner/Manager
Print Name Tony Bigdan Title/Office General Counsel and Secretary
Print Name Title/Office

STATE OF Florida COUNTY OF Monroe
The foregoing instrument was acknowledged before me this 19 day of August 2016 By Tony Bigdan
as General Counsel + Secretary for Ocean Reef Club
Personally known, or produced the following type of identification:
Signature of Notary Public: LuAnn V. Lowen Print Name: LuAnn V. Lowen





# MONROE COUNTY BUILDING DEPARTMENT

## NOTICE OF COMMENCEMENT FILING AFFIDAVIT

Property Address: BEACH ROAD - OCEAN REEF CLUB  
 Legal Description: LENGTHY LEGAL  
 Parcel/Folio ID #: 00569480-000000  
 Permit Number: 16406491

I, Gay Marie Smith, owner/agent hereby attest to the fact that the Notice of Commencement for the property and permit listed above has been filed with the Monroe County Clerk of the Court and hereby attach a true and correct copy of the same.

**NOTE:** Owner's Authorized Agent includes any contractor that has been authorized on a building permit application submitted for the permit listed above.

  
 (SIGNATURE OF OWNER/Authorized Agent - CONTRACTOR)



NOTARY PUBLIC: State of Florida County of Monroe

The foregoing instrument was acknowledged before me this 19 day of Oct, 20 16.

Personally known  or produced identification in the form of \_\_\_\_\_.

Signature of Notary Public: 

My commission expires (SEAL) 11-29-16.

Permitting  
DATE: 10/04/2016  
TIME: 11:05:14

MONROE COUNTY  
Permit Status

PAGE NUMBER: 1  
MODULE : permit

=====

BASIC INFORMATION :

=====

Permit no : 16406491 Status : OPEN Apply date : 08/24/16  
Master no : Permit issued:  
CO issued : CO number :  
Project :  
RE : 00081710000000-  
Address : 100/120 NIRVANA LN - HR BUILDING KEY LARGO FL 33037  
Owner(s) : OCEAN REEF CLUB INC  
Owner Addr : 35 OCEAN REEF DR STE 200 KEY LARGO FL 33037  
Permit Type: 55 C404 Type :  
Usage Class: COM Appl. Valua: 95430  
Input Quan: 0 Calc Valuat: 0  
General Cont: 11591 BELLINGHAM MARINE

=====

FEES :

=====

FEE ID	QUANTITY	FEE	PAID	CREDITS	BALANCE
OABLD2PR	95430	818.80	818.50	.00	.30
OBBLD2PR	95430	818.80	.00	.00	818.80
OBPLNEG5	95430	639.38	.00	.00	639.38
CONT-INVES	1	11.00	.00	.00	11.00
DBPR	1638	22.11	.00	.00	22.11
DBPR RE ED	1638	2.46	.00	.00	2.46
DCA	1638	22.11	.00	.00	22.11
DCA RE ED	1638	2.46	.00	.00	2.46
E- 0 EDUC	1	2.00	.00	.00	2.00
P- 0 EDUC	1	2.00	.00	.00	2.00
PLAN ED	1	10.00	.00	.00	10.00
REVCORPG	1	10.00	10.00	.00	.00
TOTALS		2,361.12	828.50	.00	1,532.62

=====

RECEIPTS :

=====

RECEIPT NO	DATE	S	AMOUNT
40001511	08/24/16	O	818.50
40001639	09/29/16	O	10.00

**Sebben-Crystal**

---

**From:** Sebben-Crystal  
**Sent:** Tuesday, October 04, 2016 11:08 AM  
**To:** Gay Marie Smith (gaymarie21@yahoo.com)  
**Subject:** Monroe County, FL- Building Permit READY Notice - 16406491

**MONROE COUNTY BUILDING DEPARTMENT**

Key Largo: 305-453-8800 / Marathon: 305-289-2501 / Stock Island: 305-295-3990/Ocean Reef: 305-453-8765

**PERMIT #** 16406491  
**OWNER:** Ocean Reef Club Inc.  
**PROPERTY ADDRESS:** 100/120 Nirvana Ln.  
**CONTRACTOR:** Bellingham Marine  
**FEES DUE:** 1532.62 (Fees are subject to change.)

Dear Sir or Madam:

Please, be advised that the above-referenced permit has been approved and is ready for issuance. The following documents/information will be required at the time of permit issuance:

Need Sub Contractor Sign on Letters for Electrical and Plumbing.

(If this box is checked, this permit has been deemed development, requiring review by the Department of Economic Opportunity, and is subject to the local 30-day and stated 45-day appeal periods. Construction may begin 75 days after the date the permit is issued. No construction may occur prior to the end of the local and state appeal periods.)

The permit may be retrieved by the property owner (owner-builder permits), contractor (contractor permits) or authorized agent (contractor permits only) at the following location:

<p><b>Monroe County Building Department Key Largo Office</b> Murray D. Nelson Government and Cultural Center 102050 Overseas Highway Key Largo, FL 33037</p>
--

<p><b>Monroe County Building Department Marathon Office</b> 2798 Overseas Highway Suite 330 Marathon, FL 33050</p>
--

<p><b>Monroe County Building Department Stock Island Office</b> 5503 College Road Suite 203 Key West, FL 33040</p>
--

Building Department hours of operation are Monday – Friday, 8:30 a.m. to 3:00 p.m.

All required documents, information and fees are due prior to permit issuance. Please, note that fees due may be subject to change at the time of permit issuance. Fees may be paid in the form of cash, check or money order. Checks and money orders should be made payable to Monroe County Building Department.

If you should have any questions or concerns pertaining to the above-noted information, please contact or visit the appropriate office designated above.

Sincerely,

Crystal Sebben  
Senior Coordinator-Permitting  
Monroe County Building Department  
Ocean Reef  
11601 CR 905  
Key Largo FL 33037  
Ph: 305-453-8765

SAMPLE

**Monroe County Property Record Card** (073)

**Alternate Key:** 1089061

**Roll Year** 2016

**Effective Date:** 8/16/2016 1:36:12 PM

**Run:** 08/16/2016 01:36 PM

OCEAN REEF CLUB INC  
 CARE OF: ACCOUNTING DEPARTMENT  
 35 OCEAN REEF DR STE 200  
 KEY LARGO FL 33037-5259

**Parcel** 00081710-000000-07-59-41    **Nbhd** 10011  
**Alt Key** 1089061    **Mill Group** 500R  
**Affordable Housing No**    **PC** 7700  
**FEMA Injunction**  
**Inspect Date** Feb 12, 2016    **Next Review**  
**Business Name** OCEAN REEF ASSOCIATE COMPLEX  
**Physical Addr** 120 NIRVANA LN, OCEAN REEF STAFF HOUSING, OCEAN REEF  
 100 NIRVANA LN, OCEAN REEF

**Associated Names**

Name	DBA	Role
ACCOUNTING DEPARTMENT,		C/O
OCEAN REEF CLUB INC,		Owner

**Legal Description**

7 59 41 ISLAND OF KEY LARGO PB4-83 PT GOV LT 4 AND PT SW1/4 (9.70 AC) G19-71 G55-68/69 G55-105/106 G67-441 G68-172 OR297-471 OR298-535 OR435-855/861 OR571-919QC OR594-631QC OR1020-1158 OR1247-1856/1876 OR1339-255/258 OR2680-522/524Q/C

**Land Data** 1.

Line ID	Use	Front	Depth	Notes	# Units	Type	SOH %	Rate	Depth	Loc	Shp	Phys	Class	ROGO	Class Value	Just Value
01	100D	0	0	No	9.70	AC	0.00		1.00	1.00	1.00	1.00		N		
<b>Total Just Value</b>																



900-Series Peristaltic Pump / M55 – 5HP Specifications

**Standard Performance:**

Volume.....55 GPM / 208 LPM  
Dry Suction Lift.....29ft / 8.8 m  
Vacuum Rating.....29 Hg / -9.5 bar  
Discharge Head.....103 ft / 31 m  
Discharge Pressure.....45 Psi / 3.0 bar

**Maximum Performance:**

Volume.....80 GPM / 302 LPM  
Dry Suction Lift .....29 ft / 8.8 m  
Vacuum Rating.....29 Hg / -9.5 bar  
Discharge Head .....550 ft / 161 m  
Discharge Pressure.....240 Psi / 16 bar

**Standard Features:**

5-HP TEFC Baldor Electric Motor  
316 – Stainless Steel Pump Frame  
Aluminum Pump Housing (Epoxy Coated)  
Clear Acrylic Viewing Window  
Oil Free Pump Housing  
Factory Installed Suction & Discharge Plumbing  
Direct Drive, Maintenance Free Gearbox  
Leak Detection with Auto Pump Shutdown  
Integrated Vacuum Relief Valve  
NEMA 4X Non Metallic Control Panel  
Textile Reinforced Internal Hose Element  
Integrated Solid State Adjustable Run-Timer  
NEMA 4X Hour Meter

**Optional Features:**

UL Listed NEMA 4X Control Panel  
Variable Speed Pump Controller  
Explosion Proof Leak Detector  
Explosion Proof Electric Motor  
Main Power Disconnect Switch  
Fiberglass, Stainless or Aluminum Pump Enclosure  
MarineSync Remote Monitoring  
Extended Warranty

**Dimensions:**

Pump – 32"x27"x40" @ 385lbs  
Fiberglass Enclosure – 40"x40"x45" @ 35lbs

**Applications:**

- Marine / Recreational PumpOuts
- Bilge PumpOuts
- Forward Lift Stations

**Design Consideration:**

- Pump body shall be constructed of cast aluminum.
- Pump frame shall be constructed of 316 stainless steel.
- Pump body shall NOT be filled with a lubricant bath.
- Pump shall be equipped with a direct drive gearbox (Belts, pulleys or couplers shall NOT be accepted)
- Pump shall be equipped with a natural rubber or nitrile internal hose with an inside diameter of 55mm.
- Pump shall be equipped with two hi-efficiency rollers that gradually compress the elastomeric peristaltic hose.
- Pump rollers shall feature permanently sealed stainless steel bearings with double lipped oil seals.
- Pump rotor shall be supported by double-shaft bearings protected by double lipped oil seals.
- Pump rotor shall provide storage capability for roller for long-term storage and/or winterization.
- Peristaltic hose and rollers shall be visible through a 22" clear acrylic site window.
- Pump shall be equipped with suction & discharge plumbing manifolds with unions for quick disconnect.
- Pump shall include a vacuum gauge and ball valve on the suction manifold for isolating and testing.
- Leak detection shall instantly disable motor if the peristaltic hose ruptures.
- Pump shall come equipped with an electronic hour meter, displaying hours and decimal hours.

16406496  
16406491  
File





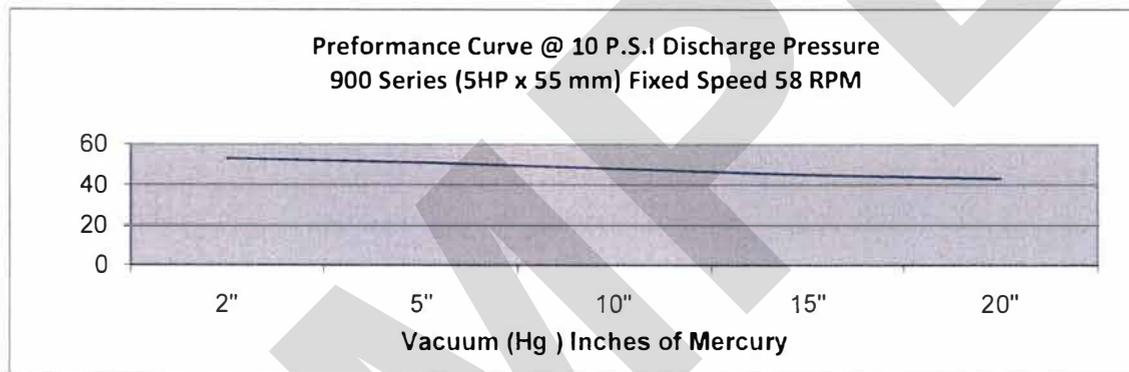
Call Toll Free **800.900.PUMP**  
 ph. 619.298.3800 | fax: 619.298.3300

**Pump it, Don't Dump it!™**

**900-Series Peristaltic Pump / M55 – 5HP Specifications**

**Suction:** Performance curve above indicates flow rates are impacted by more by suction lift than discharge head. The pump curve indicates the 900 series peristaltic (55mm) pump will pump between 55-gpm and 48-gpm at 2-ft. and 10-ft. suction lift respectively. This does not take into friction loss in suction piping or fittings. Additionally, pockets of air are common in suction and discharge piping which will dramatically affect volumes and velocities of fluids being pumped. Always consult factory with pump application / sizing inquiries.

**Discharge:** The peristaltic pump is a positive displacement pump, with pulses of 2.20 times greater than average flow, or approximately 110 GPM if actual flow is 50 GPM. When calculating discharge pressure requirement, assume the higher flow rate (actual x 2.2) when determining discharge dynamic head.



Suction Capabilities	Model 900R (55 mm) 5 HP	Discharge Capabilities	Model 900R (55 mm) 5 HP
	29 HG - 45 PSI		45 PSI - 55 GPM
Lift	Horizontal Distance 2" (LF)	Head	Horizontal Distance 3" (LF)
23'	100'	280'	*
21'	250'	200'	*
19'	325'	180'	*
16'	450'	160'	*
13'	525'	140'	*
11'	675'	120'	*
9'	725'	100'	50'
7'	850'	90'	150'
5'	975'	80'	300'
3'	1125'	70'	500'
0'	1500'	60'	750'
		50'	950'
		40'	1150'
		30'	1350'
		20'	1600'
		10'	1800'
		0'	2000'

Chart Reflects Approximate 2" Suction x 3" Discharge Maximum Pipe Distances. Elbows, Fittings & Valves Have Not Been Taken Into Consideration.

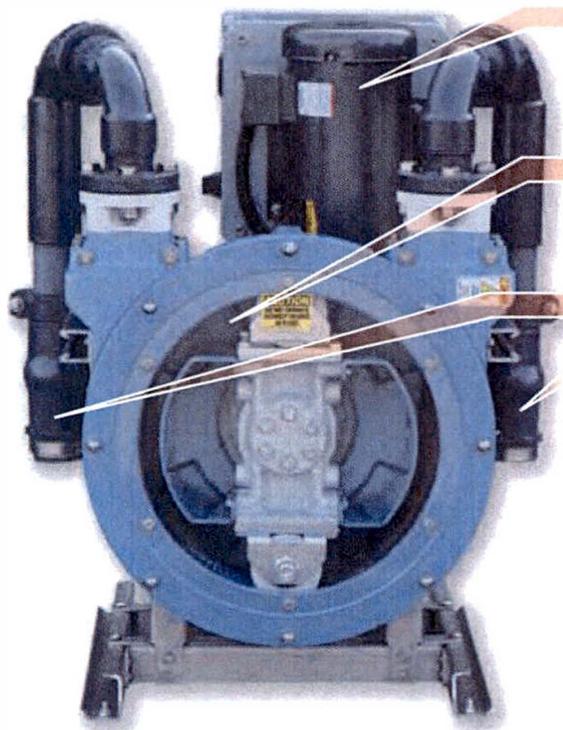




Call Toll Free **800.900.PUMP**  
ph. 619.298.3800 | fax: 619.298.3300

**900 Series / M40 / M55 / Standard Features**

Front

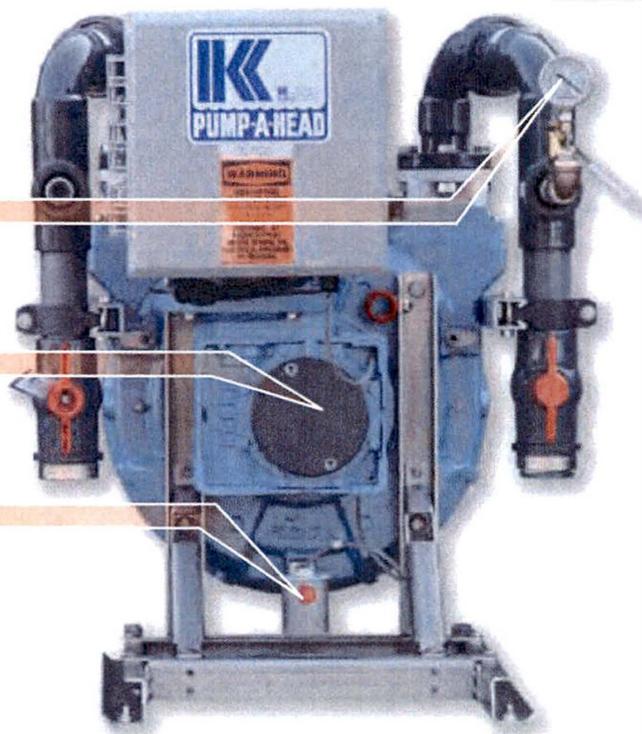


Baldor Industrial  
TEFC Electric motor

Clear Viewing Window  
Oil Free Pump Housing

Factory Installed Suction &  
Discharge Plumbing

Back



Vacuum Gauge

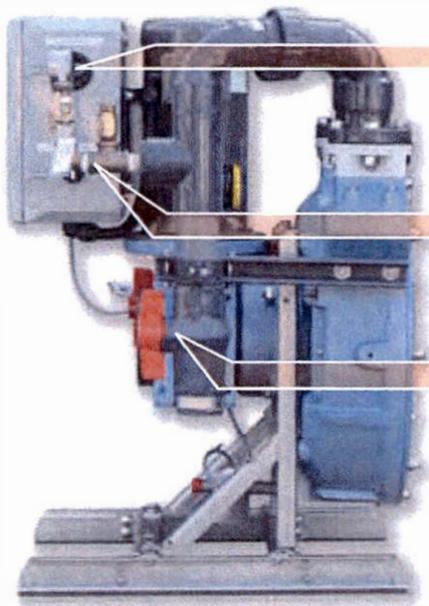
Direct Drive, Maintenance  
Free Gearbox

Leak Detector with  
Auto Pump Shut Down



900 Series / M40 / M55 / Standard Features

Left



Hour Meter

Integrated Vacuum Relief Valve

Suction Isolation Valve

Right

Factory Installed Plumbing Unions

Non Metallic Pipe Support Strut

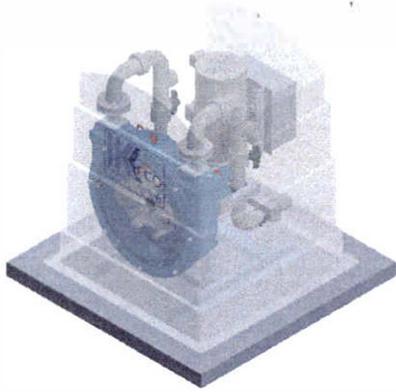
Discharge Isolation Valve

+316 Stainless Steel Pump Frame



NEMA 4X Non Metallic Control Panel

# M55 Remote (4 Tier)



**NOTES:**

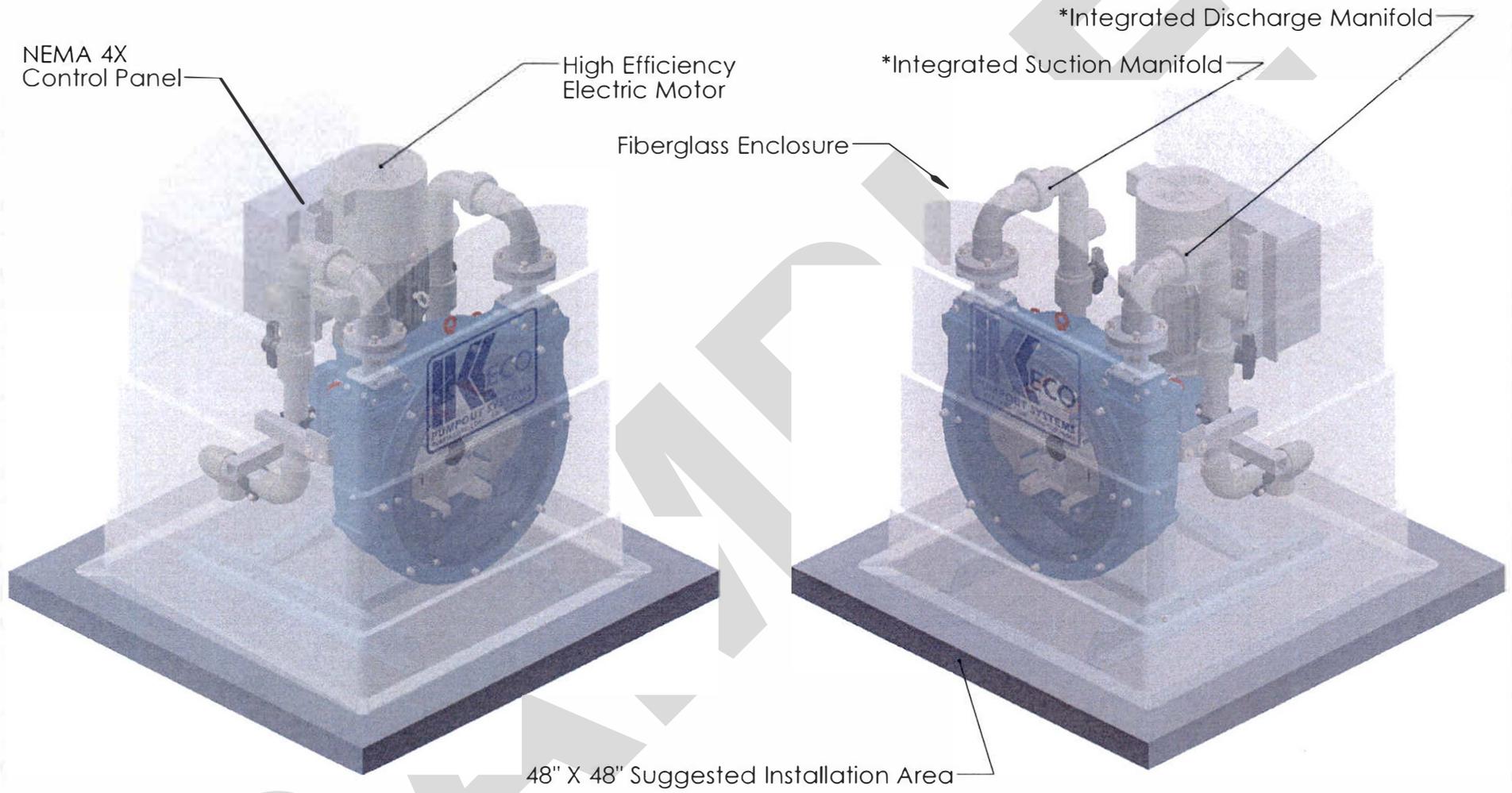
**PROPRIETARY AND CONFIDENTIAL**  
 THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KECO PUMP AND EQUIPMENT. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KECO PUMP AND EQUIPMENT IS PROHIBITED.

**UNLESS OTHERWISE SPECIFIED:**  
 DIMENSIONS ARE IN INCHES  
 TOLERANCES:  
 FRACTIONAL  $\pm 1/32$   
 ONE PLACE DECIMAL  $\pm .1$   
 TWO PLACE DECIMAL  $\pm .03$   
 THREE PLACE DECIMAL  $\pm .020$   
 ANGULAR  $\pm .5^\circ$

MATERIAL

DRAWN	<i>AMS</i>		KECO PUMP AND EQUIPMENT WWW.PUMPAHEAD.COM
REVISION #	PREVIOUS	CURRENT	
DATE: 7/21/2015	1.0	1.0	PART NUMBER - TITLE
COMMENTS:			M55 Remote
			DIMENSION: INCHES / (XX) MM
SCALE: 1:12			SHEET 1 OF 4

# Components



48" X 48" Suggested Installation Area

**NOTES:**  
 \*STANDARD PLUMBING MANIFOLDS INCLUDE DISCONNECT UNIONS, ISOLATION VALVE AND VACUUM/PRESSURE GAUGE PORTS

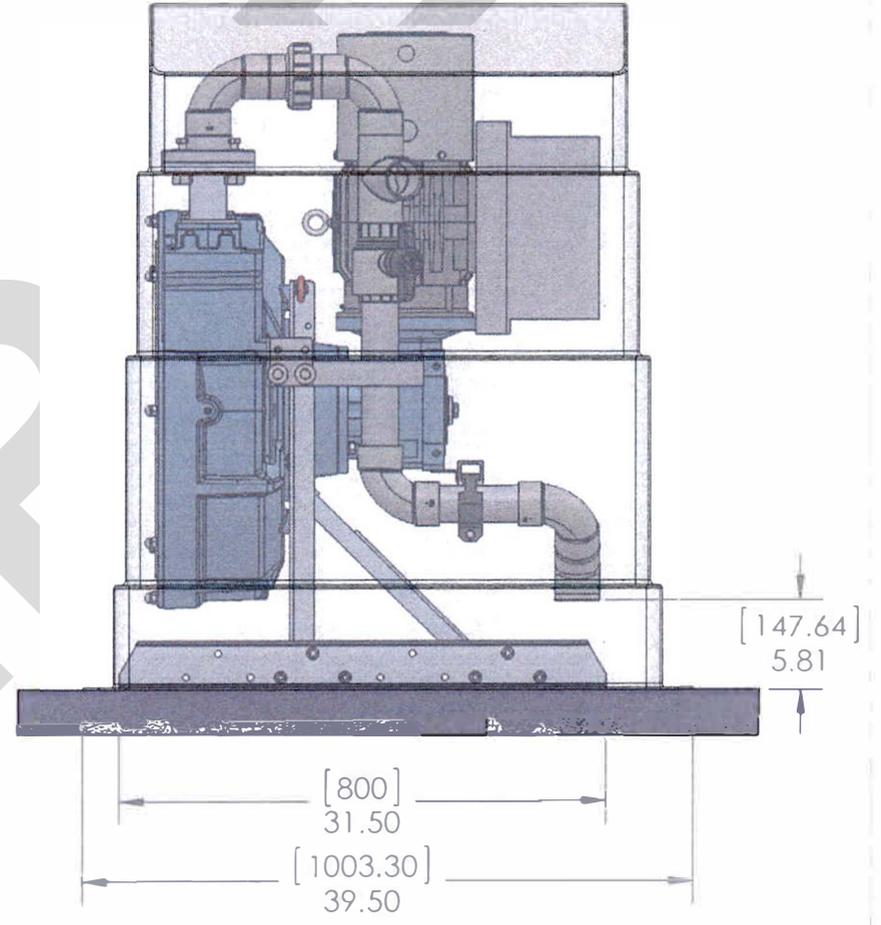
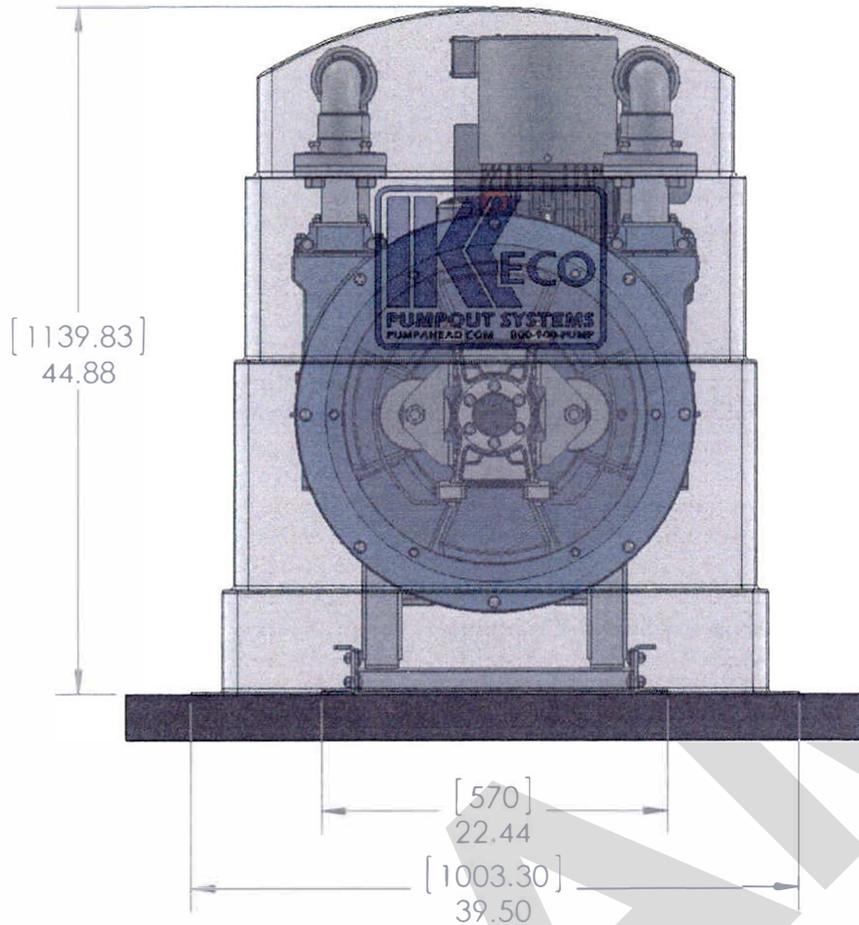
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 THREE PLACE DECIMAL  $\pm .020$   
 ANGULAR  $\pm .5^\circ$   
 MATERIAL

DRAWN	AUS	
REVISION #	PREVIOUS	CURRENT
	1.0	1.0
DATE: 7/21/2015		
COMMENTS:		

KECO PUMP AND EQUIPMENT	
WWW.PUMPAHEAD.COM	
PART NUMBER - TITLE	
M55 Remote	
DIMENSION: INCHES / (XX) MM	
SCALE: 1:14	SHEET 2 OF 4

# Critical Dimensions



**NOTES:**

**PROPRIETARY AND CONFIDENTIAL**

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**UNLESS OTHERWISE SPECIFIED:**

DIMENSIONS ARE IN INCHES  
TOLERANCES:  
FRACTIONAL  $\pm 1/32$   
ONE PLACE DECIMAL  $\pm .1$   
TWO PLACE DECIMAL  $\pm .03$   
THREE PLACE DECIMAL  $\pm .020$   
ANGULAR  $\pm .5^\circ$

**MATERIAL**

DRAWN	<i>AMS</i>	
REVISION #	PREVIOUS	CURRENT
	1.0	1.0

DATE: 7/21/2015

COMMENTS:

**KECO PUMP AND EQUIPMENT**  
**WWW.PUMPAHEAD.COM**

PART NUMBER - TITLE

M55 Remote

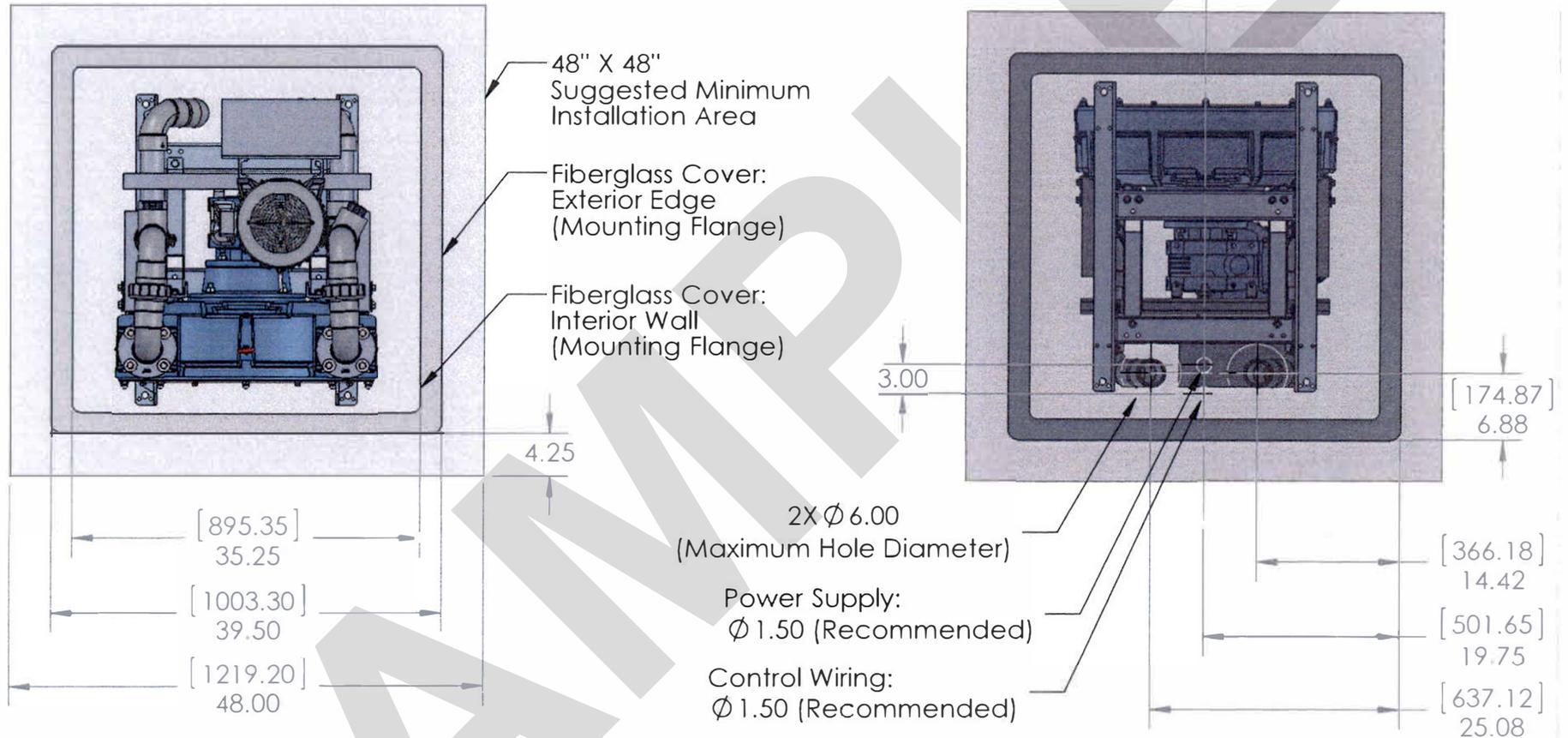
DIMENSION: INCHES / (XX) MM

SCALE: 1:12

SHEET 3 OF 4

Pump + Enclosure Locations

Utility Locations



NOTES:

PROPRIETARY AND CONFIDENTIAL

THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF KECO PUMP AND EQUIPMENT. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF KECO PUMP AND EQUIPMENT IS PROHIBITED.

UNLESS OTHERWISE SPECIFIED:

DIMENSIONS ARE IN INCHES  
TOLERANCES:  
FRACTIONAL ± 1/32  
ONE PLACE DECIMAL ± .1  
TWO PLACE DECIMAL ± .03  
THREE PLACE DECIMAL ± .020  
ANGULAR ± .5°

MATERIAL

DRAWN	AVS	
REVISION #	PREVIOUS	CURRENT
	1.0	2.0
DATE: 7/21/2015		
COMMENTS:		

**KECO** KECO PUMP AND EQUIPMENT  
WWW.PUMPAHEAD.COM

PART NUMBER - TITLE

M55 Mounting Plate

DIMENSION: INCHES / (XX) MM

SCALE: 1:16

SHEET 4 OF 4

**LEGEND**

ARROW INDICATES HOME RUN OF CIRCUIT TO PANEL. EQUIPMENT GROUNDING CONDUCTORS SHALL BE PROVIDED FOR ALL BRANCH CIRCUITS. ALL WIRING SHALL BE TYPE THHW/THWN. RACEWAY AND CONDUCTORS INSTALLED BELOW GRADE. SEE SHEET E2 FOR SPECIFICATIONS.

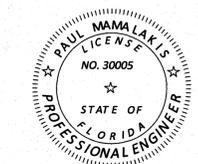
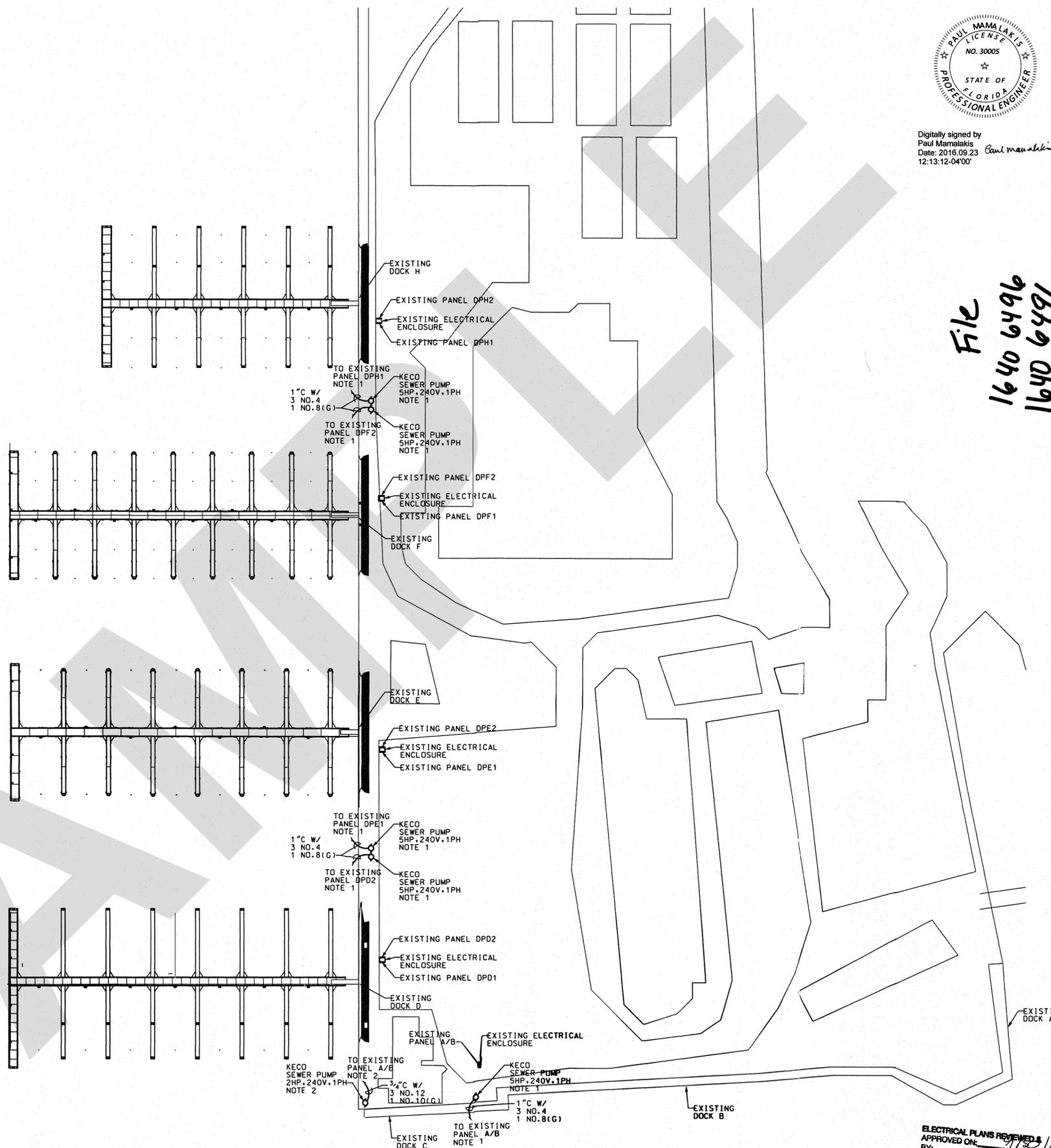
⊖ SEWER PUMP MOTOR

**GENERAL NOTES:**

1. PROVIDE 70A/2P BREAKER LOCATED IN EXISTING PANEL TO SERVE NEW 5HP KECD SEWER PUMP. EXTEND BRANCH CIRCUIT FROM NEW BREAKER IN EXISTING PANEL TO SEWER PUMP.
2. PROVIDE 30A/2P BREAKER LOCATED IN EXISTING PANEL TO SERVE NEW 2HP KECD SEWER PUMP. EXTEND BRANCH CIRCUIT FROM NEW BREAKER IN EXISTING PANEL TO SEWER PUMP.

**DETAIL NOTES:  
AS REFLECTED ON DRAWING E1**

- DOCK H:** INSTALL NEW 70A/2P (PER NOTE 1 ABOVE) IN EXISTING PANEL DPH2. INSTALL NEW 1" CONDUIT W/ 3 NO.4, 1 NO.8(G) TO KECD SEWER PUMP CONTROL PANEL.
- DOCK F:** INSTALL NEW 70A/2P (PER NOTE 1 ABOVE) IN EXISTING PANEL DPF2. INSTALL NEW 1" CONDUIT W/ 3 NO.4, 1 NO.8(G) TO KECD SEWER PUMP CONTROL PANEL.
- DOCK E:** INSTALL NEW 70A/2P (PER NOTE 1 ABOVE) IN EXISTING PANEL DPE2. INSTALL NEW 1" CONDUIT W/ 3 NO.4, 1 NO.8(G) TO KECD SEWER PUMP CONTROL PANEL.
- DOCK D:** INSTALL NEW 70A/2P (PER NOTE 1 ABOVE) IN EXISTING PANEL DPD2. INSTALL NEW 1" CONDUIT W/ 3 NO.4, 1 NO.8(G) TO KECD SEWER PUMP CONTROL PANEL.
- DOCK C:** INSTALL NEW 30A/2P (PER NOTE 2 ABOVE) IN EXISTING PANEL A/B. INSTALL NEW 1" CONDUIT W/ 3 NO.12, 1 NO.10(G) TO KECD SEWER PUMP CONTROL PANEL.
- DOCK B:** INSTALL NEW 70A/2P (PER NOTE 1 ABOVE) IN EXISTING PANEL A/B. INSTALL NEW 1" CONDUIT W/ 3 NO.4, 1 NO.8(G) TO KECD SEWER PUMP CONTROL PANEL.



Digitally signed by Paul Mammalakis  
Date: 2016.09.23 12:13:12-04'00' *Paul Mammalakis*

*File  
1640 6496  
1640 6497*

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**OCEAN REEF CLUB MARINA**  
35 OCEAN REEF DRIVE, OCEAN REEF CLUB  
KEY LARGO, FL 33037

**DOCKS A,B,C,D,E,F,G, AND H**  
**SEWER - LANDSIDE - ELECTRICAL**

Revisions:

⚠	ADDED NOTES	9/22/16
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Drawn by: BPM  
Reviewed by: WP  
Date: 22-SEP-2016  
Scale: 1"=60'  
Project No.

ELECTRICAL PLANS REVIEWED & APPROVED ON: *9/22/16*  
BY: *[Signature]*  
ALL WORK MUST CONFORM TO N.E.C.

**1 SEWER - LANDSIDE - ELECTRICAL**  
E1 SCALE: 1" = 60'

**SPECIFICATIONS:**

DIVISION 16 - ELECTRICAL  
16100 - BASIC ELECTRICAL REQUIREMENTS  
1.01 QUALITY ASSURANCE

A. ALL ELECTRICAL WORK SHALL BE IN ACCORDANCE WITH THE FOLLOWING CODES AND AGENCIES:  
1. THE NATIONAL ELECTRICAL CODE (NFPA-70), 2011 EDITION WITH LOCAL AMENDMENTS.  
2. THE NATIONAL ELECTRICAL SAFETY CODE (ANSI C-2), 2007 EDITION.  
3. LOCAL ORDINANCES GOVERNING ELECTRICAL WORK.  
4. THE FLORIDA BUILDING CODE, 2014 EDITION.  
5. NFPA 303 MARINAS AND BOAT YARDS, 2011 EDITION.

B. ALL MATERIALS SHALL BE NEW AND SHALL CONFORM TO STANDARDS WHERE SUCH HAVE BEEN ESTABLISHED FOR THE PARTICULAR MATERIAL. ALL UL LISTED EQUIPMENT SHALL BEAR THE UL LABEL.  
1.02 PERMITS

A. OBTAIN ALL PERMITS AND INSPECTIONS REQUIRED FOR THE WORK INVOLVED. DELIVER TO THE OWNER ALL CERTIFICATES OF INSPECTION.  
1.03 WARRANT

A. THE CONTRACTOR SHALL WARRANT TO THE OWNER THAT ALL WORK SHALL BE FREE FROM DEFECTS AND WILL CONFORM TO THE CONTRACT DOCUMENTS. THIS WARRANTY SHALL EXTEND NOT LESS THAN ONE YEAR FROM THE DATE OF BENEFICIAL OCCUPANCY.  
1.04 DRAWINGS

A. THE DRAWINGS INDICATE THE GENERAL ARRANGEMENT OF ELECTRICAL EQUIPMENT, BASED ON ONE MANUFACTURER'S PRODUCT. COORDINATE INSTALLATION OF EQUIPMENT WITH ALL OTHER TRADES. DO NOT SCALE DRAWINGS FOR CONNECTION LOCATIONS. BRING ALL DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE ENGINEER.

B. CONTRACTOR SHALL INSTALL AND CIRCUIT ALL ELECTRICAL WORK AS INDICATED ON DRAWINGS UNLESS SPECIFIC CONSTRUCTION REQUIRES A CHANGE OR REROUTING OF THIS WORK.  
1.05 EQUIPMENT REQUIRING ELECTRICAL SERVICE

A. REVIEW ALL SPECIFICATION SECTIONS AND DRAWINGS FOR EQUIPMENT REQUIRING ELECTRICAL SERVICE. PROVIDE SERVICE TO AND MAKE CONNECTIONS TO ALL SUCH EQUIPMENT.  
1.06 EXCAVATION, TRENCHING AND BACKFILLING

A. BEFORE ALL EXCAVATIONS TO INSTALL CONDUITS INDICATED ON THE DRAWINGS OR SPECIFIED HEREIN, DURING EXCAVATION, PILE MATERIAL FOR BACKFILLING BACK FROM THE BANKS OF THE TRENCH TO AVOID OVERSIGHT AND TO PREVENT SLIDES AND TO PREVENT CAVE-INS. PROVIDE SHORING AS REQUIRED BY OSHA STANDARDS. REMOVE AND DISPOSE OF ALL EXCAVATED MATERIALS NOT TO BE USED FOR BACKFILL. GRADE TO PREVENT SURFACE WATER FROM FLOWING INTO TRENCHES AND EXCAVATION. REMOVE ANY WATER ACCUMULATING THEREIN BY PUMPING. DO ALL EXCAVATION BY OPEN CUT.

B. GRADE THE BOTTOM OF TRENCHES TO PROVIDE UNIFORM BEARING AND SUPPORT FOR CONDUITS ON UNDISTURBED SOIL AT EVERY POINT ALONG ITS ENTIRE LENGTH. TAMPA OVERDEPTHS WITH LOOSE, GRANULAR, MOIST EARTH. REMOVE UNSTABLE SOIL THAT IS NOT CAPABLE OF SUPPORTING EQUIPMENT OR INSTALLATION AND REPLACE WITH SPECIFIED MATERIAL FOR A MINIMUM OF 12" BELOW INVERT OF EQUIPMENT OR INSTALLATION AND REPLACE WITH SPECIFIED MATERIAL FOR A MINIMUM OF 12" BELOW INVERT OF EQUIPMENT OR INSTALLATION.

C. BACKFILL THE TRENCHES WITH EXCAVATED MATERIALS APPROVED FOR BACKFILLING, CONSISTING OF EARTH, LOAM, SANDY CLAY, SAND AND GRAVEL OR SOFT SHALE, FREE FROM LARGE CLUMPS OF EARTH AND STONES. DEPOSITED IN 6" LAYERS AND RAMMED UNTIL THE INSTALLATION HAS A COVER OF NOT LESS THAN THE ADJACENT GROUND BUT NOT GREATER THAN 2" ABOVE EXISTING GROUND. BACKFILLING SHALL BE CARRIED ON SIMULTANEOUSLY ON BOTH SIDES OF THE TRENCH SO THAT INJURIOUS PRESSURES DO NOT OCCUR. COMPACTION OF THE FILLED TRENCH SHALL BE AT LEAST EQUAL TO THAT OF THE SURROUNDING UNDISTURBED MATERIAL. DO NOT SETTLE BACKFILL WITH WATER. REOPEN ANY TRENCHES NOT MEETING COMPACTION REQUIREMENTS OR WHERE SETTLEMENT OCCURS. REFILL, COMPACT AND RESTORE SURFACE TO GRADE AND COMPACTION INDICATED ON THE DRAWINGS. ROUND OVER AND SMOOTHED OFF.  
1.07 PRODUCT DELIVERY, STORAGE, HANDLING AND PROTECTION

A. PROVIDE A DRY, WEATHERTIGHT SPACE FOR STORING MATERIALS. STORE PACKAGED MATERIALS IN ORIGINAL UNDAMAGED CONDITION WITH MANUFACTURER'S LABELS AND SEALS INTACT. HANDLE AND STORE MATERIAL IN ACCORDANCE WITH STANDARDS TO PREVENT DAMAGE. REPLACE DAMAGED MATERIALS.  
1.08 CLEANING AND PAINTING

A. REMOVE OIL, DIRT, GREASE AND FOREIGN MATERIALS FROM ALL ELECTRICAL EQUIPMENT, CABLES, ETC. TO PROVIDE A CLEAN SURFACE.  
1.09 ELECTRICAL EQUIPMENT ACCEPTANCE TESTING

A. THE WORK REQUIRED UNDER THIS SECTION OF THE SPECIFICATIONS CONSISTS OF THEN START-UP TESTING AND INSPECTION OF THE ELECTRICAL EQUIPMENT DESIGNATED WITHIN ALL LABOR AND TESTING EQUIPMENT WHICH IS REQUIRED SHALL BE PROVIDED UNDER THIS SECTION OF THE SPECIFICATIONS.

B. THE CONTRACTOR SHALL PERFORM THE TESTS AS OUTLINED BELOW TO INSURE SYSTEM ACCEPTANCE.

C. THE TESTS SHALL INSURE THAT THE EQUIPMENT IS OPERATIONAL AND FUNCTIONING WITHIN INDUSTRY STANDARDS AND MANUFACTURER'S TOLERANCES. FORWARD ALL TEST REPORTS TO THE ENGINEER AT LEAST TWO WEEKS PRIOR TO THE PROJECT FINAL INSPECTION FOR REVIEW. REPORTS SHALL BE BOUND.

D. THE FOLLOWING EQUIPMENT SHALL BE TESTED IN ACCORDANCE WITH THE SCOPES OF WORK WHICH FOLLOW.

1. GROUNDING SYSTEM  
A. VISUAL AND MECHANICAL INSPECTION  
1) INSPECT WIRING SYSTEM FOR PROPER GROUNDING. GREEN GROUNDING CONDUCTOR SHALL BE CONNECTED TO EQUIPMENT.  
2) VERIFY CONNECTIONS OF GROUNDS FOR THE SECONDARY OF SEPARATELY DERIVED GROUNDING SYSTEMS, I.E. AT DRY TYPE TRANSFORMERS. NOTE TYPE OF CONNECTION, I.E. MECHANICAL OR EXOTHERMIC.  
3) VERIFY PROPER CONNECTION TO ALL COMPONENTS OF BUILDING SERVICE ENTRANCE GROUNDING SYSTEM. NOTE ALL SYSTEM COMPONENTS WHICH ARE INTERCONNECTED AND TYPE OF CONNECTION EITHER MECHANICAL OR EXOTHERMIC.  
B. EQUIPMENT GROUNDS  
1) UTILIZE TWO-POINT METHOD OF IEEE STD. 81. MEASURE BETWEEN EQUIPMENT GROUND BEING TESTED AND KNOWN LOW-IMPEDANCE GROUNDING ELECTRODE OR SYSTEM.  
C. TEST VALUES  
1) EQUIPMENT GROUNDS DEPENDING ON SIZE AND LENGTH OF GROUNDING CONDUCTOR. SHOULD BE ONLY FRACTIONALLY HIGHER THAN SYSTEM GROUND.  
2. CABLES-LOW-VOLTAGE-600V MAXIMUM

A. VISUAL AND MECHANICAL INSPECTION  
1) INSPECT CABLES FOR PHYSICAL DAMAGE AND PROPER CONNECTION.  
2) TEST CABLE MECHANICAL CONNECTIONS TO MANUFACTURER'S RECOMMENDED VALUES USING A CALIBRATED TORQUE WRENCH.  
3) CHECK CABLE COLOR CODING WITH APPLICABLE ENGINEER'S SPECIFICATIONS AND NATIONAL ELECTRICAL CODE STANDARDS.

B. ELECTRICAL TESTS  
1) PERFORM INSULATION-RESISTANCE TEST ON EACH CONDUCTOR WITH RESPECT TO GROUND AND ADJACENT CONDUCTORS. APPLIED POTENTIAL SHALL BE 1000 VOLTS DC FOR 1 MINUTE.  
2) PERFORM CONTINUITY TEST TO INSURE PROPER CABLE CONNECTION.

C. TEST VALUES  
1) EVALUATE RESULTS BY COMPARISON WITH CABLES OF SAME LENGTH AND TYPE.  
INVESTIGATE ANY VALUES LESS THAN 50 MEGOHMS.

16100 BASIC MATERIALS  
2.01 RACEWAYS

A. RACEWAY IS REQUIRED FOR ALL WIRING, UNLESS SPECIFICALLY INDICATED ORN SPECIFIED OTHERWISE.

B. CONDUITS SHALL BE ELECTRICAL METALLIC TUBING (EMT) EXCEPT FOR THEN FOLLOWING CONDITIONS:  
1. CONDUITS WHICH PENETRATE THE BUILDING ROOF OR EXTERIOR SHALL BE GALVANIZED RIGID STEEL (GRS) OR INTERMEDIATE METAL CONDUIT (IMC).  
2. CONDUITS INSTALLED WITHIN CONCRETE SLABS SHALL BE GRS, IMC, OR SCHEDULE 40N HEAVY WALL PVC. WHERE TRANSITION IS MADE FROM RACEWAY IN SLAB TO ANY TYPE OF RACEWAY OUT OF SLAB, MAKE TRANSITION WITH A RIGID GALVANIZED ELBOW.  
3. CONDUITS INSTALLED IN DIRECT CONTACT WITH EARTH SHALL BE SCHEDULE 80, HEAVY WALL PVC.  
4. CONDUITS INSTALLED WITHIN DOCKING SYSTEM IF REQUIRED SHALL BE SCHEDULE 40N HEAVY WALL PVC.

C. EMT CONDUIT COUPLINGS AND CONNECTORS SHALL BE STEEL RAIN-TIGHT TYPE-N COMPRESSION TYPE. ALL EMT CONNECTORS SHALL BE INSULATED THROAT TYPE. GRS AND IMC FITTINGS SHALL BE STANDARD THREADED COUPLINGS, LOCKNUTS, BUSHINGS, AND ELBOWS. ALL GRS AND IMC FITTINGS SHALL BE STEEL OR MALLEABLE IRON; SET SCREWS OR NON-THREADED FITTINGS ARE NOT PERMITTED. NON-METALLIC CONDUIT FITTINGS SHALL BE OF THE SAME MATERIAL AS THE CONDUIT FURNISHED AND SHALL BE THE PRODUCT OF THE SAME MANUFACTURER.

D. ALL CONDUIT SUPPORT PARTS AND HARDWARE WITHIN MAIN BREAKER ROOM SHALL BE HOT-DIPPED GALVANIZED. CONDUIT STRAPS SHALL BE TWO HOLE GALVANIZED METAL TYPE-N.

E. COMPLETE RACEWAY RUNS PRIOR TO INSTALLATION OF WIRES OR CABLES. DEFORMED CONDUITS SHALL BE REPLACED. PROTECT CONDUITS AGAINST DIRT, PLASTER, AND FOREIGN DEBRIS WITH CONDUIT PLUGS.

F. FASTEN CONDUIT SUPPORT DEVICES TO STRUCTURE WITH WOOD SCREWS ON WOOD, TOGGLE BOLTS ON HOLLOW MASONRY, EXPANSION ANCHORS ON SOLID MASONRY OR CONCRETE, AND MACHINE BOLTS OR CLAMPS ON STEEL. NAILS ARE NOT ACCEPTABLE. SEAL ALL CONDUITS PENETRATING BUILDING EXTERIOR WITH INSULATING ELECTRICAL PUTTY TO PREVENT ENTRANCE OF MOISTURE.

G. ALL CONDUIT SYSTEMS INSTALLED IN BUILDINGS AND EXPOSED TO THE ATMOSPHERE ABOVE FINISHED GRADE SHALL BE SUPPORTED AT INTERVALS NOT EXCEEDING 10 FEET, AND WITHIN 3 FEET OF EACH BOX, CABINET, PANEL ETC. OR CHANGE OF DIRECTION. RESTORE FINISHING OF ALL WALL AND FLOOR PENETRATIONS. PROVIDE AN EXPANSION AND DEFLECTION COUPLING CROSS A BUILDING EXPANSION JOINT.  
2.02 WIRES AND CABLES

A. THE FOLLOWING SPECIFICATIONS AND STANDARDS ARE INCORPORATED INTO AND BECOME A PART OF THIS SPECIFICATION:  
1. UNDERWRITERS LABORATORIES, INC. PUBLICATIONS 44, 83, 486, 493.  
2. INSULATED CABLE ENGINEERS ASSOCIATION STANDARDS I-61-402, S-66-524.  
3. NATIONAL ELECTRICAL MANUFACTURER'S STANDARDS WC-5, WC-7.

B. CONDUCTORS SHALL BE ELECTRICALLY CONTINUOUS AND FREE FROM SHORT CIRCUITS ORN GROUNDS. ALL OPEN, SHORTED, OR GROUNDED CONDUCTORS AND ANY WITH DAMAGED INSULATION SHALL BE REMOVED AND REPLACED WITH NEW MATERIAL FREE FROM DEFECTS.

C. CONDUCTOR SIZE SHALL BE MINIMUM OF NO. 12 AWG, UNLESS LARGER SIZE ISN REQUIRED BY THE DRAWINGS OR THE NEC. INSULATION VOLTAGE LEVEL RATING SHALL BE 600 VOLTS. ALL WIRE AND CABLE SHALL BEAR THE UL LABEL.

D. ALL TYPE THW/THHN CONDUCTORS WHERE USED SHALL BE INSTALLED IN A RACEWAY SYSTEM AND SHALL BE STRANDED COPPER, 90 DEGREE C. PORTABLE POWER CABLES SHALL BE INSTALLED IN DOCKING SYSTEM WIREWAY OR DOCKING CONDUIT SYSTEM FROM SHORESIDE EQUIPMENT TO BULKHEAD AND SHALL BE MULTI-CONDUCTOR TYPE G OR SINGLE CONDUCTOR TYPE W, FULLY ANNEAL, 90 DEGREE C. BLACK INSULATION, 90 C WITH FINISHING TAPES APPLIED TO MATCH COLOR CODING FOR WIRES INDICATED IN PARAGRAPH E BELOW. CABLES SHALL BE BLACK JACKET 90 C SUITABLE FOR WET LOCATIONS (SUBMERSION IN WATER). SUN RESISTANT AND RATED TO BE RESISTANT TO TEMPERATURE EXTREMES, OIL, GASOLINE, OZONE, ABRASION, ACIDS AND CHEMICALS.

E. COLOR CODE ALL CONDUCTORS. NO. 10 AND SMALLER SHALL HAVE SOLID COLOR COMPOUND OR COATING. NO. 8 AND LARGER SHALL HAVE BLACK SOLID COLOR COMPOUND WITH COLORED PHASE TAPE APPLIED. TAPE SHALL BE INSTALLED ON CONDUCTORS INN EVERY BOX, TERMINATION POINT, CABINET, OR ENCLOSURE. CODING SHALL BE ASN FOLLOWS:  
1. N230/115 VOLT SINGLE PHASE THREE WIRE SYSTEM: PHASE A-BLACK, PHASE-B-RED, N NEUTRAL-WHITE.  
2. N208Y/120 VOLT THREE PHASE FOUR WIRE WYE SYSTEM: PHASE A-BLACK, PHASE B-RED, N PHASE C-BLUE, NEUTRAL-WHITE.  
3. N480Y/277 VOLT THREE PHASE FOUR WIRE WYE SYSTEM: PHASE A-BROWN, PHASE B-ORANGE, PHASE C-YELLOW, NEUTRAL-GREEN.  
4. GROUNDING CONDUCTORS SHALL BE GREEN OR GREEN TRACED.

F. MAINTAIN PHASE ROTATION ESTABLISHED PER N.E.C. AT SERVICE EQUIPMENT THROUGHOUT ENTIRE PROJECT.

G. GROUP AND LACE WITH NYLON TIE STRAPS ALL CONDUCTORS WITHIN ENCLOSURES. MAKE SPLICES IN CONDUCTORS ONLY WITHIN JUNCTION BOXES, WIRING TROUGHS, OR OTHER NECN APPROVED ENCLOSURES. DO NOT SPLICE CONDUCTORS IN SWITCHBOARDS, PANELBOARDS, SAFETY SWITCHES, OR POWER CENTER ENCLOSURES. IDENTIFY EACH CONDUCTOR AS TO CIRCUIT CONNECTION IN ALL BOXES AND ENCLOSURES.

H. TERMINATE STRANDED CONDUCTORS NO. 10 AWG AND SMALLER WITH CRIMP-TYPE LUG ORN STUD. CRIMP TERMINAL SHALL BE THE CONFIGURATION TYPE SUITABLE FOR TERMINAL POINT.

I. TORQUE EACH TERMINAL CONNECTION TO THE MANUFACTURER'S RECOMMENDED TORQUE VALUE. A CALIBRATED TORQUING TOOL SHALL BE USED TO INSURE PROPER TORQUE APPLICATION.  
2.03 BOXES

A. DIMENSIONS OF PULL AND JUNCTION BOXES SHALL NOT BE LESS THAN THOSE REQUIRED BY THE NEC FOR THE NUMBER, SIZE, AND POSITION OF CONDUCTORS ENTERING THE BOX. WOOD SUPPORTS WITHIN PULL BOXES ARE NOT ACCEPTABLE. PROVIDE BOX COVERS FOR ALL BOXES.

B. ALL BOXES SHALL BE COMPLETELY ACCESSIBLE AND AS REQUIRED BY THE NEC. N PROVIDE ACCESS PANELS IN ALL NON-ACCESSIBLE SPACES TO PERMIT ACCESS TO BOXES.  
2.04 WIRING DEVICES

A. SPECIAL PURPOSE RECEPTACLES SHALL BE AS SPECIFIED ON THE DRAWINGS.

B. DEVICE PLATES SHALL BE ONE PIECE SINGLE GANG TYPE SELECTED TO MATCH THEN DEVICE. ALL DEVICES INSTALLED IN AREAS EXPOSED TO THE WEATHER SHALL BE PROVIDED WITH A WEATHER-PROOF DEVICE PLATE.  
2.05 SUPPORTING DEVICES

A. PROVIDE AND INSTALL SUPPORTING DEVICES WHICH COMPLY WITH MANUFACTURER'S STANDARD MATERIALS, DESIGN, AND CONSTRUCTION IN ACCORDANCE WITH PUBLISHED STANDARDS AND AS REQUIRED FOR COMPLETE INSTALLATION.

B. COORDINATE WITH OTHER ELECTRICAL WORK, INCLUDING RACEWAY AND WIRING WORK, AS NECESSARY TO INTERFACE INSTALLATION OF SUPPORTING DEVICES. INSTALL HANGARS, SUPPORTS, CLAMPS, AND ATTACHMENTS TO SUPPORT PIPING PROPERLY FROM BUILDING STRUCTURE ONLY. TORQUE SLEEVE SEAL NUTS, COMPLYING WITH MANUFACTURER'S RECOMMENDED VALUES. ENSURE THAT SEALING GROMMETS FIT TO FORM WATER-TIGHT SEAL.

2.06 ELECTRICAL IDENTIFICATION

A. INSTALL ENGRAVED PLASTIC - LAMINATE SIGN ON EACH MAJOR UNIT OF ELECTRICAL EQUIPMENT. PROVIDE A SINGLE LINE OF TEXT, 2" HIGH LETTERING ON 1/2" HIGH SIGN (OR 2" HIGH SIGN IF 2 LINES REQUIRED). ATTACH WITH STAINLESS STEEL SELF-TAPPING SCREWS. PROVIDE SIGNS FOR EACH UNIT OF THE FOLLOWING:  
1. PANELBOARDS, SWITCHBOARDS, ETC.  
2. ELECTRICAL CABINETS AND ENCLOSURES.  
3. TRANSFORMERS.  
4. CIRCUIT BREAKERS.  
5. POWERPOINTS - EX. PPT/A1, PPT/Y/B1 ETC.

B. FURNISH AND INSTALL ON ALL CONDUCTORS AT SWITCHBOARD, PANELBOARDS, WITHIN PULLN BOXES, AND POWERPOINTS STAINLESS STEEL I.D. TAGS WITH SS CABLE TIES SIMILAR TO T&B'ER' SERIES TO IDENTIFY CONDUCTORS. IDENTIFICATION SHALL INDICATE PANELBOARD AND/OR SWITCHBOARD CIRCUIT NUMBER AND POWERPOINT SERVED. EX. 'PB8/C5:SWB-1'; SUBSTATIONS. EX. 'SC3:SWB-2'; POWER PEDESTALS 'LH5/A9:SA4-6'.

16400 DISTRIBUTION EQUIPMENT

3.01 GROUNDING SYSTEMS

A. EQUIPMENT GROUNDING SYSTEM SHALL BE ESTABLISHED WITH EQUIPMENT GROUND CONDUCTORS. THE USE OF METALLIC RACEWAYS FOR EQUIPMENT GROUNDING IS NOT ACCEPTABLE UNLESS INDICATED OTHERWISE. PROVIDE EQUIPMENT GROUND THE SAME SIZE AS PHASE CONDUCTORS.

B. GROUNDING ELECTRODE CONDUCTORS SHALL BE GREEN INSULATED COPPER. EQUIPMENT GROUNDING CONDUCTORS SHALL BE GREEN INSULATED TYPE SIZED AS INDICATED ON THE DRAWINGS. WHERE SIZES ARE NOT INDICATED, GROUNDING CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH NEC ARTICLE 250.

C. EACH RECEPTACLE SHALL BE FURNISHED WITH A GROUNDING SCREW CONNECTED TO THEN METALLIC DEVICE FRAME. PROVIDE A CONDUCTOR TERMINATION GROUNDING LUG BONDED TO THE ENCLOSURE OF EACH TRANSFORMER.

D. GROUND ALL NON-CURRENT CARRYING PARTS OF THE ELECTRICAL SYSTEM, I.E., WIREWAYS, EQUIPMENT ENCLOSURES AND FRAMES, JUNCTION AND OUTLET BOXES, MACHINE FRAMES, AND OTHER CONDUCTIVE ITEMS IN CLOSE PROXIMITY WITH ELECTRICAL CIRCUITS. N GROUND THE NEUTRAL OF ALL SEPARATELY DERIVED SYSTEM DRY TYPE TRANSFORMERS IN UNTN SUBSTATIONS, AND POWERPOINTS TO A COMMON GROUNDING ELECTRODE CONDUCTOR ASN SPECIFIED IN NEC 250.30(A) (4). COMMON GROUNDING ELECTRODE CONDUCTORS SHALL BE A NO. 3/0 COPPER AS SPECIFIED IN 250.30(A) (4)(c). EACH INDIVIDUAL TAPPED CONDUCTOR FROM COMMON GROUNDING ELECTRODE CONDUCTOR SHALL BE SIZED IN ACCORDANCE WITH NEC 250.66 BASED ON THE DERIVED PHASE CONDUCTORS OF EACH SEPARATELY DERIVED SYSTEM. [250.30(A) (4)(d)] OR A NO. 3/0 COPPER. THE COMMON GROUNDING ELECTRODE CONDUCTOR SHALL ORIGINATE FROM THE ELECTRICAL BUILDING GROUNDING ELECTRODE SYSTEM. CONNECTIONS SHALL BE MADE WITH COMPRESSION TYPE CONNECTORS.

E. GROUNDING CONDUCTORS FOR BRANCH CIRCUITS ARE NOT SHOWN ON THE DRAWINGS. HOWEVER, GROUNDING CONDUCTORS SHALL BE PROVIDED IN ALL BRANCH CIRCUIT RACEWAYS AND CABLES, INCLUDING FLEXIBLE CONDUIT. GROUNDING CONDUCTORS SHALL BE THE SAME AWG SIZE AS BRANCH CIRCUIT CONDUCTORS.

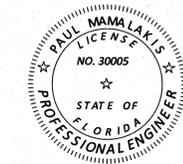
F. EQUIPMENT GROUNDING CONDUCTORS SHALL TERMINATE ON PANELBOARD OR SWITCHBOARD GROUNDING BUS ONLY. DO NOT TERMINATE ON NEUTRAL BUS.

3.02. EXISTING PANELBOARDS

A. FURNISH AND INSTALL NEW TYPED CIRCUIT DIRECTORY TO REFLECT ALL FIELD CHANGES TO EQUIPMENT SERVED.

B. REUSE EXISTING BRANCH CIRCUIT BREAKERS AS REQUIRED.

C. FURNISH AND INSTALL NEW CIRCUIT BREAKERS TO MATCH EXISTING WHERE NOTED ONN SHEET E1.



Digitally signed by Paul Mamalakis  
Date: 2016.08.10 13:38:40-04'00'

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OCEAN REEF CLUB MARINA  
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DOCKS A,B,C,D,E,F,G, AND H

SPECIFICATIONS

Revisions:

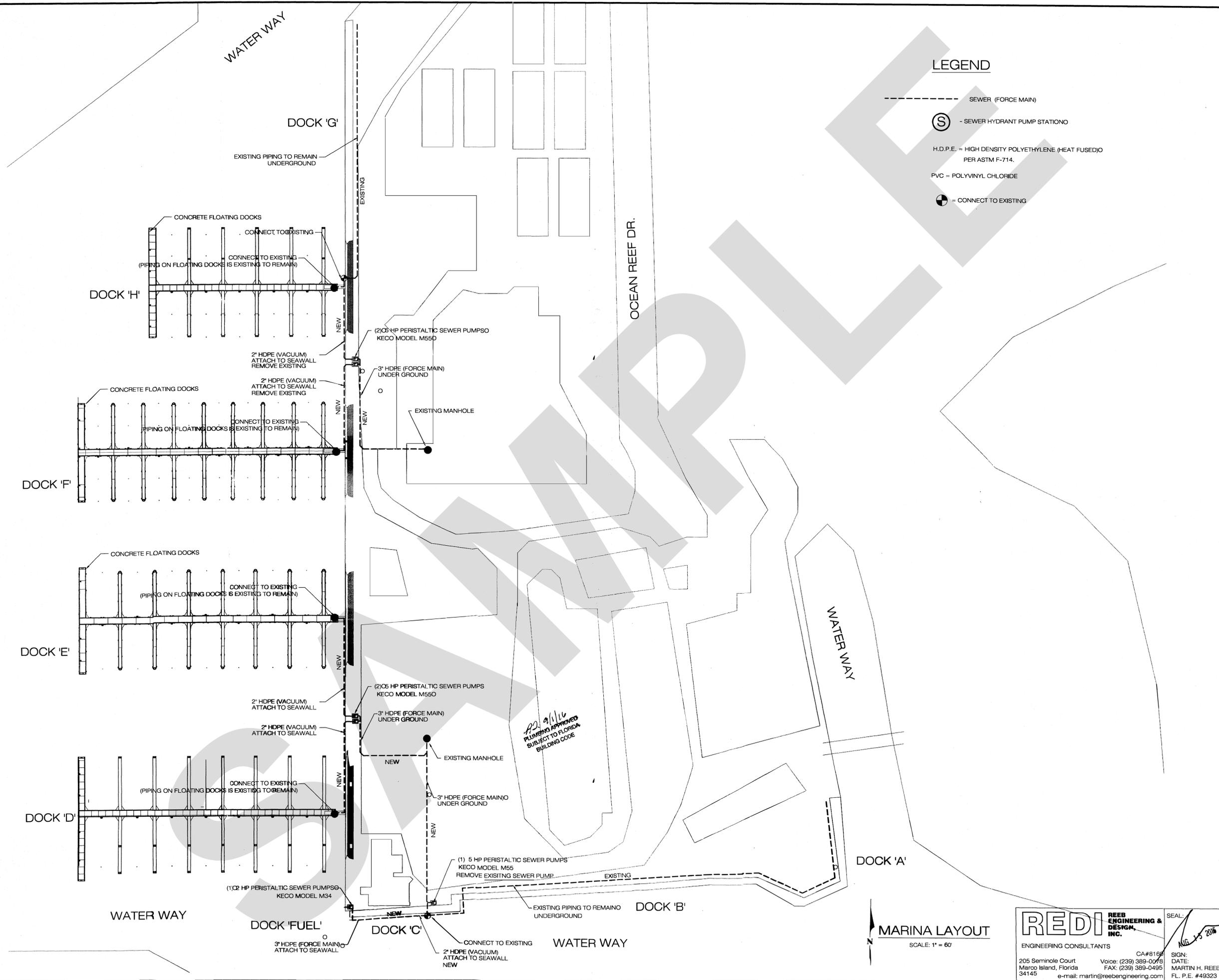
Drawn by: BPM  
Reviewed by: wp  
Date: 10-AUG-2016  
Scale: NONE  
Project No.

Sheet: E2

ELECTRICAL PLANS REVIEWED BY: [Signature]  
APPROVED ON: [Date]  
ALL WORK MUST CONFORM TO NEC.

**LEGEND**

- SEWER (FORCE MAIN)
- ⊙ - SEWER HYDRANT PUMP STATION
- H.D.P.E. = HIGH DENSITY POLYETHYLENE (HEAT FUSED) PER ASTM F-714.
- PVC = POLYVINYL CHLORIDE
- ⊕ = CONNECT TO EXISTING



**OCEAN REEF CLUB MARINA**  
 85 OCEAN REEF DRIVE, OCEAN REEF CLUB  
 KEY LARGO, FL 33037  
**DOCKS A, B, C, D, E, F, G, AND H**  
 SEWER - LANDSIDE

Revisions:

Drawn by:  
 Date: 08-14-16  
 Scale: NOTED  
 Project No.

Sheet:  
**P1 of P2**

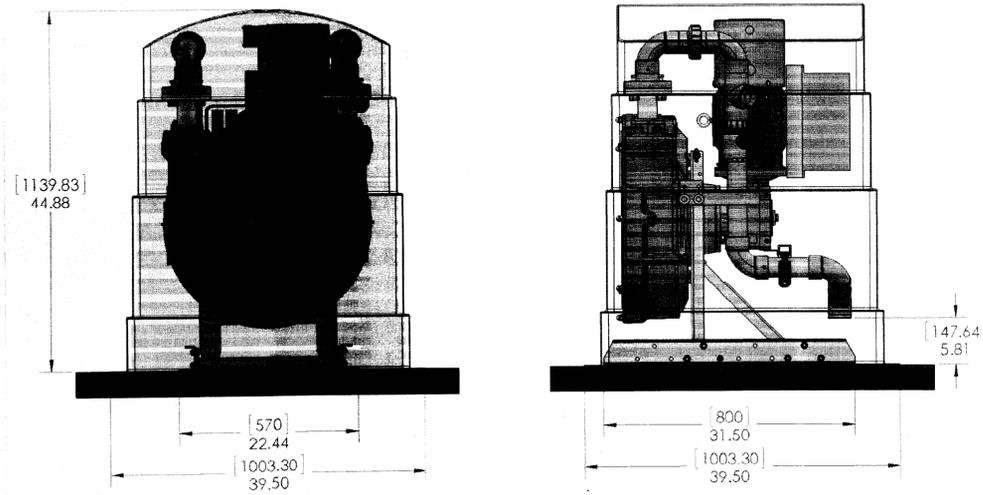
**MARINA LAYOUT**  
 SCALE: 1" = 60'

**REDI** REEB ENGINEERING & DESIGN, INC.  
 ENGINEERING CONSULTANTS

205 Seminole Court  
 Marco Island, Florida 34145  
 e-mail: martin@reedengineering.com

CA#8169  
 DATE: MAR 15 2016  
 SIGN: MARTIN H. REEB  
 FL.P.E. #49323

**Critical Dimensions**



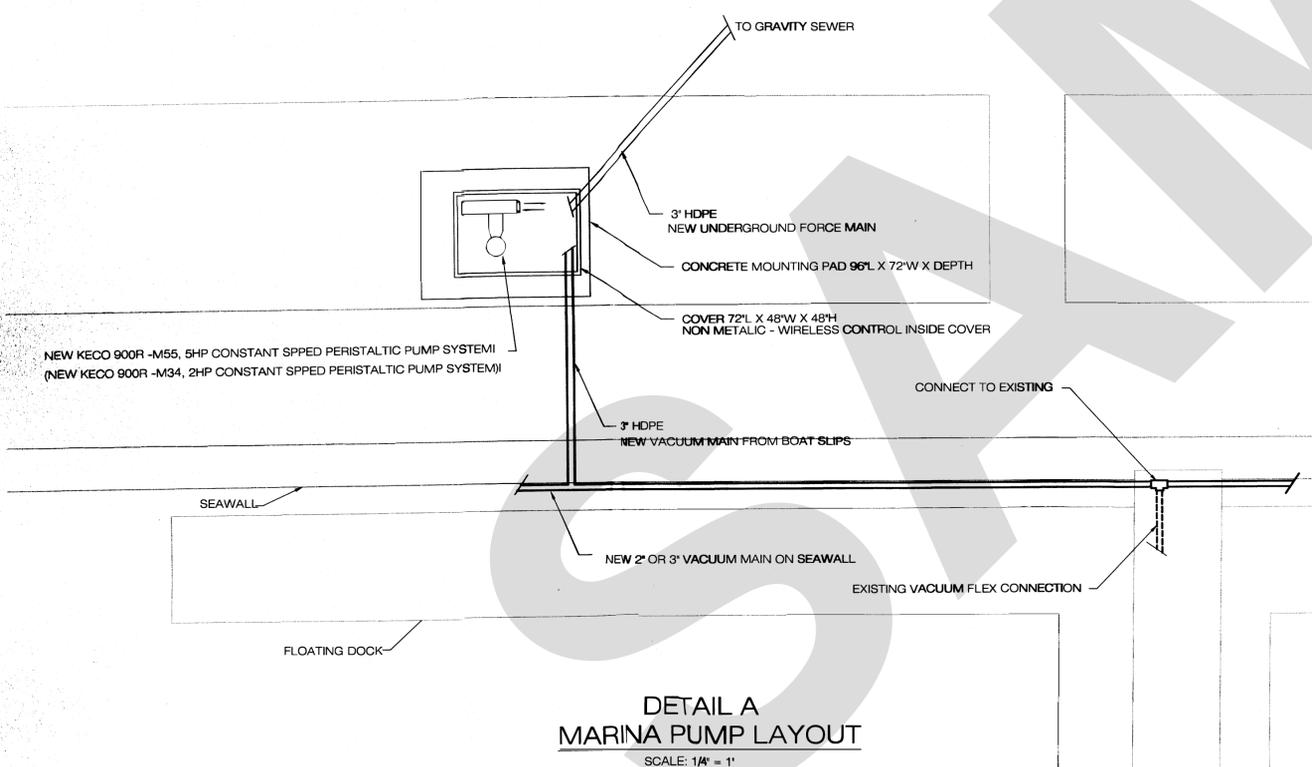
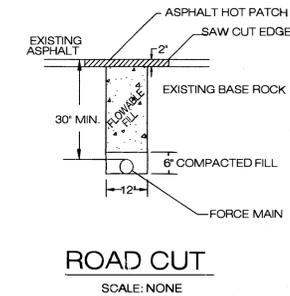
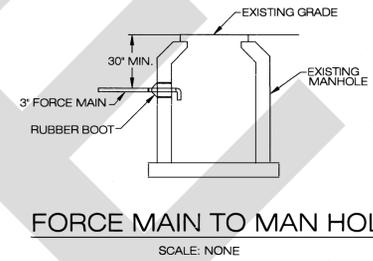
NOTES:

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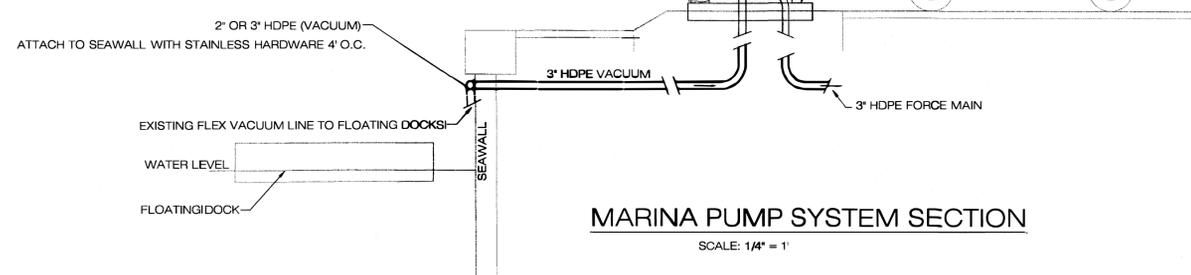
UNLESS OTHERWISE SPECIFIED:  
 DIMENSIONS ARE IN INCHES  
 TOLERANCES:  
 FRACTIONAL ± 1/32  
 ONE PLACE DECIMAL ± .1  
 TWO PLACE DECIMAL ± .03  
 THREE PLACE DECIMAL ± .003  
 ANGULAR ± .5°

DRAWN: *MSS*  
 REVISION #  
 PREVIOUS 1.0  
 CURRENT 1.0  
 DATE: 7/21/2015

**KEOCO** PUMP AND EQUIPMENT  
 WWW.PUMPAHEAD.COM  
 PART NUMBER - TITLE  
**M55 Remote**  
 DIMENSION: INCHES / (XX) MM  
 SCALE: 1:12 SHEET 3 OF 41



*RD 9/1/16*  
 PLUMBING APPROVED  
 SUBJECT TO FLORIDA  
 BUILDING CODE



**OCEAN REEF CLUB MARINA**  
 35 OCEAN REEF DRIVE, OCEAN REEF CLUB  
 KEY LARGO, FL 33037  
**DOCKS A, B, C, D, E, F, G, AND H**  
 SEWER - LANDSIDE

Revisions:  
 Drawn by:  
 Date: 08-14-16  
 Scale: NOTED  
 Project No.  
 Sheet:  
**P2 of P2**

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 FL, P.E. #493231