

File #: 2021-255

Property Owner: Dickerson Group, Inc.

Applicant: Dickerson Group, Inc.

Agent: Smith Hawks, PL
Barton W. Smith, Esq.

Type of Application: Major Conditional Use Permit

Key: Big Coppitt Key

RE: 00120940-000000

Additional Information added to File 2021-255

SMITH/HAWKS
ATTORNEYS AT LAW

Barton Smith, Esq.
Jacob McMahon, Esq.
Jess Miles Goodall, Esq.
Telephone: (305) 296-7227
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Jacob@SmithHawks.com
Jess@SmithHawks.com
Brandi@SmithHawks.com

SENT VIA EMAIL & FEDEX
7742 6965 1901

November 28, 2023

RECEIVED

NOV 30 2023

Devin Tolpin, *Principal Planner*
Monroe County | Planning and Environmental Resources
102050 Overseas Highway
Key Largo, FL 33037
Email: Tolpin-Devin@MonroeCounty-FL.gov

MONROE CO. PLANNING DEPT.

**RE: SUPPLEMENTAL DOCUMENTS IN RESPONSE TO DETERMINATION OF
COMPLETENESS – REQUEST FOR A MAJOR CONDITIONAL USE PERMIT –
FILE# 2021-255 – DATED SEPTEMBER 28, 2023**

Dear Devin,

Enclosed, please find the responses and documents as indicated below to supplement File No. 2021-255, Dickerson Group, Inc. – Request for a Major Conditional Use Permit (this “File”), to satisfy the outstanding responses and documentation needed per the Determination of Completeness dated September 28, 2023. The additional information requested in the Determination of Completeness is numbered below, with Applicant’s corresponding responses in **red** directly beneath.

1. The application that was received by the Planning and Environmental Resources Department on December 27, 2021 appears to have included the Property currently assessed under Parcel ID# 00120940-000000 and the Parcel ID# 00120940-000100 (which appears to have been recently split out and is now under separate ownership) and Parcel ID# 00120940-000301.

The Property that is assessed under Parcel ID# 00120940-000000 and the Property that is now assessed under Parcel ID# 00120940-000100 and Property that is assessed under Parcel ID# 00120940-000301 received Minor Conditional Use Approval for the construction of 20 attached employee housing units, memorialized through Development Order No. 05-21. In accordance with LDC Section 130-165, these properties must be aggregated for development purposes. In the event the applicant is no longer moving forward with the development approved through D.O.

02-21, prior to the expiration of the time periods described in Section 110-73(a)(1) and the commencement of any construction, the owner of any property which is the subject of a recorded conditional use approval and who desires to abandon such approval shall submit a petition to the Planning Director, in accordance with LDC Section 110-72. **Please submit a revised application which reflects current information for all properties subject to this Request for a Major Conditional Use Permit.**

- RESPONSE: Applicant is still moving forward with the development approved through Development Order 05-21 and is not abandoning said approved development. That approved development and the development requested in this File are being aggregated, which has been clarified in the updated Site Plans which are attached to this correspondence. Additionally, please find attached the Amended and Restated Application for this File which corrects the new Parcel ID numbers now applicable.
2. *Full size signed and sealed boundary survey of the entire aggregated property including elevations, all existing structures, paved areas, and utility structures; all bodies of water on the site and adjacent to the site, including the Mean High Water Line (MHWL) as defined by Florida Statutes; total acreage; and total acreage by habitat/ upland and zoning district. Please ensure that the survey indicates the elevations (as measured in NGVD29) at the location of each proposed structure for the purpose of determining compliance with the maximum height restrictions per LDC Section 131-2.*
 - RESPONSE: Please find attached a set of the full size signed and sealed boundary survey of the entire aggregated property.
 3. An updated site plan, drainage plan, and BMP pan have been submitted. Please submit the full sized signed and sealed plans, prepared by a Florida registered architect, engineer or landscape architect (drawn to a scale of 1:10 or 1:20).
 - RESPONSE: Please find attached a full size signed and sealed set of the updated Site Plan, Drainage Plan, and BMP Plan, which were also referenced above in response to request #1.
 4. The properties appear to be under new ownership entities than when this application was originally submitted. Please submit current documentation of ownership (such as Warranty Deeds, Business/ Corp documents and Ownership Disclosure). The Ownership Disclosure of Interest Form can be found here: [chrome-extension://efaidnbmnnnibpcajpcglclefindmkaj / http: // fl-monroecounty2.civicplus.com/DocumentCenter/View/5844/Ownership-Disclosure-of-Interest-Form-03-2023?bidId=](chrome-extension://efaidnbmnnnibpcajpcglclefindmkaj/http://fl-monroecounty2.civicplus.com/DocumentCenter/View/5844/Ownership-Disclosure-of-Interest-Form-03-2023?bidId=)
 - RESPONSE: Please find attached current documentation of ownership (warranty deeds, business documents, and ownership disclosure).
 5. Current Property Record Cards.
 - RESPONSE: Please find attached the current Property Record Cards.

6. Current Agent Authorization Form reflecting all ownership entities.

- RESPONSE: Please find attached the current agent authorization form reflecting all ownership entities.

Sincerely,



Jacob McMahon

JCM/bg

Enclosures

Cc: Ilze Aquila, Aquila-Ilze@MonroeCounty-FL.Gov

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT

FILE NO. 2021-255

1



AMENDED & RESTATED
Request for a Major Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review.

Major Conditional Use Permit Application Fee: \$11,400.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification (SPON): \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

Advertising and Noticing fees for a community meeting: \$245.00 plus \$3.00/SPON

Date of Application: 12 / 23 / 2021
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

<u>SMITH HAWKS, PL</u> Applicant (Name of Person, Business or Organization)	<u>Barton W. Smith, Esq./Jacob C. McMahon, Esq.</u> Name of Person Submitting this Application		
<u>138 Simonton Street, Key West, FL 33040</u> Mailing Address (Street, City, State and Zip Code)	<u>Bart@SmithHawks.com; Jacob@SmithHawks.com;</u> <u>Jess@SmithHawks.com; and Brandi@SmithHawks.com</u>		
<u>(305) 296-7227</u> Work Phone	<u></u> Home Phone	<u></u> Cell Phone	<u></u> Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

- (1) Dickerson Coppitt Marina, LLC;
- (2) Dickerson Coppitt Housing, LLC;
- (3) Dickerson Group, Inc.

<u>Agent</u> (Name/Entity)	<u>c/o Agent</u> Contact Person		
<u>Agent</u> Mailing Address (Street, City, State and Zip Code)	<u>c/o Agent</u> Email Address		
<u>c/o Agent</u> Work Phone	<u></u> Home Phone	<u></u> Cell Phone	<u></u> Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

<u>21</u> Block	<u>67</u> Lot	<u>26</u> Subdivision	<u>Big Coppitt Key</u> Key
<u>(1) 00120940-000000; (2) 00120940-001000; (3) 00120940-000301</u>			<u>(1) 1154598; (2) 9105058; (3) 9098332</u>
<u>Real Estate (RE) Parcel ID Number</u>			<u>Alternate Key Number</u>
<u>(1) Vacant Land, Big Coppitt, FL 33040;</u> <u>(2) 101-504 Polish Thunder Rd, Big Coppitt, FL 33040;</u> <u>(3) Vacant Land, Big Coppitt, FL 33040</u>			<u>9.5</u>
<u>Street Address (Street, City, State & Zip Code)</u>			<u>Approximate Mile Marker</u>

APPLICATION

Land Use District Designation of Property: Industrial (I) / Commercial Fishing District (MCA)

Present Land Use of Property: Vacant Land

Proposed Land Use of Property: Marina

Total Area of Property: 19.1 Acres

Total Upland Area within Property: 7.14 acres of upland; 2.10 acres of disturbed wetland (2.99 acres of mangrove)

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

480 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

_____ Total number of residential buildings

_____ Total number of market-rate units

_____ Total number of affordable units

_____ Total number of transient units (hotel, recreational vehicle and/or campground)

Has a previous application been submitted for this site within the past two years? Yes No
 (The Minor Conditional Use Application, File 2020-056)

Applicants requesting a Major Conditional Use Amendment shall provide for public participation through a community meeting.

Scheduling. The applicant will coordinate with the Planning Director regarding the date, time and location of the proposed community meeting; however, all meetings are to be held on a weekday evening at a location close to the project site, between 45 and 120 days prior to the first of any public hearings required for development approval.

Notice of Meeting. The community meeting shall be noticed at least 15 days prior to the meeting date by advertisement in a Monroe County newspaper of general circulation, mailing of notice to surrounding property owners, and posting of the subject property.

Noticing and Advertising Costs. The applicant shall pay the cost of the public notice and advertising for the community meeting and provide proof of proper notice to the Planning Director.

The community meeting shall be facilitated by a representative from the Monroe County Planning & Environmental Resources Department and the applicant shall be present at the meeting.

PROOF OF PROPER NOTICING ON THE COMMUNITY MEETING WILL BE REQUIRED.

APPLICATION

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Completed application form
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed) (Tab A)
- Current property record card(s) from the Monroe County Property Appraiser (Tab B)
- Photograph(s) of site from adjacent roadway (Tab C)
- Copy of the recorded conditional use permit and any previous modification approvals (Tab D)
- Copy of the most recently approved site plan (Tab E; No Site Plan for this Application has been approved yet, see signed and sealed Site Plan being submitted for approval)
- Written description of project (See Attached Background Letter)
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 8 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat) (Tab F; Survey Previously Submitted with File 2020-056)
- Environmental Designation Survey (prepared in accordance with Monroe County Code §110-70 a). (Tab F; Survey Previously Submitted with File 2020-056)
- Community Impact Statement (prepared in accordance with Monroe County Code §110-70 b). (See Attached Background Letter)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 8 (Tab E) sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - All attributes from the boundary survey
 - Future Land Use Map (FLUM) designation(s) of the site
 - Land Use (Zoning) District designation(s) of site
 - Tier designation(s) of the site
 - Flood zones pursuant to the Flood Insurance Rate Map
 - Setback lines as required by the Land Development Code
 - Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
 - Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
 - Extent and area of wetlands, open space preservation areas and conservation easements
 - Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (*certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service*) (*unless a separate landscape plan showing such is submitted*)
 - Location of fire hydrants or fire wells
 - The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
 - A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking

APPLICATION

- Landscape Plan by a Florida registered landscape architect – 8 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following: (Tab E)
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - Locations and dimensions of all existing and proposed structures, including all paved areas
 - Open space preservation areas
 - Existing natural features
 - Size and type of buffer yards including the species, size and number of plants
 - Parking lot landscaping including the species, size and number of plants
 - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
 - Transplantation plan (if required)
- Stormwater/ Surface Water Management Plan – 8 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas) (Tab G)
- Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 8 sets (drawn at an appropriate standard architectural scale) (Tab H)
- Building Elevations for all proposed structures and for any existing structures to be modified – 8 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure) (Tab I)
- Traffic Study, prepared by a licensed traffic engineer (Tab J)
- Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)
- Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging) (Tab K)
- List of names and addresses of all real property owners within a 600 foot radius of the subject property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included (Tab L)
- Radius report from Monroe County Property Appraiser supporting the required labels (Tab L)
- Proof of Coordination are required from the following: (Tab M)
 - Florida Keys Aqueduct Authority (FKAA)
 - Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
 - Monroe County Office of the Fire Marshal
 - Monroe County Solid Waste Management
 - Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day

If applicable, the following items must be included in order to have a complete application submission:
(Please check the box as each required item is attached to the application.)

- Notarized Agent Authorization (Tab N)
- Vegetation Survey or Wetland delineation
- Construction Phasing Plan

APPLICATION

Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:

- Key West Resort Utilities
- Key Largo Wastewater Treatment District (KLWTD)
- South Florida Water Management District (SFWMD)
- Florida Department of Transportation (FDOT)
- Florida Department of Environmental Protection (FDEP)
- Florida Department of State, Division of Historic Resources
- Florida Fish & Wildlife Conservation Commission (FWC)
- U.S. Army Corps of Engineers (ACOE)
- U.S. Fish and Wildlife Service (USFW)

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

APPLICATION

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: Jacob McMahon

Date: 11-28-2023

STATE OF FLORIDA

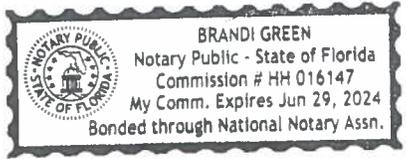
COUNTY OF MONROE

Sworn to and subscribed before me this 28th day of NOVEMBER, 2023,
by means of physical presence or online notarization,

by JACOB McMATHON, who is personally known to me OR ~~produced~~
(PRINT NAME OF PERSON MAKING STATEMENT)

N/A as identification.
(TYPE OF ID PRODUCED)

Brandi Green
Signature of Notary Public



BRANDI GREEN
Print, Type or Stamp Commissioned Name of Notary Public
My commission expires: 06/29/24

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Ownership Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

DICKERSON COPPITT MARINA, LLC

<i>Name and Address</i>	<i>% of Ownership</i>
138 SIMONTON STREET, KEY WEST, FL 33040	
John Joyner	100%

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

<i>Name and Address</i>

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Jacob McMahon
Jacob McMahon

STATE OF FLORIDA

COUNTY OF MONROE

Sword to and subscribed before me, by means of either physical presence OR online notarization, on 28th day of NOVEMBER, 2023, by JACOB MCMAHON
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced N/A as
(TYPE OF ID PRODUCED) identification.

Brandi Green
SIGNATURE OF NOTARY PUBLIC

BRANDI GREEN
PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC
COMMISSION EXPIRES:



**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Ownership Disclosure of Interest

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Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an **INDIVIDUAL**, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a **CORPORATION**, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

DICKERSON COPPITT HOUSING, LLC

<i>Name and Address</i>	<i>% of Ownership</i>
138 SIMONTON STREET, KEY WEST, FL 33040	
John Joyner	50%
Barton Smith	50%

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

<i>Name and Address</i>

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Jacob McMahon
Jacob McMahon

STATE OF FLORIDA

COUNTY OF MONROE

Signed to and subscribed before me, by means of either physical presence OR online notarization, on 28th day of NOVEMBER, 2023, by JACOB MCMAHON
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced NIA as
(TYPE OF ID PRODUCED) identification.

Brandi Green
SIGNATURE OF NOTARY PUBLIC

BRANDI GREEN
PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:



Return to: (Enclose self addressed stamped envelope)
Name: STONES & CARDENAS
Address: 221 Simonton Street
Key West, FL 33040

Doc# 1794430 06/21/2010 9:44AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

This Instrument Prepared By:

STONES & CARDENAS
221 Simonton Street
Key West, FL 33040
(305) 294-0252

06/21/2010 9:44AM
DEED DOC STAMP CL: TRINA \$0.70

Doc# 1794430
Bk# 2471 Pg# 278

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this 14 day of June, 2010, by and between EDWARD TOPPINO, SR., as Trustee of the EDWARD TOPPINO SR. LAND TRUST DATED AUGUST 2, 2004, whose address is PO Box 787, Key West, FL 33041, party of the first part, and THE DICKERSON GROUP, INC., a Florida corporation, whose address is 1501 North Charlotte Avenue, Monroe, NC 28110, party of the second part.

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Ten and 00/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt of which is hereby acknowledged, has remised, released and quit-claimed, and by these presents does remise, release and quit-claim unto the said party of the second part all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate lying and being in the County of Monroe, State of Florida, to wit:

See Exhibit "A" attached hereto and incorporated herein by reference

PARCEL IDENTIFICATION NO.: a portion of 00120940-000300

SUBJECT TO: Taxes for the year 2010 and subsequent years.

SUBJECT TO: Conditions, restrictions, limitations, reservations and easements of record, if any.

THIS DOCUMENT WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR ABSTRACT EXAMINATION AND IS BASED SOLELY ON THE FACTS PROVIDED BY EITHER OF THE PARTIES OR THEIR AGENTS.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

IN WITNESS WHEREOF, the said party of the first part has signed and sealed these presents the day and year first above written.

Signed, Sealed and Delivered
in the Presence of:

EDWARD TOPPINO, SR. LAND TRUST
DATED AUGUST 2, 2004

Cindy Sawyer
Signature of Witness

By: Edward Toppino Sr Trustee
EDWARD TOPPINO, SR., Trustee

Cindy Sawyer
Printed Name of Witness

Doc# 1794430
Bk# 2471 Pg# 279

Angel Creamer
Signature of Witness

Angel Creamer
Printed Name of Witness

STATE OF FLORIDA:
COUNTY OF MONROE:

I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, EDWARD TOPPINO, SR., as Trustee of the EDWARD TOPPINO SR. LAND TRUST DATED AUGUST 2, 2004, who is personally known to me to be the person described in and who executed the foregoing Quit Claim Deed or who produced _____ as identification, and he has acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at Key West, County of Monroe, State of Florida, this 14th day of June, 2010.

Cindy Sawyer
Printed Name of Notary

Cindy Sawyer
NOTARY PUBLIC

My Commission Expires:



DESCRIPTION:

A parcel of land lying adjacent to the lands described in T.I.L.F. Deed #24002 on the Gulf of Mexico in Government Lot 1, Section 21, Township 67 South, Range 26 East, on Big Coppitt Key, Monroe County, Florida, said parcel being more particularly described by metes and bounds as follows:

COMMENCE at the Southwest corner of Block 9 of "GULFREST PARK, PLAT NO. 2" according to the plat thereof as recorded in Plat Book 4 at Page 157 of the Public Records of Monroe County, Florida, and run thence North and along the Westerly boundary line of the said Block 9 for a distance of 614.13 feet; thence run West for a distance of 300.00 feet; thence run North for a distance of 1062.78 feet to a point on the North boundary line of T.I.L.F. Deed #24002 as described in Official Record Book 348 at Page 580, of the said Public Records; thence run West and along the North line of said T.I.L.F. Deed #24002 for a distance of 1331.95 feet to the Point of Beginning; thence continue West and along the North line of said T.I.L.F. Deed #24002 for a distance of 168.05 feet to the Northwest corner of the said T.I.L.F. Deed #24002; thence run South along the Westerly boundary line of the said T.I.L.F. Deed #24002 for a distance of 1064.00 feet, more or less, to a point on the Waterward boundary line as of July 1, 1975; thence meander said Waterward Boundary the following thirty-five (35) courses: N 70°05'20" W, a distance of 36.55 feet; N 32°01'00" W, a distance of 8.37 feet; N 52°32'09" W, a distance of 23.15 feet; S 62°27'26" W, for a distance of 5.75 feet; N 50°45'23" W, a distance of 26.64 feet; N 3°05'43" W, for a distance of 8.22 feet; N 46°26'13" E, a distance of 11.29 feet; N 11°20'44" W, for a distance of 84.86 feet; N 8°30'30" W, a distance of 80.47 feet; N 43°14'48" W, for a distance of 22.83 feet; N 5°55'38" W, a distance of 37.58 feet; N 10°24'35" E, for a distance of 93.05 feet; N 7°23'50" E, a distance of 58.56 feet; N 1°11'08" W, for a distance of 33.23 feet; N 19°43'49" E, a distance of 40.24 feet; N 3°45'08" W, for a distance of 81.70 feet; N 15°17'54" E, a distance of 59.94 feet; N 26°34'40" W, for a distance of 16.41 feet; N 11°18'53" E, a distance of 40.31 feet; N 5°15'53" W, for a distance of 43.09 feet; N 6°19'37" E, a distance of 68.89 feet; N 6°56'38" E, for a distance of 52.73 feet; N 1°35'06" E, a distance of 37.87 feet; N 21°24'05" E, for a distance of 47.74 feet; N 4°05'42" E, a distance of 56.39 feet; N 32°34'10" W, for a distance of 42.85 feet; N 13°09'23" W, a distance of 51.02 feet; N 4°24'02" W, for a distance of 42.38 feet; N 4°7'22'27" E, a distance of 33.84 feet; N 76°34'03" E, for a distance of 43.50 feet; N 73°55'30" E, a distance of 43.28 feet; N 37°00'37" E, for a distance of 51.92 feet; N 17°41'00" E, a distance of 44.94 feet; N 47°31'45" E, for a distance of 42.76 feet; S 65°41'49" E, a distance of 82.02 feet to a point that is North of the Point of Beginning a distance of 186 feet, more or less; thence South 186 feet more or less to the North line of said T.I.L.F. Deed #24002 and the Point of Beginning.

DESCRIPTION FOR: The Dickerson Group, Inc.:

Prepared by and return to:
Jacob McMahon
Smith Hawks, PL
138 Simonton Street
Key West, FL 33040
(305) 296-7227

Parcel Identification No. 00120940-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM-SECTION 689.02,F.S)

This Indenture made this 29th day of July, 2022 between Dickerson Group, Inc., a Florida for-profit corporation, whose post office address is P.O. Box 910, Fort Pierce, FL 34946, Grantor*, and Dickerson Coppitt Marina, LLC, a Florida limited liability company whose post office address is 138 Simonton Street, Key West, FL, 33040, Grantee*.

Witnesseth that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate lying and being in Monroe County, Florida, to-wit:

A TRACT OF LAND AND SUBMERGED LAND IN THE BAY OF FLORIDA, BEING A PART OF GOVERNMENT LOT 1, SECTION 21, TOWNSHIP 67 SOUTH, RANGE 26 EAST, AT BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF BLOCK 9 OF GULFREST PARK PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, AT PAGE 157 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID BLOCK 9 AND THE NORTHERLY EXTENSION THEREOF FOR A DISTANCE OF 1676.91 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF T.I.I.F. DEED NO. 24002 AS DESCRIBED IN OFFICIAL RECORDS BOOK 346 AT PAGE 580 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"W ALONG SAID NORTH BOUNDARY LINE OF T.I.I.F. DEED NO. 24002 FOR A DISTANCE OF 300.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE N89°58'38"W CONTINUING ALONG SAID NORTH BOUNDARY LINE OF T.I.I.F. DEED 24002 FOR A DISTANCE OF 1331.95 FEET TO A POINT; THENCE N00°00'00"E AND LEAVING SAID NORTH LINE OF T.I.I.F. DEED NO. 24002 FOR A DISTANCE OF 186.00 FEET TO A POINT ON THE HISTORIC MEAN HIGH WATER LINE OF THE BAY OF

FLORIDA, AS LOCATED ON FEBRUARY 12, 1974, PER THE DEED RECORDED IN THE OFFICIAL RECORDS BOOK 2587 AT PAGE 1724 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE MEANDERING SAID MEAN HIGH WATERLINE IN A NORTHWESTERLY, SOUTHWESTERLY, SOUTHERLY, SOUTHEASTERLY AND NORTHEASTERLY DIRECTION TO A POINT; THENCE N00°00'00"E AND LEAVING SAID MEAN HIGH WATER LINE FOR A DISTANCE OF 144.34 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"W ALONG SAID SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 63.25 FEET TO THE SOUTHWEST CORNER OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA AND THE WEST LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 785 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 2066.91 FEET BACK TO THE POINT OF BEGINNING. SAID TRACT OF LAND AND SUBMERGED LAND CONTAINS 69.93 ACRES, MORE OR LESS.

And said Grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever.

The parcel of land described in this instrument is located in the unincorporated areas of the county. The use of the parcel of land is subject to and restricted by the goals, objectives, and policies of the Monroe County Comprehensive Plan and the Land Development Code. The land development regulations provide that no building permit shall be issued for any development of any kind unless the proposed development complies with each and every requirement of the regulations, including minimum area and density requirements for residential development. You are hereby notified that under the Monroe County Land Development Code the division of land into parcels of land which are not approved as platted lots under the regulations confers no right to develop a parcel of land for any purpose.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

[Signature page to follow]

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESSES:

GRANTOR:

THE DICKERSON GROUP, INC., a
Florida for-profit corporation

[Signature]
Signature of Witness #1

[Signature]
By: John F. Joyner
As: President

Jeri Stevenson
Printed name of Witness #1

[Signature]
Signature of Witness #2

Tobias Horne
Printed name of Witness #2

STATE OF North Carolina
COUNTY OF Rockingham

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28th day of July, 2022 by John F. Joyner, as President of The Dickerson Group, Inc., a Florida for-profit corporation, who is personally known or has produced _____ as identification.

[Signature]
Notary Public
Stacy V. Koenke
Printed Name

[Notary Seal]



My Commission Expires: February 24, 2026

Prepared by and return to:
Jacob McMahan
Smith Hawks, PL
138 Simonton Street
Key West, FL 33040
(305) 296-7227

Parcel Identification No. 00120940-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM-SECTION 689.02,F.S)

This Indenture made this 28th day of July, 2022 between Dickerson Group, Inc., a Florida for-profit corporation, whose post office address is P.O. Box 910, Fort Pierce, FL 34946, Grantor*, and Dickerson Coppitt Housing, LLC, a Florida limited liability company whose post office address is 138 Simonton Street, Key West, FL, 33040, Grantee*.

Witnesseth that said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate lying and being in Monroe County, Florida, to-wit:

A TRACT OF LAND BEING A PART OF GOVERNMENT LOT 1, SECTION 21, TOWNSHIP 67 SOUTH, RANGE 26 EAST, AT BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF BLOCK 9 OF GULFREST PARK PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, AT PAGE 157 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE N90°00'00"E ALONG THE SOUTH BOUNDARY LINE OF SAID GULFREST PARK PLAT NO. 2 FOR A DISTANCE OF 185.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE N90°00'00"E CONTINUING ALONG SAID SOUTH BOUNDARY LINE OF GULFREST PARK PLAT NO. 2 FOR A DISTANCE OF 700.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF BARCELONA DRIVE, ACCORDING TO THE PLAT OF BAY VIEW PARK, AS RECORDED IN PLAT BOOK 5, AT PAGE 106 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE S00°00'00"E ALONG SAID WEST RIGHT-OF-WAY LINE OF SAID BARCELONA DRIVE FOR A DISTANCE OF 976.42 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF "F" AVENUE, ACCORDING TO THE PLAT OF COPPITT EXTENSION, AS RECORDED IN PLAT BOOK 5, AT PAGE 21 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA; THENCE

N90°00'00"W ALONG SAID NORTH RIGHT-OF-WAY LINE OF "F" AVENUE FOR A DISTANCE OF 131.28 FEET TO A POINT ON THE HISTORIC MEAN HIGH WATER LINE OF THE BAY OF FLORIDA, AS LOCATED ON FEBRUARY 12, 1974, PER THE DEED RECORDED IN THE OFFICIAL RECORDS BOOK 2587 AT PAGE 1724 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE MEANDERING SAID MEAN HIGH WATER LINE IN A NORTHEASTERLY, NORTHWESTERLY, WESTERLY AND SOUTHWESTERLY DIRECTION TO A POINT; THENCE N00°00'00"E AND LEAVING SAID MEAN HIGH WATER LINE FOR A DISTANCE OF 144.34 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"E ALONG SAID SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 236.75 FEET TO THE SOUTHEAST CORNER OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N00°00'00"E ALONG THE EAST LINE OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 340.00 FEET TO A POINT; THENCE N90°00'00"E FOR A DISTANCE OF 135.00 FEET TO A POINT; THENCE N45°00'00"E FOR A DISTANCE OF 70.71 FEET BACK TO THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 14.56 ACRES, MORE OR LESS.

And said Grantor does hereby fully warrant the title to said land and will defend the same against lawful claims of all persons whomsoever.

The parcel of land described in this instrument is located in the unincorporated areas of the county. The use of the parcel of land is subject to and restricted by the goals, objectives, and policies of the Monroe County Comprehensive Plan and the Land Development Code. The land development regulations provide that no building permit shall be issued for any development of any kind unless the proposed development complies with each and every requirement of the regulations, including minimum area and density requirements for residential development. You are hereby notified that under the Monroe County Land Development Code the division of land into parcels of land which are not approved as platted lots under the regulations confers no right to develop a parcel of land for any purpose.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

[Signature page to follow]

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESSES:

GRANTOR:

THE DICKERSON GROUP, INC., a
Florida for-profit corporation

[Signature]
Signature of Witness #1

[Signature]
By: John F. Joyner
As: President

Jeri Stevenson
Printed name of Witness #1

[Signature]
Signature of Witness #2

Tobias Horne
Printed name of Witness #2

STATE OF North Carolina
COUNTY OF Rocky Mount

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 28th day of July, 2022 by John F. Joyner, as President of The Dickerson Group, Inc., a Florida for-profit corporation, who is personally known or has produced _____ as identification.

[Signature]
Notary Public
Stacey V. Koenke
Printed Name



My Commission Expires: February 24, 2026



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
DICKERSON COPPITT MARINA, LLC

Filing Information

Document Number	L22000320376
FEI/EIN Number	N/A
Date Filed	07/19/2022
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	10/11/2023
Event Effective Date	NONE

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040 FL

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040 FL

Registered Agent Name & Address

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title AMBR

JOYNER, JOHN F
1501 CHARLOTTE AVENUE
MONROE, NC 28110

Title AMBR

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2023	04/27/2023

Document Images

10/11/2023 -- LC Amendment	View image in PDF format
04/27/2023 -- ANNUAL REPORT	View image in PDF format
07/19/2022 -- Florida Limited Liability	View image in PDF format



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
DICKERSON COPPITT HOUSING, LLC

Filing Information

Document Number	L22000320330
FEI/EIN Number	N/A
Date Filed	07/19/2022
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	10/11/2023
Event Effective Date	NONE

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040

Registered Agent Name & Address

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title AMBR

JOYNER, JOHN F
1501 CHARLOTTE AVENUE
MONROE, NC 28110

Title AMBR

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2023	04/27/2023

Document Images

10/11/2023 -- LC Amendment	View image in PDF format
04/27/2023 -- ANNUAL REPORT	View image in PDF format
07/19/2022 -- Florida Limited Liability	View image in PDF format

Monroe County, FL

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary



Parcel ID 00120940-000000
Account# 1154598
Property ID 1154598
Millage Group 100B
Location Address VACANT LAND, BIG COPPITT KEY
Legal Description 21 67 26 BIG COPPITT KEY PT LOT 1 & BAY BOTTOM NLY & ADJ TO LOT 1 OR237-259 OR346-580(II DEED 24002) OR389-442 OR929-2401 OR1556-352 OR2349-1651 OR2587-1724 OR3190-1680
(Note: Not to be used on legal documents.)
Neighborhood 10058
Property Class COMMERCIAL (1000)
Subdivision
Sec/Twp/Rng 21/67/26
Affordable Housing No

Owner

DICKERSON COPPITT MARINA LLC
 138 Simonton St
 Key West FL 33040

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$403,452	\$403,452	\$638,846	\$638,846
= Just Market Value	\$403,452	\$403,452	\$638,846	\$638,846
= Total Assessed Value	\$403,452	\$403,452	\$638,846	\$638,846
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$403,452	\$403,452	\$638,846	\$638,846

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$403,452	\$0	\$0	\$403,452	\$403,452	\$0	\$403,452	\$0
2021	\$638,846	\$0	\$0	\$638,846	\$638,846	\$0	\$638,846	\$0
2020	\$638,846	\$0	\$0	\$638,846	\$638,846	\$0	\$638,846	\$0
2019	\$638,846	\$0	\$0	\$638,846	\$638,846	\$0	\$638,846	\$0
2018	\$638,846	\$0	\$0	\$638,846	\$595,212	\$0	\$638,846	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (1M0W)	4.41	Acreage	0	0
ENVIRONMENTALLY SENS (000X)	65.52	Acreage	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
7/28/2022	\$100	Warranty Deed	2388733	3190	1680	11 - Unqualified	Improved		

View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Permits, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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Last Data Upload: 11/21/2023, 4:02:00 AM

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Monroe County, FL

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By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID	00120940-000301
Account#	9098332
Property ID	9098332
Millage Group	100B
Location Address	VACANT LAND, BIG COPPITT KEY
Legal Description	16 67 26 PARCEL OF FILLED SUBMERGED LAND ADJ TO GOVT LT 1 21 67 26 (.87 AC) OR2220-869/870(CERT) OR 2349-1651/1653(CERT) OR2471-278/280Q/C <small>(Note: Not to be used on legal documents.)</small>
Neighborhood	1005B
Property Class	COMMERCIAL (1000)
Subdivision	
Sec/Twp/Rng	21/67/26
Affordable Housing	No

Owner

[DICKERSON GROUP INC](#)
1111 Metropolitan Ave
Ste 1090
Charlotte NC 28204

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$593,381	\$593,381	\$593,381	\$474,705
= Just Market Value	\$593,381	\$593,381	\$593,381	\$474,705
= Total Assessed Value	\$150,165	\$136,514	\$124,104	\$112,822
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$593,381	\$593,381	\$593,381	\$474,705

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$593,381	\$0	\$0	\$593,381	\$136,514	\$0	\$593,381	\$0
2021	\$593,381	\$0	\$0	\$593,381	\$124,104	\$0	\$593,381	\$0
2020	\$474,705	\$0	\$0	\$474,705	\$112,822	\$0	\$474,705	\$0
2019	\$229,818	\$0	\$0	\$229,818	\$102,566	\$0	\$229,818	\$0
2018	\$263,725	\$0	\$0	\$263,725	\$93,242	\$0	\$263,725	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (1M0W)	37,675.00	Square Foot	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
6/14/2010	\$100	Quit Claim Deed		2471	278	11 - Unqualified	Vacant		

View Tax Info

[View Taxes for this Parcel](#)

Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Permits, Sketches (click to enlarge), Photos.

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Monroe County, FL

Disclaimer

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Summary



Parcel ID 00120940-001000
Account# 9105058
Property ID 9105058
Millage Group 100B
Location Address 101-504 POLISH THUNDER Rd, BIG COPPITT KEY
Legal Description 21 67 26 BIG COPPITT KEY PT LOT 1 & BAY BOTTOM NLY & ADJ TO LOT 1 OR237-259 OR346-580(II DEED 24002) OR389-442 OR929-2401 OR1556-352 OR2349-1651 OR2587-1724 OR3190-1677
(Note: Not to be used on legal documents)
Neighborhood 10058
Property Class COMMERCIAL (1000)
Subdivision
Sec/Twp/Rng 21/67/26
Affordable Housing No

Owner

DICKERSON COPPITT HOUSING LLC
 138 Simonton St
 Key West FL 33040

Valuation

	2023 Certified Values	2022 Certified Values
+ Market Improvement Value	\$0	\$0
+ Market Misc Value	\$0	\$0
+ Market Land Value	\$236,095	\$236,095
= Just Market Value	\$236,095	\$236,095
= Total Assessed Value	\$236,095	\$236,095
- School Exempt Value	\$0	\$0
= School Taxable Value	\$236,095	\$236,095

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$236,095	\$0	\$0	\$236,095	\$236,095	\$0	\$236,095	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (1M0W)	2.61	Acreage	0	0
ENVIRONMENTALLY SENS (000X)	11.95	Acreage	0	0

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
7/28/2022	\$100	Warranty Deed	2388732	3190	1677	11 - Unqualified	Improved		

View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

No data available for the following modules: Buildings, Yard Items, Permits, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

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[Contact Us](#)

Developed by
 Schneider
GEOSPATIAL

AGENT AUTHORIZATION FORM

Date of Authorization: 11 / 24 / 2023
Month Day Year

I hereby authorize Smith Hawks, PL / Barton W. Smith, Esq. Jess Miles Goodall, Esq. Jacob C. McMahon, Esq. be listed as authorized agent
(Print Name of Agent)

representing DICKERSON COPPITT MARINA, LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Any/All Planning Department Applications
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

Lot 1 & Bay Bottom Adj to Lot 1 Big Coppitt
Lot Block Subdivision Key (Island)

00120940-000000 1154598
Real Estate (RE) / Parcel ID Number Alternate Key Number

Vacant Land, Big Coppitt, Florida 33040 9.5
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

138 Simonton Street, Key West, Florida 33040

Mailing Address (Street, City, State and Zip Code)

(305)296-7227

Bart@SmithHawks.com; Jess@SmithHawks.com
Jacob@SmithHawks.com; & Brandi@SmithHawks.com

Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature]
Printed Name of Owner: Barton W. Smith

Date: 11-24-23
Title: Authorized Member

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me, by means of either [X] physical presence OR [] online notarization,

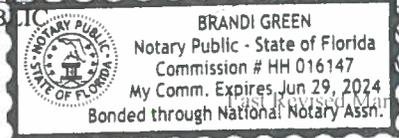
on 24th day of November, 2023, by Barton W. Smith
(PRINT NAME OF PERSON MAKING STATEMENT)

as Authorized Member for DICKERSON COPPITT MARINA, LLC

who is [X] personally known to me OR [] produced N/A as identification.
(TYPE OF ID PROVIDED)

[Signature]
SIGNATURE OF NOTARY PUBLIC

[Signature]
PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC



MY COMMISSION EXPIRES: 06/29/2024



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
DICKERSON COPPITT MARINA, LLC

Filing Information

Document Number	L22000320376
FEI/EIN Number	N/A
Date Filed	07/19/2022
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	10/11/2023
Event Effective Date	NONE

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040 FL

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040 FL

Registered Agent Name & Address

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title AMBR

JOYNER, JOHN F
1501 CHARLOTTE AVENUE
MONROE, NC 28110

Title AMBR

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2023	04/27/2023

Document Images

10/11/2023 -- LC Amendment	View image in PDF format
04/27/2023 -- ANNUAL REPORT	View image in PDF format
07/19/2022 -- Florida Limited Liability	View image in PDF format

AGENT AUTHORIZATION FORM

Date of Authorization: 11 / 24 / 2023
Month Day Year

I hereby authorize Smith Hawks, PL / Barton W. Smith, Esq. / Jess Miles Goodall, Esq. / Jacob C. McMahon, Esq. be listed as authorized agent
(Print Name of Agent)

representing DICKERSON COPPITT HOUSING, LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))
of Any/All Planning Department Applications
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

Lot 1 & Bay Bottom Adj to Lot 1 Big Coppitt
Lot Block Subdivision Key (Island)
00120940-001000 9105058
Real Estate (RE) / Parcel ID Number Alternate Key Number
101-504 Polish Thunder Rd, Big Coppitt Key, FL 33040 9.5
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

138 Simonton Street, Key West, Florida 33040

Mailing Address (Street, City, State and Zip Code)

(305)296-7227

Bart@SmithHawks.com; Jess@SmithHawks.com
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Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature]
Printed Name of Owner: Barton W. Smith

Date: 11.24.23
Title: Authorized Member

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me, by means of either [X] physical presence OR [] online notarization,

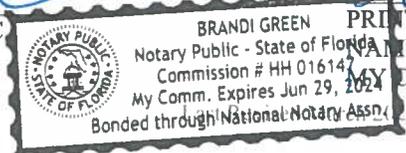
on 24th day of November, 2023, by Barton W. Smith
(PRINT NAME OF PERSON MAKING STATEMENT)

as Authorized Member for DICKERSON COPPITT HOUSING LLC

who is [X] personally known to me OR [] produced N/A as identification.
(TYPE OF ID PROVIDED)

[Signature]
SIGNATURE OF NOTARY PUBLIC

[Signature]
PRINT, TYPE OR STAMP COMMISSIONED



NAME OF NOTARY PUBLIC
COMMISSION EXPIRES: 06/29/2024



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
DICKERSON COPPITT HOUSING, LLC

Filing Information

Document Number	L22000320330
FEI/EIN Number	N/A
Date Filed	07/19/2022
State	FL
Status	ACTIVE
Last Event	LC AMENDMENT
Event Date Filed	10/11/2023
Event Effective Date	NONE

Principal Address

138 SIMONTON STREET
KEY WEST, FL 33040

Mailing Address

138 SIMONTON STREET
KEY WEST, FL 33040

Registered Agent Name & Address

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

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JOYNER, JOHN F
1501 CHARLOTTE AVENUE
MONROE, NC 28110

Title AMBR

SMITH, BARTON W
138 SIMONTON STREET
KEY WEST, FL 33040

Annual Reports

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SMITH / HAWKS

ATTORNEYS AT LAW

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Jess@SmithHawks.com
Brandi@SmithHawks.com

SENT VIA EMAIL & FEDEX
7734 6726 3771

September 19, 2023

Devin Tolpin, *Principal Planner*
Monroe County | Planning and Environmental Resources
102050 Overseas Highway
Key Largo, FL 33037
Email: Tolpin-Devin@MonroeCounty-FL.gov

**RE: SUPPLEMENTAL DOCUMENTS IN RESPONSE TO DETERMINATION OF
COMPLETENESS – REQUEST FOR A MAJOR CONDITIONAL USE PERMIT –
FILE# 2021-255 – DATED SEPTEMBER 2, 2022**

Dear Devin,

Enclosed, please find the responses and documents as indicated below to supplement File No. 2021-255, Dickerson Group, Inc. – Request for a Major Conditional Use Permit, to satisfy the outstanding responses and documentation needed per the Determination of Completeness dated September 2, 2022. The additional information requested in the Determination of Completeness is numbered below, with Applicant's corresponding responses bold and underlined directly beneath.

1. *Full Size* Signed and Sealed Boundary Survey including elevations, all existing structures, paved areas, and utility structures; all bodies of water on the site and adjacent to the site, including the Mean High Water Line (MHWL) as defined by Florida Statutes; total acreage; and total acreage by habitat/ upland and zoning district. **Please ensure that the survey indicates the elevations (as measured in NGVD29) at the location of each proposed structure for the purpose of determining compliance with the maximum height restrictions per LDC Section 131-2.**

The survey that was recently submitted does not include all portions of the subject property. A boundary survey showing the entire property must be submitted.

- **RESPONSE: Please find attached a boundary survey showing the entire property.**

2. Documentation indicating that the applicant has provided necessary plans to FKAA, Keys Energy Services, as requested in preliminary coordination letters submitted.
 - **RESPONSE: The application simply provides that “proof of coordination is required” from the listed entities. The letters of coordination provided from FKAA and Keys Energy Services are just that and are sufficient to meet this requirement—the additional plans requested within those letters of coordination are not yet available and will be provided to FKAA and Keys Energy at the building permit application stage as required.**
3. Benthic Survey in order to document the presence or absence of hardbottom communities.
 - **RESPONSE: Please find attached a Benthic Resource Assessment for the project area.**
4. Bathymetric survey demonstrating adequate water depth and access at MLW at the marina site (including the mooring slips, turning basin, and access channels), **and the water depth shall be continuous to open water over a channel width of twenty (20) feet**

The submitted survey details the southwest portion of the site and does not include the boat launch area or channel.

Sec. 118-15. - Marina Siting Criteria.

(a) Siting criteria. The development of new marina facilities shall be located in areas where maximum physical advantages exist and where no unreasonable or excessive impacts are foreseen on marine resources. Proposed new marina facilities shall meet the following requirements:

(1) Benthic vegetation and hardbottom communities. Siting of marinas in areas of seagrass or hardbottom (including hard and soft corals) should be avoided. Boat mooring sites (slips or docks) shall not be located over a seagrass bed community or hardbottom community regardless of water depth. No impacts to seagrass beds or hardbottom communities should result from the construction or use of new marina development.

(2) Adequacy of circulation and tidal flushing. The proposed marina site shall exhibit adequate circulation and tidal flushing. The waterway upon which the marina is proposed to be sited shall meet or exceed state water quality standards, and must currently have "Good" water quality as indicated in the County's most current canal inventory and assessment data (as applicable). New marina development shall not adversely impact the quality of water during construction or use.

(3) **Adequate water depth and access. There shall be a minimum of four (4) feet of water depth at MLW at the marina site (including the mooring slips, turning basin,**

and access channels), and the water depth shall be continuous to open water over a channel width of twenty (20) feet. Water depth shall be adequate for the proposed vessel use such that there be a minimum of one (1) foot clearance between the deepest draft of the vessel and the bottom at MLW. Greater water depths shall be required for those facilities proposed for accommodating vessels having greater than a three (3) foot draft. Sites shall not require dredging or filling to provide access.

- **RESPONSE: Please find attached the Bathymetric Survey, which has been updated to include labels showing the width throughout the channel from the channel's beginning to open water to show that the channel has a minimum depth of four feet continuously to open water. The Bathymetric Survey can only show present conditions and cannot be amended to show planned construction, such as the marina, mooring slips, etc. However, the Site Plan has also been updated to incorporate data from the Bathymetric Survey— please find attached the updated Site Plan, which now depicts the corresponding bathymetric data with the location of the boat launch to show that there is adequate depth to support it.**

If you have any questions and/or concerns, or require anything further, please do not hesitate to reach out.

Sincerely,


Jacob C. McMahon

JCM/JMG/bg

Enclosures

Cc: (Electronically): Ilze Aguila, Aguila-Ilza@MonroeCounty-FL.Gov



Terramar Environmental Services, Inc.
1241 Crane Boulevard
Sugarloaf Key, Florida 33042
terramar.env@gmail.com

BENTHIC RESOURCE ASSESSMENT

Project Description	Dickerson Marina Project MCU File# 2021-255
Project Location	Dickerson Marina Project Vacant Land, Big Coppitt Key Monroe County
Prepared for	Smith Hawks 138 Simonton Street Key West, Florida 33040
Prepared by	Terramar Environmental Services, Inc. 1241 Crane Boulevard Sugarloaf Key, Florida 33042
Date of Field Assessment	August 25, 2023
Date of Report	August 28, 2023

PROJECT DESCRIPTION

The Dickerson Marina Project is a proposed boat storage and launch facility located on Big Coppitt Key, Monroe County, RE# 00120940. The proposed project includes a series of boat racks, driveways, parking, office and a waterside boat launch facility. The waterside boat launch facility includes an 18' x 20' wide concrete haul out to accommodate a vessel lift, a 10' x 22' (220 sf) floating dock, and a 6' x 50' (360 sf) floating dock (Figure 1). The floating docks are for the temporary staging of vessels that use the facility. The boat launch and the floating docks include in-water construction and are the subject of this benthic assessment. The upland facilities were not evaluated.

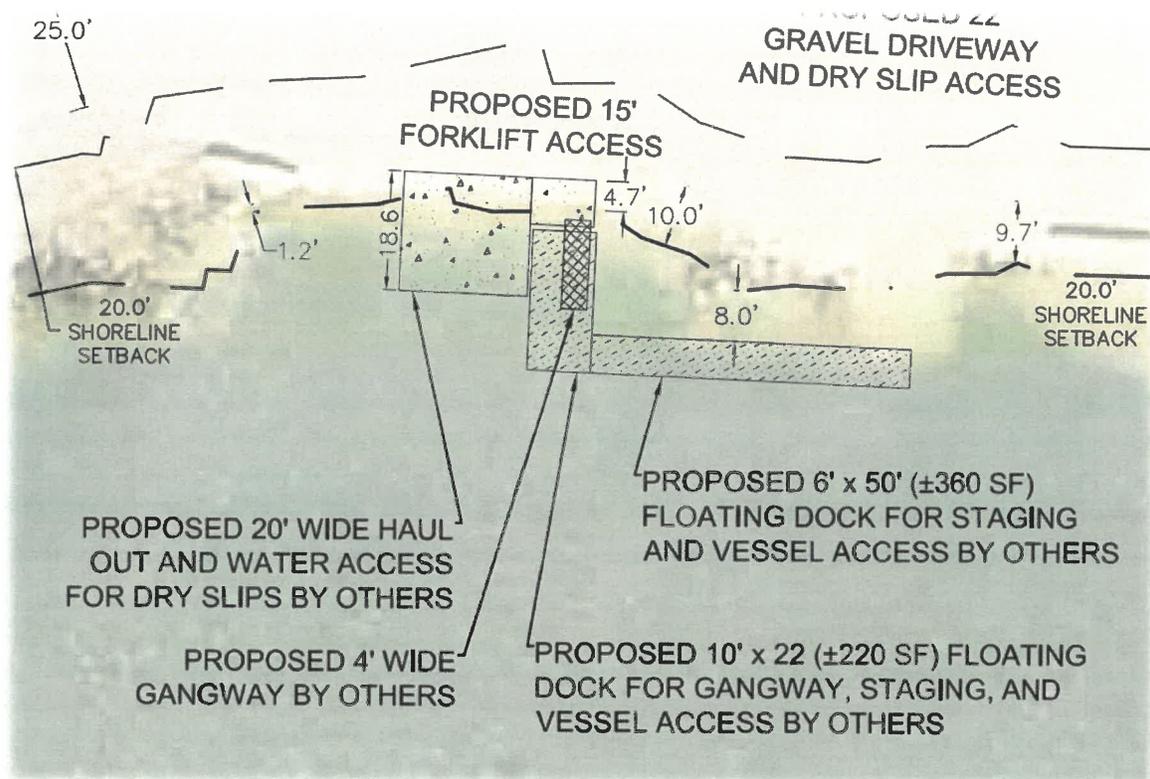


Figure 1. Proposed in-water portion of the project including boat launch and floating docks for vessel staging. Prepared by: Weiler Engineering.

The proposed project is currently under review by the Monroe County Planning and Environmental Resources Department as part of a Conditional Use Application, MCU File# 2021-255. In order to evaluate the impacts of the proposed project to the marine environment, a current assessment of biological resources potentially impacted by the project is needed. This benthic resource assessment is specific to the information contained in the Conditional Use Application provided by the applicant. Details of the proposed project including the site address, ownership, GPS coordinates and project design are included in the Conditional Use Application and preliminary project plans prepared by Weiler Engineering (see attached).

SURVEY METHODS

This benthic resource assessment was prepared in accordance with the most current Florida Keys National Marine Sanctuary (FKNMS) Resource Assessment Survey Protocols for Nearshore Construction Projects and under the authorization of FKNMS Permit FKNMS-2020-117-A1, Benthic resource surveys and coral rescue/relocation in Florida Keys National Marine Sanctuary issued to Terramar Environmental Services, inc. on June 10, 2022.

Assessment Areas

The in-water assessment of the survey area described above was conducted on August 25, 2023, with water clarity approximately 10' at the time of survey. The survey area included all areas proposed for work under "Project Description" above. In addition, buffer areas and adjacent habitat areas in the project vicinity were also evaluated in order to evaluate project alternatives.

Specifically, the survey area included the following locations:

- The shoreline in within the footprint of the proposed boat launch pad and floating docks
- The seafloor within the footprint of the proposed boat launch pad and floating docks

In addition to assessing the footprint of the proposed structures, the seafloor in the vicinity of all proposed improvements, within five feet (5') were also assessed for resources to allow for buffer

impacts and constructability, where applicable, and in accordance with FKNMS Resource Assessment Survey Protocols.

Sampling Methods

Observed benthic resources were categorized into generalized habitat classifications adapted for nearshore conditions typically encountered in the Florida Keys. Habitats occurring within the surveyed areas were assessed using broadly accepted marine habitat definitions and described qualitatively based on the following criteria:

Habitat Type	Cover Description	Cover Class
Seagrass	Sparse	5-25%
Seagrass	Moderate	25-75%
Seagrass	Dense	75-100%
Hardbottom	Sparse	5-25%
Hardbottom	Moderate	25-75%
Hardbottom	Dense	75-100%
Macroalgae	Sparse	5-25%
Macroalgae	Moderate	25-75%
Macroalgae	Dense	75-100%
Disturbed: Rubble & Scour	NA	NA
Disturbed: Mud, Muck and Organics	NA	NA

Seagrass habitats, when present, were assessed for species composition, density by cover class and extent relative to the proposed project.

Hard and soft corals, when present, were assessed for species, size, health parameters and location relative to the proposed project. Each coral encountered was identified to species, measured for size along three axes (length, width, height), and their location on the site recorded. Coral surface area for colonies <10 cm diameter was determined as length x width (X, Y axis). However, surface

area calculations for corals ≥ 10 cm diameter include colony height (Z axis). Because the surface area of a dome (or $\frac{1}{2}$ of the surface area of an oblate, prolate, or scalene ellipsoid) is not a simple elementary function, the formula for an ellipsoid *sensu* Knud Thomsen was utilized.

When applicable, the location of Submerge Aquatic Resources (SAR, i.e., seagrass, corals, natural hardbottom) was field located and mapped to location. If no SAR is present within an assessment area, no mapping was completed.

Reference photographs representing dominant benthic species, examples of seagrass and macroalgal communities encountered, and other applicable site conditions were taken (see attached).

SURVEY RESULTS

The property is a vacant parcel located along a dredged channel and also adjacent to a former rock mining operation. The project occurs on a narrow spit of land between these two water bodies, on the disturbed former rock mine. The proposed in-water work occurs along the shoreline of the dredged canal on the south side of the property (see plans).

Shoreline: The shoreline in the vicinity of the proposed boat launch and dock access walk is a disturbed, filled shoreline with large concrete barriers preventing access to the water. There is no fill retention along the shoreline, and erosion of fill material into the canal is evident. There is no shoreline vegetation present at the location of the proposed boat launch and dock access walkway. The boat launch and dock were specifically designed to avoid impacts to any of the shoreline vegetation located along the shoreline in other areas.

In-Water: Waterward of the shoreline is a disturbed rocky shelf that extends appx. 8'-10' waterward of the upland shoreline out to where the seafloor drops abruptly into the deep water of the dredged canal. This shallow shelf is 1'-4' deep and supports a macroalgae community from the shoreline out into the canal. Species composition of the macroalgae community includes Batophora, Udotea, Pennicillus, Halimeda, Acetabularia, and Caulerpa. Macroalgae cover is dense throughout the shallow shelf area and extends down along the slope as it transitions into deep canal

depths. In the deeper portions of the canal, the benthic habitat is a disturbed rocky rubble seafloor with sparse macroalgae and sediment accumulations. No seagrass, hardbottom habitat or corals were observed within the assessment area (Figure 2 & 3).

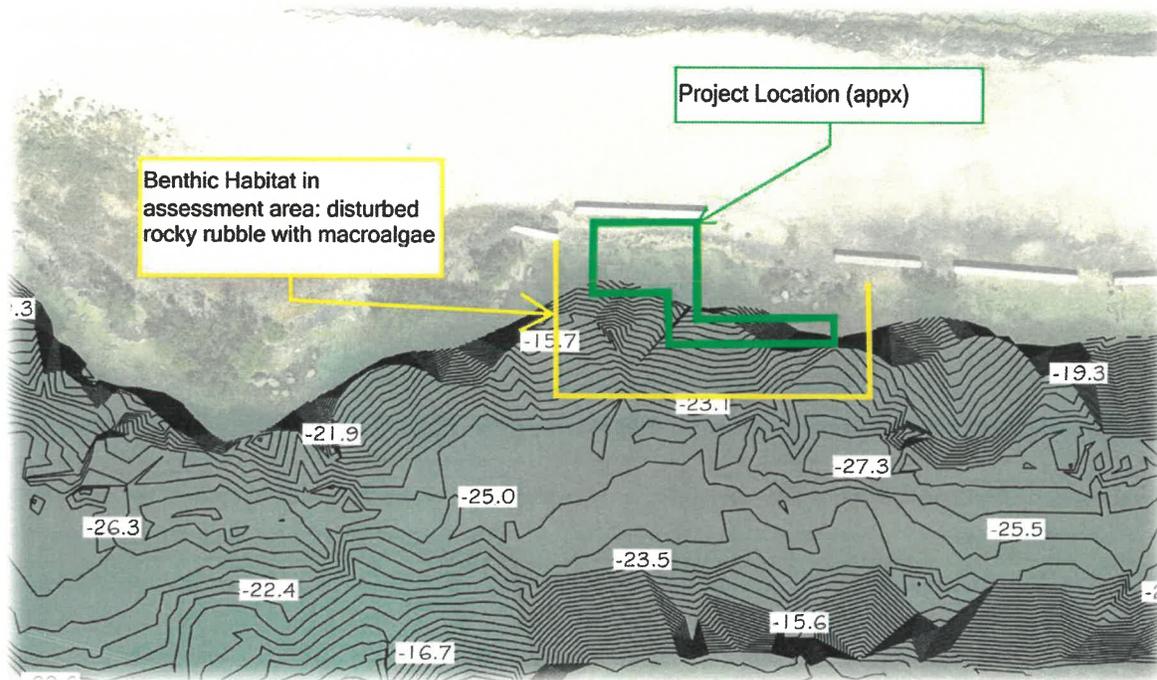


Figure 2. Location of the proposed project with benthic habitats composed of disturbed rocky rubble with macroalgae.

RESOURCE OCCURRENCE SUMMARY

In order to facilitate the review of the project on protected marine resources, the following summary checklist was prepared to summarize the habitats present of the project site and if those resources are impacted by the proposed project. Broadly accepted definitions for major benthic habitat types are used to assess the occurrence of marine habitats on the project site.

The definition for a hardbottom community was taken from the JAXBO and is defined as natural consolidated hard substrate that is suitable to support corals, coral larval settlement, reattachment and recruitment of asexual coral fragments. Hardbottom is generally free from extensive fleshy

or turf macroalgae cover and sedimentation. Hardbottom throughout the Florida Keys includes solid, flat, low-relief substrate composed of Key Largo limestone (fossilized coral reef, worm rock) or Miami oolite (consolidated limestone pavement). Depth ranges from intertidal to approximately 7m in deep tidal channels and the inside edge of Hawk Channel. Hardbottom may include a thin veneer of carbonate sand or mud, however this layer is too thin and unstable to support the development of a seagrass community.

Seagrass habitat is defined as Submerged Aquatic Vegetation, occurring either over natural or disturbed sites (dredged channels, basins, canals) that support a detectable amount of seagrass that can be quantified through qualitative assessment methods. The most common seagrass species include Turtle grass (*Thalassia testudinum*), Shoal grass (*Halodule wrightii*) and Manatee grass (*Syringodium filiforme*). In the Florida Keys, seagrass communities are highly variable, ranging from sparse, patchy cover to dense, continuous cover. Seagrass communities typically occur as mixed species assemblages but may also occur as monospecific patches.

Mangrove communities include any occurrence of mangrove trees, either on natural or disturbed sites (canals, basins, altered shorelines). Mangrove species include red mangrove (*Rhizophora mangle*), black mangrove (*Avicennia germinans*), and white mangrove (*Laguncularia racemosa*). Green buttonwood (*Conocarpus erectus*) may grow in association with mangrove vegetation, notably on disturbed sites, but are not evaluated as a mangrove resource.

Resource Type	Present on Site	Impacted by Project
Shoreline Vegetation: Mangroves	Yes	Shoreline vegetation present, including mangroves, but the project design to avoid mangrove impacts
Shoreline Vegetation: Wetlands	No	None present
Seagrass	No	None present
Hardbottom	No	None present
Corals	No	None present

DESIGN ALTERNATIVES / RESOURCE AVOIDANCE AND MINIMIZATION

In order to assess if the proposed project is designed to provide the least environmentally damaging practical alternative, the overall project site under ownership was evaluated for alternative design. For example, if the placement of a dock could be modified to avoid significant shoreline vegetation or Submerged Aquatic Resources (SAR), this section will evaluate if an alternative design is appropriate, strictly from an environmental perspective. As biologists, we cannot speculate on the practicality of the design from the engineering or ownership perspective.

The proposed project was specifically designed to avoid impacts to shoreline vegetation including mangroves and seagrass communities that occur on the property. The boat launch structure and dock walkway were located in an area of the shoreline where mangrove are absent, and the benthic community was a disturbed substrate with macroalgae. There are no practical design alternatives that could be implemented while still retaining the design of the project.

PROJECT IMPACTS - SUMMARY EVALUATION

The following resource impacts and resource concerns are associated with the proposed project:

The boat launch pad and floating dock will result in impacts to the disturbed rocky rubble benthic habitat. The boat launch will directly impact an area < 400 sf and the floating docks will have shading impacts < 600 sf.

The proposed project was designed to avoid impacts to shoreline vegetation and seagrass. These resources are present in the vicinity of the proposed project, but were specifically avoided as part of the final design. The floating docks were designed to extend into the deep water of the canal where vessel mooring will not impact the seafloor.

The proposed project will not impact seagrass, hardbottom, mangrove or coral resources. The project has been designed to avoid the mangroves along the shoreline and seagrass habitats in the project vicinity. No hardbottom or corals are present.

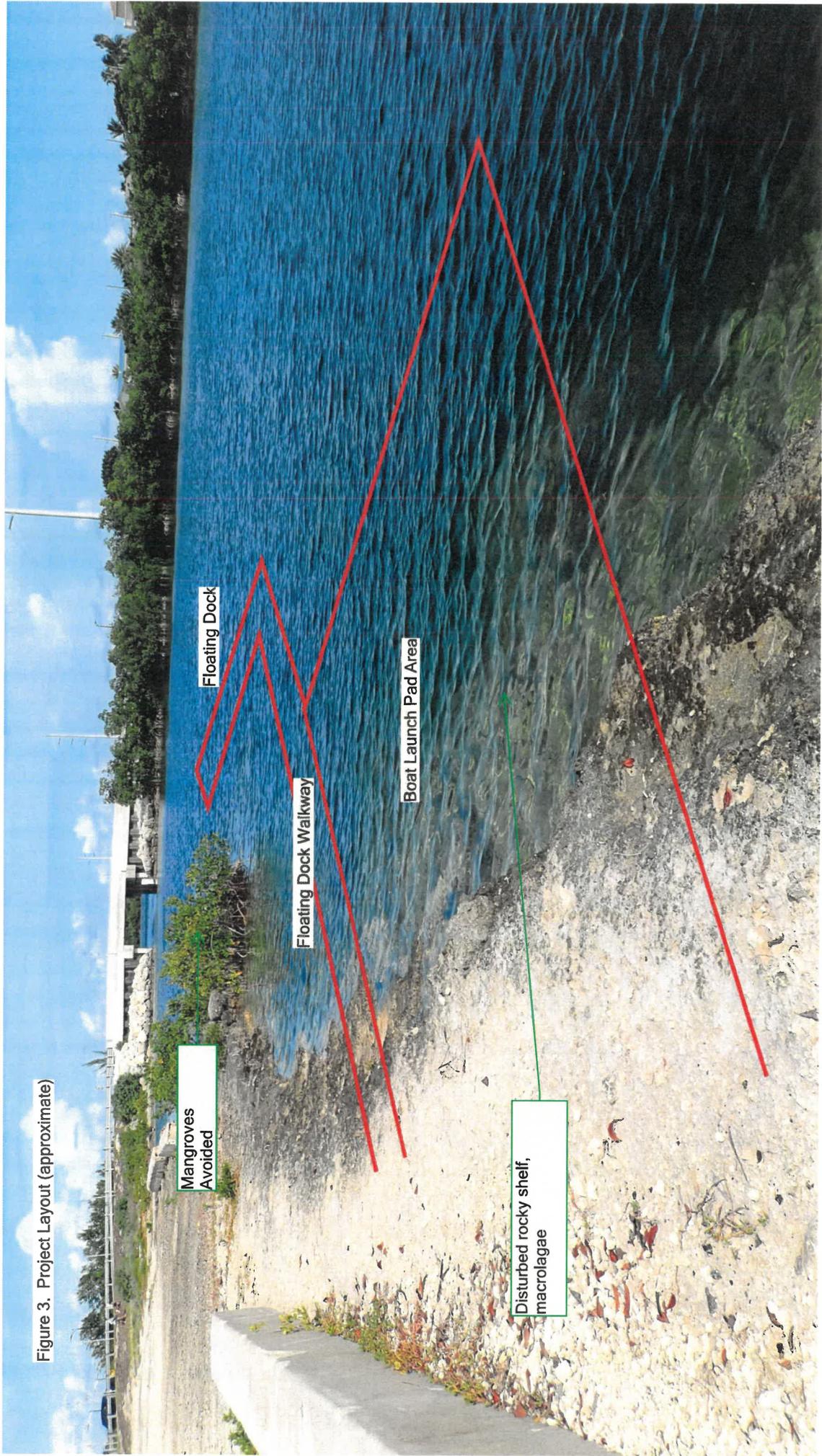


Figure 3. Project Layout (approximate)

Mangroves
Avoided

Floating Dock

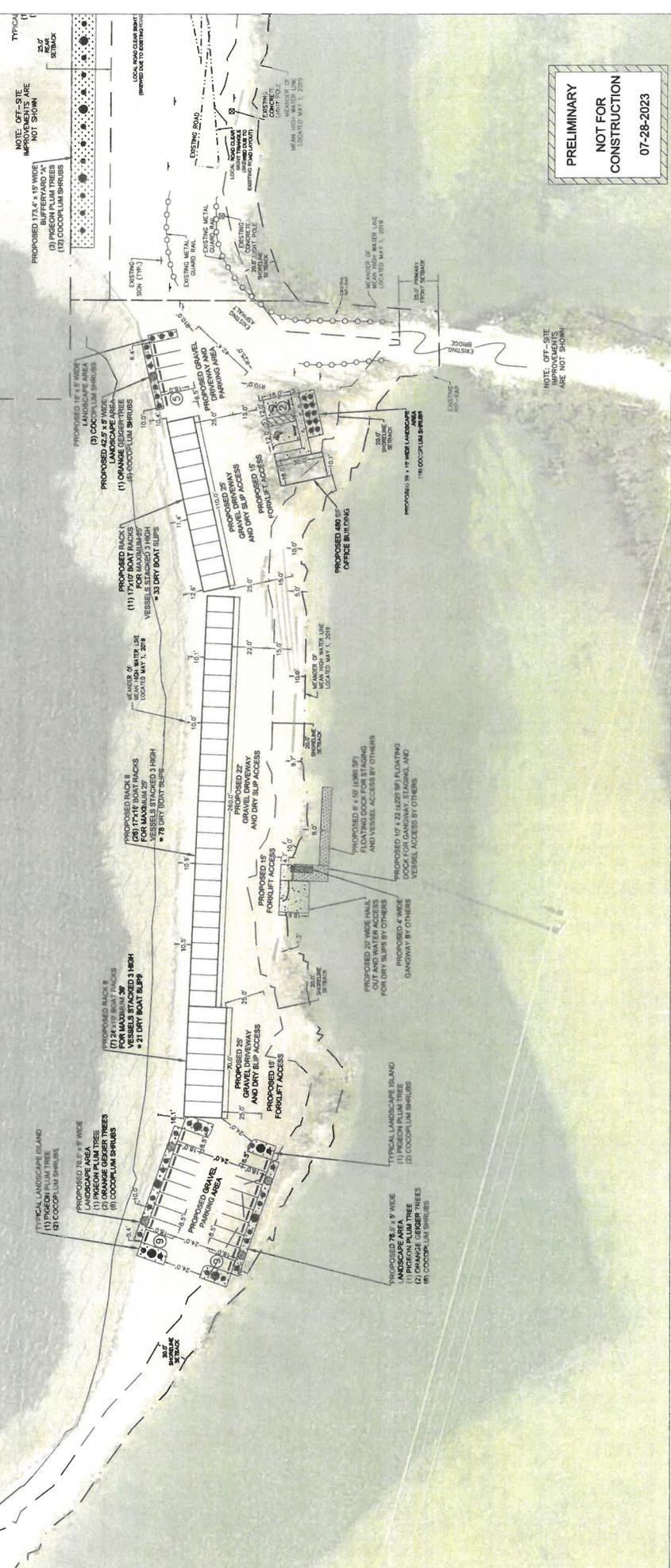
Floating Dock Walkway

Boat Launch Pad Area

Disturbed rocky shelf,
macrolagae

Project Plan

Prepared by Weiler Engineering Corporation (WEC)



PRELIMINARY
NOT FOR
CONSTRUCTION
07-28-2023

NOTE: OFF-SITE
IMPROVEMENTS
ARE NOT SHOWN

NOTE: OFF-SITE
IMPROVEMENTS ARE
NOT SHOWN

TYPICAL LANDSCAPE ISLAND
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 76.5 x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 42.2 x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 27' x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 117.2 x 10' BOAT SLIPS
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 27' x 9 WIDE
LANDSCAPE AREA
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PROPOSED 27' x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 117.2 x 10' BOAT SLIPS
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 27' x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 42.2 x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 27' x 9 WIDE
LANDSCAPE AREA
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

PROPOSED 117.2 x 10' BOAT SLIPS
(1) ORANGE GERGER TREES
(2) COCCOPLUM SHRUBS

Project: Dickerson Marina Project, Big Coppitt Key, Monroe County



Existing shoreline conditions showing the barren shoreline with erosion obvious. The mangroves in the distance are avoided by the proposed project.



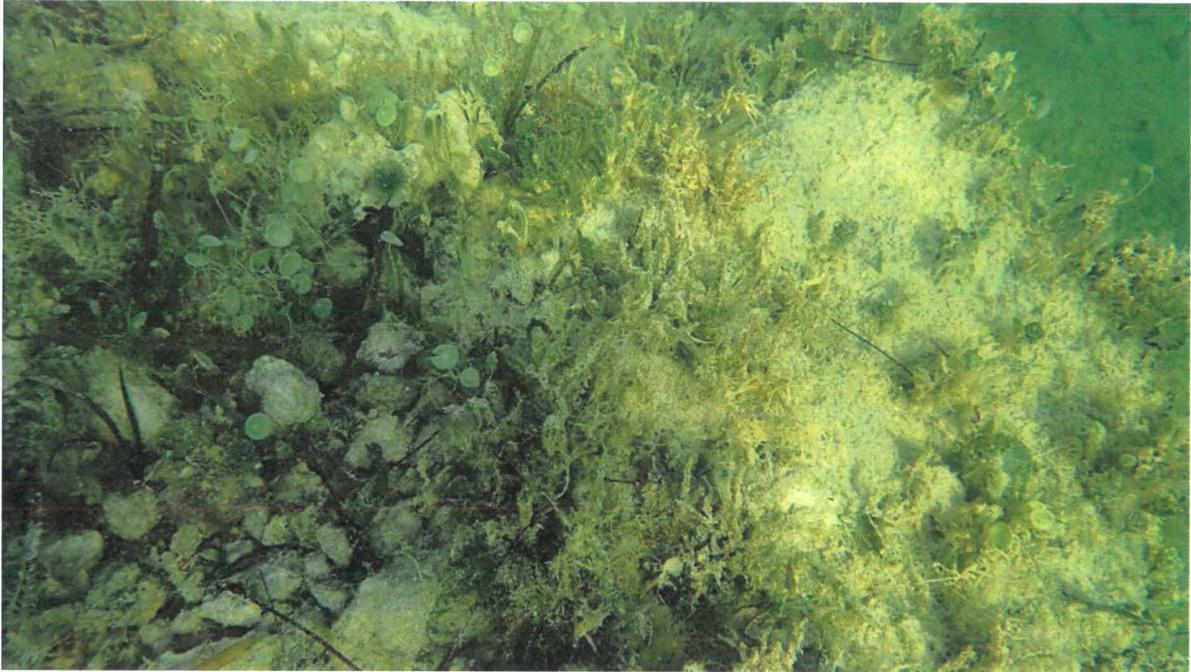
Existing shoreline conditions showing the barren shoreline with erosion obvious. The mangroves in the distance are avoided by the proposed project.



Shallow submerged shelf that extends waterward from the shoreline out to the dredged canal. The benthic habitat that occurs throughout the shallow submerged shelf where the boat launch and floating dock will be constructed is macroalgae over a disturbed rocky rubble substrate.



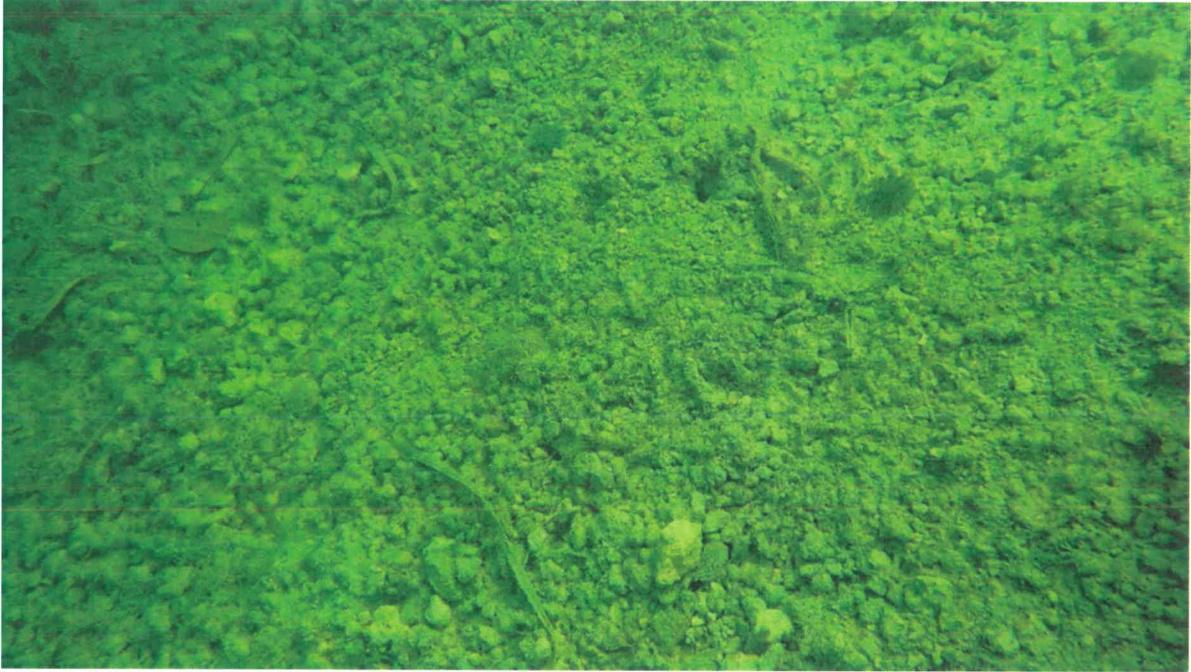
Shallow submerged shelf that extends waterward from the shoreline out to the dredged canal. The benthic habitat that occurs throughout the shallow submerged shelf where the boat launch and floating dock will be constructed is macroalgae over a disturbed rocky rubble substrate.



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Shallow submerged shelf that extends waterward from the shoreline out to the dredged canal. The benthic habitat that occurs throughout the shallow submerged shelf where the boat launch and floating dock will be constructed is macroalgae over a disturbed rocky rubble substrate.



The deeper water in the dredged canal supports a less-dense macrolagae community with disturbed substrate and limited macroalgae present.

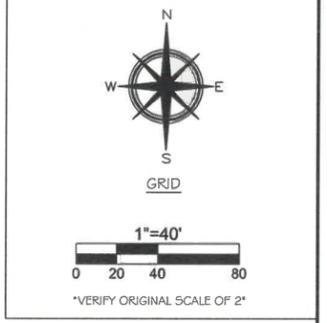


The deeper water in the dredged canal supports a less-dense macrolagae community with disturbed substrate and limited macroalgae present.

BATHYMETRIC SURVEY MAP

DICKERSON GROUP - VACANT

BIG COPPITT KEY, FL



MONROE COUNTY PROPERTY APPRAISER
PARCEL ID# 00120940-000000

END DREDGED CHANNEL, BEGIN OPEN WATER

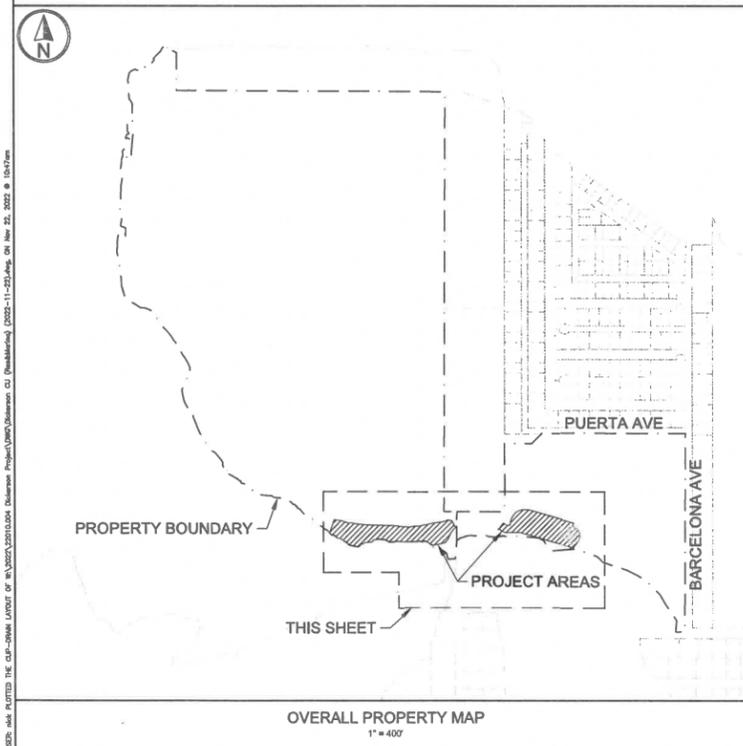
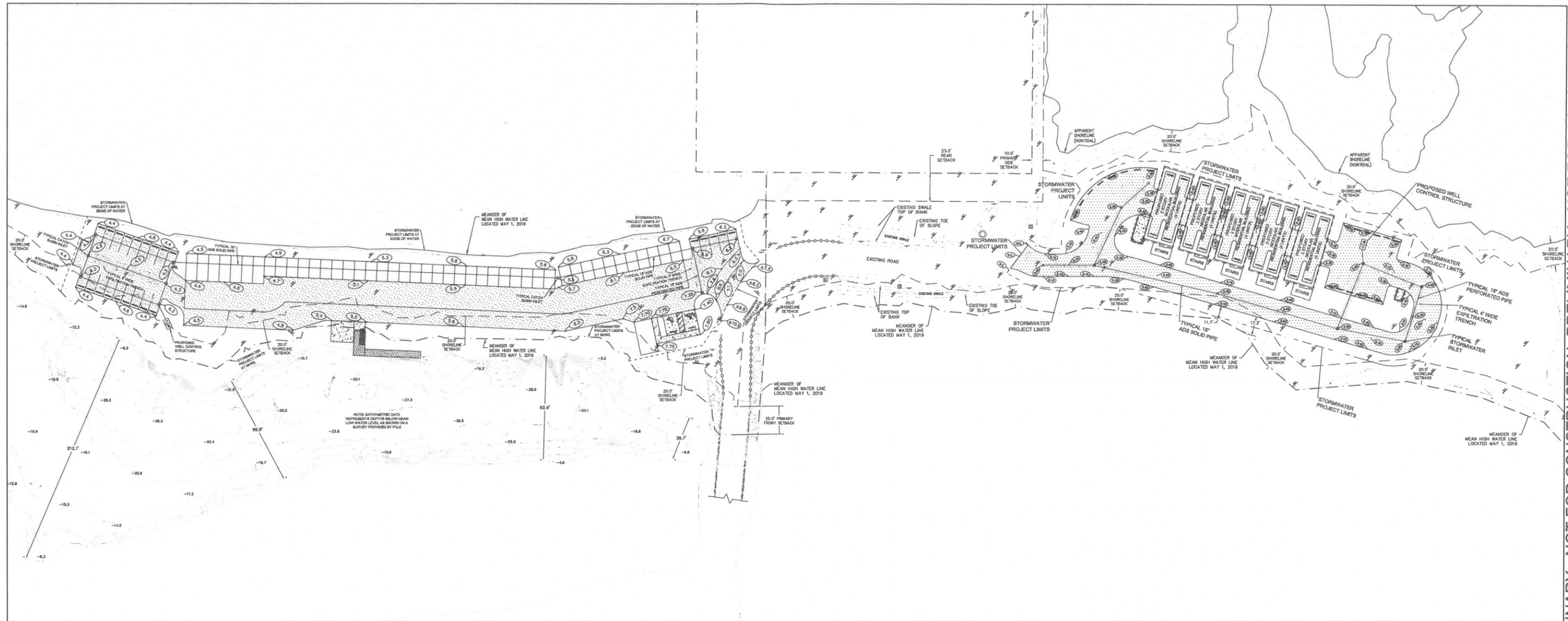
GULF OF MEXICO

GULF OF MEXICO

- SURVEY NOTES -**
1. THE FOLLOWING NATIONAL GEODETIC SURVEY VERTICAL CONTROL MONUMENT WAS RECOVERED AND UTILIZED FOR THE ELEVATIONS INDICATED HEREIN:
DESIGNATION: 9272 4459 E TIDAL; ELEVATION = 14.62 NAVD83
 2. HORIZONTAL CONTROL ASCERTAINED FROM ONLINE USER POSITIONING SERVICE SHARED POSITIONS AND NATIONAL GEODETIC SURVEY DATA BASED ON THE FOLLOWING TWO NATIONAL GEODETIC SURVEY MONUMENTS:
DESIGNATION: 9272 4459 E TIDAL; NORTHING: 94943.38; EASTING: 435121.54
DESIGNATION: 9272 4438 TIDAL 2; NORTHING: 96229.47; EASTING: 442545.21
 3. THIS SURVEY IS REFERENCED TO A PROJECTION OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (EAST ZONE) NAD 1983 (2011 ADJUSTMENT). ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
 4. DEPTHS SHOWN ARE REFERENCED TO MEAN LOW WATER DATUM NAVD83. (MEAN LOW WATER ELEVATION AT TIDAL INTERPOLATION STATION 7046 = -1.51 NAVD83 NORTH AMERICAN VERTICAL DATUM 1988)
 5. HYDROGRAPHIC DEPTHS COLLECTED WITH AN HYDROLITE ECHOSOUNDER AND HIGH FREQUENCY TRANSDUCER OPERATING AT 200 KHZ. SEA, TIME OBTAINED GPS WAS USED FOR THE HORIZONTAL POSITIONING OF VESSEL.
 6. DATE OF FIELD WORK: APRIL 27, 2022.
 7. DEPTHS SHOWN HEREON ARE INDICATIVE OF CONDITIONS AT THE TIME THE FIELD WORK WAS COMPLETED.
 8. ALL DEPTHS ARE BELOW THE MEAN LOW WATER NAVD83 DATUM UNLESS PRECEDED BY A (+) SIGN.
 9. THIS IS NOT A BOUNDARY SURVEY. TITLE WORK WAS NOT PROVIDED.
 10. THIS SURVEY IS SUBJECT TO PERTINENT EASEMENTS, RIGHTS-OF-WAY AND RESTRICTIONS OF RECORD, IF ANY.
 11. APPROXIMATE BOUNDARY LINES INDICATED HEREON ARE BASED ON AVAILABLE PUBLIC RECORD INFORMATION TOGETHER WITH FOUND BOUNDARY MONUMENTS.
 12. THIS SURVEY DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF THE PARTY OR PARTIES CERTIFIED TO BELOW FOR THE EXPRESS PURPOSE STATED HEREON AND/OR CONTAINED IN THE CONTRACT BETWEEN FLORIDA KEY LAND SURVEYING AND THE CLIENT FOR THIS PROJECT. COPYING, DISTRIBUTING, REPRODUCING THIS DRAWING, IN WHOLE OR IN PART FOR ANY PURPOSE OTHER THAN ORIGINALLY INTENDED WITHOUT WRITTEN CONSENT FROM FLORIDA KEY LAND SURVEYING IS STRICTLY PROHIBITED AND VIOLATES THE SURVEYOR'S PROFESSIONAL SIGNATURE AND SEAL. ALL Voids, ANY QUESTIONS CONCERNING THE CONTENT OR PURPOSE OF THIS DRAWING SHOULD BE DIRECTED TO FLORIDA KEY LAND SURVEYING.
 13. BACKGROUND IMAGE IS A 2020 GEO-REFERENCED AERIAL IMAGE CREATED BY PHOTOGRAMMETRIC METHODS AND REPRESENTS ACTUAL CONDITIONS AT TIME OF AERIAL PHOTOGRAPHY. AERIAL PHOTOS WERE TAKEN NOVEMBER 24, 2020. AERIAL IMAGE IS SHOWN FOR VISUAL REFERENCE ONLY.
 14. REVISIONS: 1/02/2022 - REVISED TO ADD CHANNEL WIDTH AT -5' DEPTH

LEGEND -

-X- = 1-FOOT CONTOUR LINES



PROJECT INFORMATION:
PROJECT: DICKERSON PROJECT
VACANT LAND, BIG COPPIT KEY
OWNER/DEVELOPER: DICKERSON COPPIT MARINA, LLC
138 SIMONTON STREET
KEY WEST, FLORIDA 33040
DICKERSON COPPIT HOUSING, LLC
138 SIMONTON STREET
KEY WEST, FLORIDA 33040
DATUM: N.G.V.D. 1929
SEWER: BIG COPPIT WASTEWATER
WATER: FLORIDA KEYS AQUEDUCT AUTHORITY
GARBAGE: WASTE MANAGEMENT
ENGINEER: THE WEILER ENGINEERING CORPORATION
MICHAEL J. GIARDULLO, P.E. NO. 70876
201 W. MARION AVE., SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847)
ERIC A. ISAACS, PSM #8783
19950 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
305.394.3690
PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE
FLOOD ZONE: MULTIPLE ZONES ON SITE:
"AE10", "VE12", & "VE14" AS SHOWN ON:
F.E.M.A. FLOOD INSURANCE RATE MAP #:
12087013K
COMMUNITY: 125129 (MONROE COUNTY)
PANEL NUMBER: 1531 / SUFFIX: K
EFFECTIVE DATE: 18 FEBRUARY 2005
EXISTING ZONING: INDUSTRIAL (I) &
COMMERCIAL FISHING AREA (CFA)
FUTURE LAND USE: INDUSTRIAL
PROPOSED DWELLING UNITS: 20

STORMWATER TREATMENT CALCULATIONS:

MARINA					
Zone	Permeous Area	Impermeous Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	12,290.40	35,436.10	47,726.50	490.00	-
Total Site (ac)	0.281	0.814	1.121	0.011	-
	0.338	0.878		0.028	

RESIDENTIAL					
Zone	Permeous Area	Impermeous Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	13,268.30	25,891.10	39,159.40	5,268.20	-
Total Site (ac)	0.305	0.617	0.922	0.121	-
	0.331	0.669		0.241	

MARINA					
Phase	Treatment Volume	1" Over	Greatest	Discharge to	Volume
1 (Dev)	Impermeous Area	Entire Basin	Requirement	OFW	Required
Phase 1 (Dev)	7,349.43	4,392.88	7,349.43	100%	7,349.43
Phase 1 (ac-ft)	0.168	0.101	0.168		0.168

RESIDENTIAL					
Phase	Treatment Volume	1" Over	Greatest	Discharge to	Volume
1 (Dev)	Impermeous Area	Entire Basin	Requirement	OFW	Required
Phase 1 (Dev)	4,721.65	3,348.78	4,721.65	100%	4,721.65
Phase 1 (ac-ft)	0.108	0.077	0.108		0.108

MARINA			RESIDENTIAL		
Parameter	Value	Unit	Parameter	Value	Unit
V	2.025	ac-in	V	1.301	ac-in
W	8.00	ft	W	8.00	ft
K	0.0002970	cu-ft-ft head	K	0.0002970	cu-ft-ft head
H2	2.00	ft	H2	2.00	ft
Du	2.00	ft	Du	2.00	ft
Ds	4.50	ft	Ds	4.50	ft
Dv	277.13	ft	Dv	142.95	ft
Total Infiltration Trench Required	238	LF	Total Infiltration Trench Required	523	LF
Total Volume Provided by Infiltration	8,283	ac-ft	Total Volume Provided by Infiltration	6,141	ac-ft

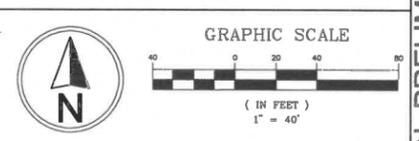
PROJECT AREA IMPERVIOUS/PERVIOUS SUMMARY:

Category	Area (SF)	Area (AC)	Percentage (%)
PROPOSED MODULAR BUILDINGS	9,680.2		
PROPOSED TRASH AREAS	300.0		
PROPOSED ASPHALT DRIVEWAY AND PARKING	16,866.9		
PROPOSED FENCE	44.0		
TOTAL RESIDENTIAL IMPERVIOUS AREA	26,891.1	0.62 AC	66.93 %
TOTAL RESIDENTIAL OPEN SPACE AREA	13,288.3	0.31 AC	33.07 %
TOTAL RESIDENTIAL PROJECT AREA	40,179.4	0.92 AC	100.0 %

Category	Area (SF)	Area (AC)	Percentage (%)
PROPOSED MARINA OFFICE BUILDING	480.0		
PROPOSED BOAT RACKS	7,970.0		
PROPOSED GRAVEL DRIVEWAY AND PARKING	26,033.7		
PROPOSED CONCRETE	952.4		
TOTAL MARINA IMPERVIOUS AREA	35,436.1	0.81 AC	67.21 %
TOTAL MARINA OPEN SPACE AREA	17,290.4	0.40 AC	32.79 %
TOTAL MARINA PROJECT AREA	52,726.5	1.21 AC	100.0 %

LEGEND:

- PROPERTY BOUNDARY
- SETBACKS
- EXISTING MANGROVES
- EXISTING WATER (ON-SITE)
- PROPOSED GRAVEL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED SPOT ELEVATION (M.E. = MATCH EXISTING)
- PROPOSED STORMWATER PIPE
- PROPOSED INFILTRATION TRENCH



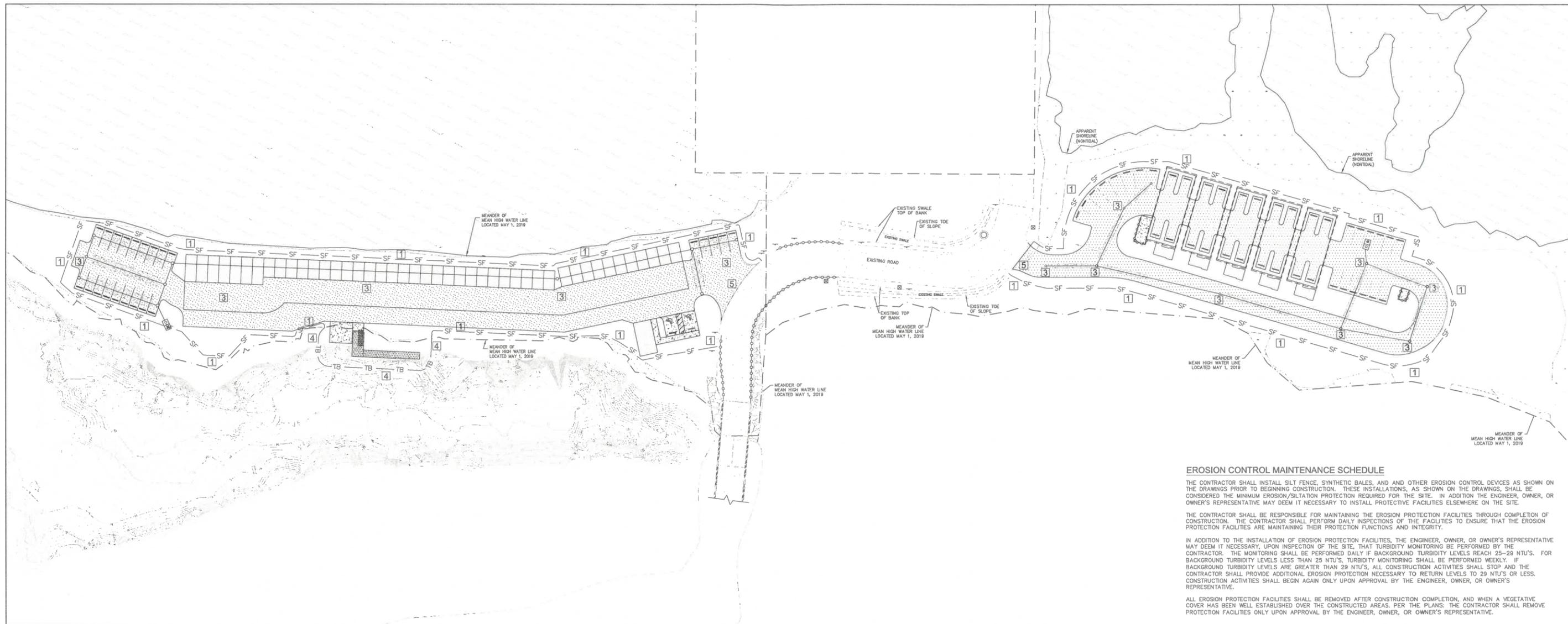
Description	Revisions
1. REVISED PER COUNTY COMMENTS	11-2020 JNB
2. REVISED PER COUNTY COMMENTS	05-2021 JNB
3. REVISED PER COUNTY COMMENTS	06-2021 JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021 JNB
5. FINAL CONDITIONAL USE PLANS	09-2021 JNB
6. REVISIONS PER COUNTY COMMENTS	11-2022 JNB

CONCEPT DRAINAGE PLAN
FOR
DICKERSON PROJECT
BIG COPPIT KEY, FLORIDA

WELER ENGINEERING CORPORATION
WEC *excellence in engineering*
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
EB #0656

Approved By:	JJJ	Design:	DH/JJJ
Scale:	1" = 40'	Drawn:	JNB
Job No:	22010.004	Checked:	JNB/JJJ
Date Issued:			
Sheet No.	C-2.00		

PRELIMINARY
NOT FOR CONSTRUCTION
11-22-2022
Michael J. Giardullo
Professional Engineer
State of Florida
Registration No. 70876



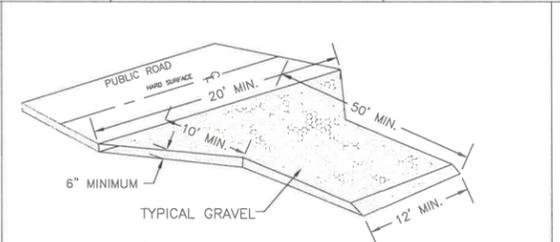
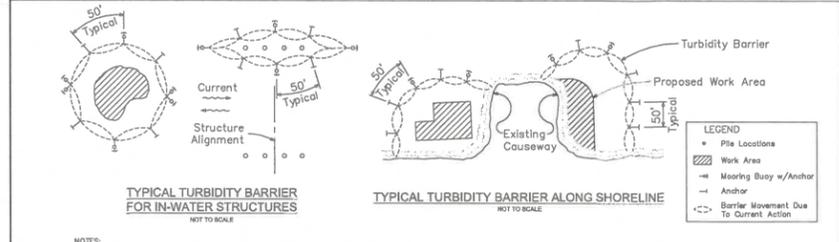
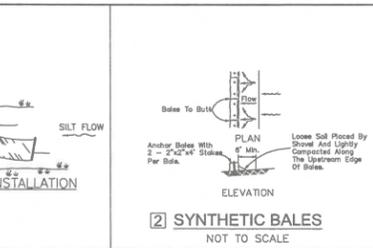
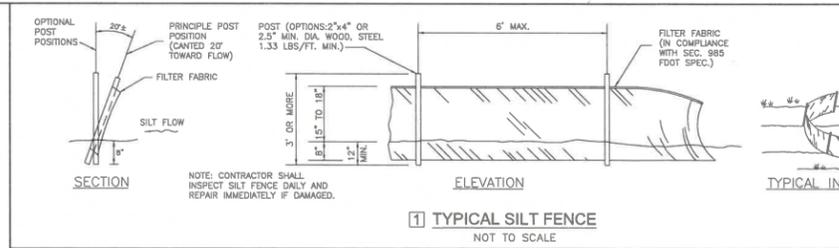
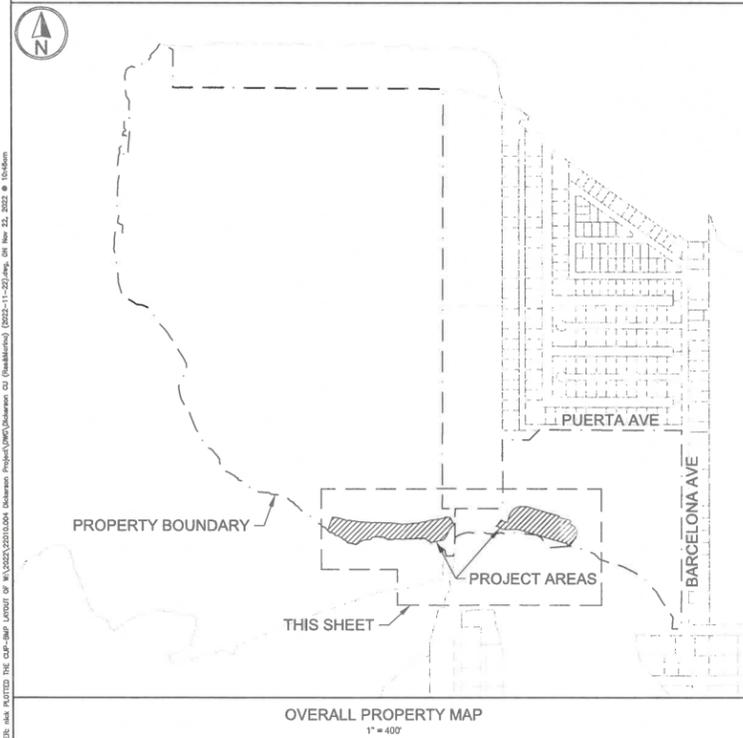
EROSION CONTROL MAINTENANCE SCHEDULE

THE CONTRACTOR SHALL INSTALL SILT FENCE, SYNTHETIC BALES, AND OTHER EROSION CONTROL DEVICES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. THESE INSTALLATIONS, AS SHOWN ON THE DRAWINGS, SHALL BE CONSIDERED THE MINIMUM EROSION/SILTATION PROTECTION REQUIRED FOR THE SITE. IN ADDITION THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY TO INSTALL PROTECTIVE FACILITIES ELSEWHERE ON THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION PROTECTION FACILITIES THROUGH COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF THE FACILITIES TO ENSURE THAT THE EROSION PROTECTION FACILITIES ARE MAINTAINING THEIR PROTECTION FUNCTIONS AND INTEGRITY.

IN ADDITION TO THE INSTALLATION OF EROSION PROTECTION FACILITIES, THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY, UPON INSPECTION OF THE SITE, THAT TURBIDITY MONITORING BE PERFORMED BY THE CONTRACTOR. THE MONITORING SHALL BE PERFORMED DAILY IF BACKGROUND TURBIDITY LEVELS REACH 25-29 NTU'S. FOR BACKGROUND TURBIDITY LEVELS LESS THAN 25 NTU'S, TURBIDITY MONITORING SHALL BE PERFORMED WEEKLY. IF BACKGROUND TURBIDITY LEVELS ARE GREATER THAN 29 NTU'S, ALL CONSTRUCTION ACTIVITIES SHALL STOP AND THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION PROTECTION NECESSARY TO RETURN LEVELS TO 29 NTU'S OR LESS. CONSTRUCTION ACTIVITIES SHALL BEGIN AGAIN ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

ALL EROSION PROTECTION FACILITIES SHALL BE REMOVED AFTER CONSTRUCTION COMPLETION, AND WHEN A VEGETATIVE COVER HAS BEEN WELL ESTABLISHED OVER THE CONSTRUCTED AREAS, PER THE PLANS. THE CONTRACTOR SHALL REMOVE PROTECTION FACILITIES ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.



NOTES:

- Turbidity barriers are to be used in all permanent bodies of water regardless of water depth.
- Number and spacing of anchors dependent on current velocities.
- Swivelment of barrier around pile locations may vary to accommodate construction operations.
- Navigation may require segmenting barrier during construction operations.
- Turbidity barriers shall extend to within 1' of the bottom of the waterbody.
- Posts in staked turbidity barriers shall be installed in vertical position unless otherwise approved by the Engineer.
- Turbidity barrier placement may be altered to accommodate construction activities provided proper control of turbidity and siltation is followed as required by these plans and governmental regulations.

Note: Turbidity barriers for flowing waterbodies may be either floating, or staked types or any combination that suit site conditions and meet erosion control and water quality requirements. The barrier type(s) shall be at the Contractor's option unless otherwise specified in the plans, however payment shall be under the pay item(s) established in the contract documents for Erosion Control.

Description	Revisions
1. REVISED PER COUNTY COMMENTS	11-2020 JNB
2. REVISED PER COUNTY COMMENTS	05-2021 JNB
3. REVISED PER COUNTY COMMENTS	06-2021 JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021 JNB
5. FINAL CONDITIONAL USE PLANS	09-2021 JNB
6. REVISIONS PER COUNTY COMMENTS	11-2022 JNB

CONCEPT BMP PLAN FOR DICKERSON PROJECT BIG COPPITT KEY, FLORIDA

LEGEND

PROPERTY BOUNDARY	PROPOSED BUILDING	PROPOSED FENCE
EXISTING MANGROVES	PROPOSED FENCE	BEST MANAGEMENT PRACTICE DETAIL NUMBER AND REFERENCE
EXISTING WATER (ON-SITE)	PROPOSED GRAVEL	TYPICAL SILT FENCE LOCATION
PROPOSED GRAVEL	PROPOSED ASPHALT	
PROPOSED ASPHALT	PROPOSED CONCRETE	

GRAPHIC SCALE

(IN FEET)
1" = 40'

Approved By: JJJ Design: DH/JJJ
Scale: 1" = 40' Drawn: JNB
Job No: 22010.004 Checked: JNB/JJJ
Date Issued: Sheet No: C-3.00

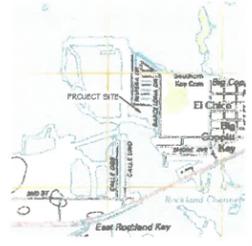
EXHIBIT ONLY
NOT FOR CONSTRUCTION

PRELIMINARY
NOT FOR CONSTRUCTION
11-22-2022

WELER ENGINEERING CORPORATION
WEC alliance in engineering
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

Michael J. Giordulo
Professional Engineer
State of Florida
Registration No. 70576

MAP OF BOUNDARY SURVEY



LOCATION MAP - NTS
SEC. 21-T675-R26E



LEGAL DESCRIPTION



1" = 60'
*VERIFY ORIGINAL SCALE OF 2"



TOTAL AREAS

UPLAND: 67,984 SQFT ± (1.6 ACRES ±)
DISTURBED UPLAND: 28,284 SQFT ± (0.7 ACRES ±)
DISTURBED WETLAND: 87,887 SQFT ± (1.9 ACRES ±)
MANGROVE: 134,593 SQFT ± (3.0 ACRES ±)
WATER: 298,447 SQFT ± (6.8 ACRES ±)
TOTAL: 593,175 SQFT ± (13.6 ACRES ±)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

- SURVEY NOTES**
- NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.
 - NO TITLE OPINION OR ABSTRACT TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. IT IS POSSIBLE THAT THERE ARE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS RECORDED OR UNRECORDED WHICH MAY AFFECT THE SUBJECT PROPERTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.
 - BEARINGS SHOWN HEREON ARE REFERENCED TO NAD83/000000 ALONG THE SOUTH LINE OF GULFREST PARK PLAT NO. 2, PLAT BOOK 4 AT PAGE 157, MONROE COUNTY, FOR SUBJECT PROPERTY LEGAL DESCRIPTION.
 - COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NAD83) GEODETIC CONTROL NETWORK. METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (WABAS) WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.
 - ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
 - BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATION 872-4459 2 TIDAL, P.L.D., MAGNUS, ELEVATION 16.16 (NOV 1929).
 - THIS MAP OR COPIES OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
 - ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.
 - NO UNDERGROUND IMPROVEMENTS WERE LOCATED.
 - ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
 - WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.1'. THE ELEVATIONS ON IMPROVED SURFACES WERE FIELD MEASURED TO 0.03' AND ON GROUND SURFACES TO 0.1'.
 - ALL "NAD83" AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAMAR ENVIRONMENTAL SERVICES, INC.
 - STREET ADDRESSES: VACANT, BARCELONA DRIVE, KEY WEST, FL 33040.
 - WATERWARD LIMITS OF MANGROVE VEGETATION WERE DIGITIZED FROM A 2017 GEOREFERENCED AERIAL IMAGE. NO FIELD LOCATIONS OF THESE LIMITS HAVE BEEN COMPLETED.
 - TOTAL AREA = 13.62 ACRES.
 - FEMA FLOOD DATA: COMMUNITY NO.: 125129, MAP NO.: 12087C-15316, MAP DATE: 02-18-2005, FLOOD ZONE: AE, BASE FLOOD ELEVATION: 10

CERTIFIED TO -

DICKERSON GROUP, INC.

SYMBOL LEGEND:

● X.X = SPOT GRADE ELEVATION (TYPICAL)

FLORIDA KEYS LAND SURVEYING
21460 OVERSEAS HWY, SUITE 4
CUDJOE KEY, FL 33042
PHONE: (305) 394-3630
EMAIL: FLSL.com@gmail.com

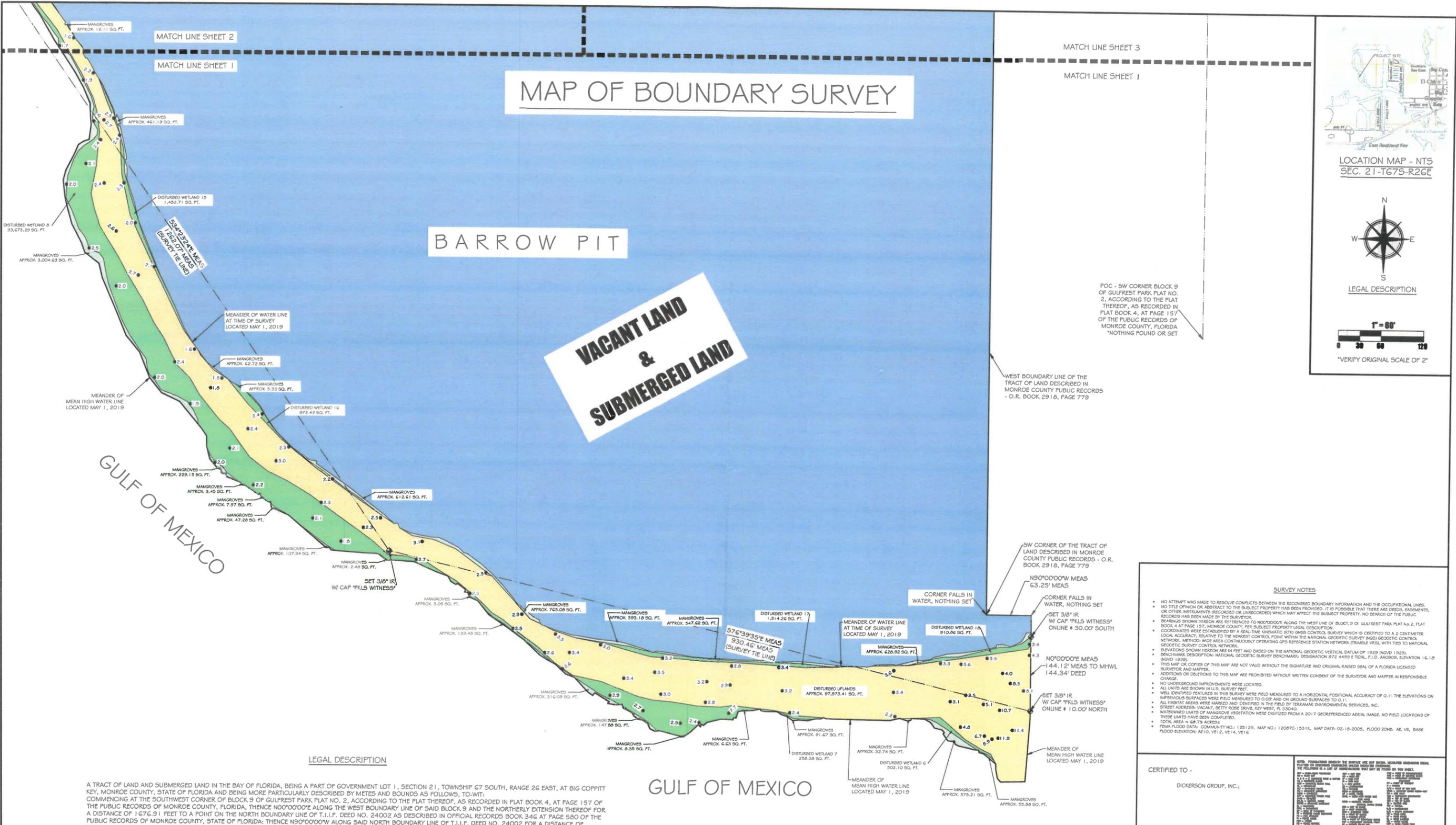
MAP OF BOUNDARY SURVEY
DICKERSON GROUP PROPERTY
BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA

DATE: 07/28/2022	SURVEY BY: EAJ	PROJECT: DICKERSON - BOX
REVISION DATE: 08/02/2022	DRAWN BY: MPB	H. SCALE: 1"=50'
BOOK:	CHECKED BY:	SHEET 1 OF 1

MAP OF BOUNDARY SURVEY

BARROW PIT

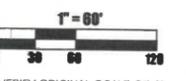
**VACANT LAND
&
SUBMERGED LAND**



LOCATION MAP - NTS
SEC. 21-T679-R26E



LEGAL DESCRIPTION



POC - SW CORNER BLOCK 9
OF GULFREST PARK PLAT NO.
2, ACCORDING TO THE PLAT
THEREOF, AS RECORDED IN
PLAT BOOK 4, AT PAGE 157
OF THE PUBLIC RECORDS OF
MONROE COUNTY, FLORIDA
*NOTHING FOUND OR SET

WEST BOUNDARY LINE OF THE
TRACT OF LAND DESCRIBED IN
MONROE COUNTY PUBLIC RECORDS -
O.R. BOOK 2918, PAGE 779

GULF OF MEXICO

GULF OF MEXICO

LEGAL DESCRIPTION

A TRACT OF LAND AND SUBMERGED LAND IN THE BAY OF FLORIDA, BEING A PART OF GOVERNMENT LOT 1, SECTION 21, TOWNSHIP 67 SOUTH, RANGE 26 EAST, AT BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF BLOCK 9 OF GULFREST PARK PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, AT PAGE 157 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID BLOCK 9 AND THE NORTHERLY EXTENSION THEREOF FOR A DISTANCE OF 1 676.91 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF T.J.I.F. DEED NO. 24002 AS DESCRIBED IN OFFICIAL RECORDS BOOK 346 AT PAGE 590 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"W ALONG SAID NORTH BOUNDARY LINE OF T.J.I.F. DEED NO. 24002 FOR A DISTANCE OF 300.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE N89°58'38"W CONTINUING ALONG SAID NORTH BOUNDARY LINE OF T.J.I.F. DEED 24002 FOR A DISTANCE OF 1391.95 FEET TO A POINT; THENCE N00°00'00"E AND LEAVING SAID NORTH LINE OF T.J.I.F. DEED NO. 24002 FOR A DISTANCE OF 106.00 FEET TO A POINT ON THE HISTORIC MEAN HIGH WATER LINE OF THE BAY OF FLORIDA, AS LOCATED ON FEBRUARY 12, 1974, PER THE DEED RECORDED IN THE OFFICIAL RECORDS BOOK 2567 AT PAGE 1724 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE MEANDERING SAID MEAN HIGH WATERLINE IN A NORTHWESTERLY, SOUTHWESTERLY, SOUTHERLY, SOUTHEASTERLY AND NORTHEASTERLY DIRECTION TO A POINT; THENCE N00°00'00"E AND LEAVING SAID MEAN HIGH WATER LINE FOR A DISTANCE OF 144.34 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"W ALONG SAID SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 63.25 FEET TO THE SOUTHWEST CORNER OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA AND THE WEST LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 785 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 2066.91 FEET BACK TO THE POINT OF BEGINNING. SAID TRACT OF LAND AND SUBMERGED LAND CONTAINS 69.93 ACRES, MORE OR LESS.

TOTAL AREAS

Disturbed Upland	129,791 sqft (3.0 acres)
Disturbed Wetland	84,738 sqft (2.0 acres)
Mangroves	21,540 sqft (0.5 acres)
Water	2,800,253 sqft (64.3 acres)
TOTAL	3,036,322 sqft (69.8 acres)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

SURVEY NOTES

- NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES, OR OTHER INSTRUMENTS (RECORDED OR UNRECORDED) WHICH MAY AFFECT THIS SUBJECT PROPERTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.
- BEARINGS SHOWN HEREON ARE NOT REFERENCED TO MONROE COUNTY, PER SUBJECT PROPERTY LEGAL DESCRIPTION.
- COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NAD83) GEODETIC CONTROL NETWORK. METERS WERE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (RIMBLE VRS), WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK; DESIGNATION 67E-4459 E TIDAL, T.I.D. MANGROVE, ELEVATION 14.18 (NGVD 1929).
- THIS MAP OR COPIES OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHANGE.
- NO UNDERGROUND IMPROVEMENTS WERE LOCATED.
- ALL LOTS ARE SHOWN IN U.S. SURVEY FEET.
- WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.1'. THE ELEVATIONS ON IMPROVED SURFACES WERE FIELD MEASURED TO 0.05' AND ON GROUND SURFACES TO 0.1'.
- ALL HABITAT AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAMARK ENVIRONMENTAL SERVICES, INC.
- STREET ADDRESS: VACANT, BETTY ROSE DRIVE, KEY WEST, FL 33040.
- WATERWARD LIMITS OF MANGROVE VEGETATION WERE DIGITIZED FROM A 2017 GEO-REFERENCED AERIAL IMAGE. NO FIELD LOCATIONS OF THESE LIMITS HAVE BEEN COMPLETED.
- TOTAL AREA = 69.79 ACRES.
- FEMA FLOOD DATA: COMMUNITY NO. 125129, MAP NO. 12067C-1531K, MAP DATE: 02-18-2005, FLOOD ZONE: AE, VE, BASE FLOOD ELEVATION: AE10, VE12, VE14, VE16.

CERTIFIED TO -
DICKERSON GROUP, INC.

FIELD NOTES

DATE	TIME	LOCATION	DESCRIPTION
07/25/2022	08:00	POINT 1.0	SET 3/8" IR W/ CAP "FKLS WITNESS" ONLINE # 30.00' SOUTH
07/25/2022	08:15	POINT 1.1	SET 3/8" IR W/ CAP "FKLS WITNESS" ONLINE # 10.00' NORTH
07/25/2022	08:30	POINT 1.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	08:45	POINT 1.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	09:00	POINT 1.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	09:15	POINT 1.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	09:30	POINT 1.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	09:45	POINT 1.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	10:00	POINT 1.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	10:15	POINT 1.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	10:30	POINT 2.0	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	10:45	POINT 2.1	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	11:00	POINT 2.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	11:15	POINT 2.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	11:30	POINT 2.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	11:45	POINT 2.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	12:00	POINT 2.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	12:15	POINT 2.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	12:30	POINT 2.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	12:45	POINT 2.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	13:00	POINT 3.0	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	13:15	POINT 3.1	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	13:30	POINT 3.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	13:45	POINT 3.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	14:00	POINT 3.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	14:15	POINT 3.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	14:30	POINT 3.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	14:45	POINT 3.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	15:00	POINT 3.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	15:15	POINT 3.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	15:30	POINT 4.0	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	15:45	POINT 4.1	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	16:00	POINT 4.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	16:15	POINT 4.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	16:30	POINT 4.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	16:45	POINT 4.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	17:00	POINT 4.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	17:15	POINT 4.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	17:30	POINT 4.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	17:45	POINT 4.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	18:00	POINT 5.0	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	18:15	POINT 5.1	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	18:30	POINT 5.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	18:45	POINT 5.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	19:00	POINT 5.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	19:15	POINT 5.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	19:30	POINT 5.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	19:45	POINT 5.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	20:00	POINT 5.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	20:15	POINT 5.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	20:30	POINT 6.0	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	20:45	POINT 6.1	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	21:00	POINT 6.2	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	21:15	POINT 6.3	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	21:30	POINT 6.4	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	21:45	POINT 6.5	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	22:00	POINT 6.6	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	22:15	POINT 6.7	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	22:30	POINT 6.8	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	22:45	POINT 6.9	MEASUREMENT OF MEAN HIGH WATER LINE
07/25/2022	23:00	POINT 7.0	MEASUREMENT OF MEAN HIGH WATER LINE

SYMBOL LEGEND:
● X.X = SPOT GRADE ELEVATION (TYPICAL)

FLORIDA KEYS
LAND SURVEYING
21460 OVERSEAS HWY, SUITE 4
GLADSTONE KEY, FL 33042
PHONE: (305) 354-3650
EMAIL: FKLSEmail@gmail.com

MAP OF BOUNDARY SURVEY
DICKERSON GROUP PROPERTY
BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA
DATE: 07/25/2022 SURVEY BY: EAJ PROJECT: DICKERSON - BOK
REVISION DATE: 08/02/2022 DRAWN BY: MPB H. SCALE: 1"=60'
BOOK: CHECKED BY: SHEET 1 OF 3



**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Ownership Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
John F Joyner 1501 Charlotte Ave Monroe NC 28110	100 %

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

Name and Address	% of Ownership

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

Name and Address	% of Ownership

* Please provide date of contract _____

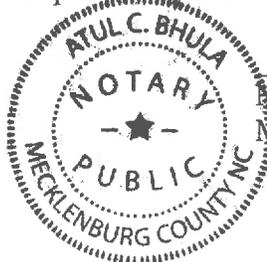
- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

Name and Address

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: John F. Joyner
 State of Florida, County of Monroe

The foregoing instrument was acknowledged before me this 25th day of March 2020, by John Francis Joyner. He/she is personally known to me or has produced North Carolina Driver's License as identification.



Atul C. Bhula
 Notary Public
 My Commission Expires March 28, 2024

End of Additional File 2021-255

APPLICATION
MONROE COUNTY
 PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Request for a Major Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review.

Major Conditional Use Permit Application Fee: \$11,400.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification (SPON): \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

Advertising and Noticing fees for a community meeting: \$245.00 plus \$3.00/SPON

Date of Application: 12 / 23 / 2021
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

Dickerson Group, Inc. Smith Hawks, PL/ Barton W. Smith, Esq.
Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application

138 Simonton Street, Key West, FL 33040
Mailing Address (Street, City, State and Zip Code)

(305) 296-7227 Bart@SmithHawks.com & Jacob@SmithHawks.com
Work Phone Home Phone Cell Phone Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

Dickerson Group, Inc. Agent
(Name/Entity) Contact Person

Agent
Mailing Address (Street, City, State and Zip Code)

Agent Agent
Work Phone Home Phone Cell Phone Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

21 67 26 Big Coppitt Key
Block Lot Subdivision Key

00120940-000000 1154598
Real Estate (RE) / Parcel ID Number Alternate Key Number

Vacant Land, Big Coppitt Key, FL 33040 9.5
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

APPLICATION

Land Use District Designation of Property: Industrial (I) / Commercial Fishing District (MCA)

Present Land Use of Property: Vacant Land

Proposed Land Use of Property: Marina

Total Area of Property: 19.1 Acres

Total Upland Area within Property: 7.14 acres of upland; 2.10 acres of disturbed wetland (2.99 acres of mangrove)

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

480 Total non-residential floor area in square feet

If residential dwelling units are proposed, please provide:

_____ Total number of residential buildings

_____ Total number of market-rate units

_____ Total number of affordable units

_____ Total number of transient units (hotel, recreational vehicle and/or campground)

Has a previous application been submitted for this site within the past two years? Yes No
 (The Minor Conditional Use Application, File 2020-056)

Applicants requesting a Major Conditional Use Amendment shall provide for public participation through a community meeting.

Scheduling. The applicant will coordinate with the Planning Director regarding the date, time and location of the proposed community meeting; however, all meetings are to be held on a weekday evening at a location close to the project site, between 45 and 120 days prior to the first of any public hearings required for development approval.

Notice of Meeting. The community meeting shall be noticed at least 15 days prior to the meeting date by advertisement in a Monroe County newspaper of general circulation, mailing of notice to surrounding property owners, and posting of the subject property.

Noticing and Advertising Costs. The applicant shall pay the cost of the public notice and advertising for the community meeting and provide proof of proper notice to the Planning Director.

The community meeting shall be facilitated by a representative from the Monroe County Planning & Environmental Resources Department and the applicant shall be present at the meeting.

PROOF OF PROPER NOTICING ON THE COMMUNITY MEETING WILL BE REQUIRED.

APPLICATION

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Completed application form
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed) (Tab A)
- Current property record card(s) from the Monroe County Property Appraiser (Tab B)
- Photograph(s) of site from adjacent roadway (Tab C)
- Copy of the recorded conditional use permit and any previous modification approvals (Tab D)
- Copy of the most recently approved site plan (Tab E; No Site Plan for this Application has been approved yet, see signed and sealed Site Plan being submitted for approval)
- Written description of project (See Attached Background Letter)
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 8 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat) (Tab F; Survey Previously Submitted with File 2020-056)
- Environmental Designation Survey (prepared in accordance with Monroe County Code §110-70 a). (Tab F; Survey Previously Submitted with File 2020-056)
- Community Impact Statement (prepared in accordance with Monroe County Code §110-70 b). (See Attached Background Letter)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 8 (Tab E) sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following:

- Date, north point and graphic scale
- Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
- All attributes from the boundary survey
- Future Land Use Map (FLUM) designation(s) of the site
- Land Use (Zoning) District designation(s) of site
- Tier designation(s) of the site
- Flood zones pursuant to the Flood Insurance Rate Map
- Setback lines as required by the Land Development Code
- Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
- Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
- Extent and area of wetlands, open space preservation areas and conservation easements
- Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (*certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service*) (unless a separate landscape plan showing such is submitted)
- Location of fire hydrants or fire wells
- The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
- A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking

APPLICATION

- Landscape Plan by a Florida registered landscape architect – 8 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following: (Tab E)
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - Locations and dimensions of all existing and proposed structures, including all paved areas
 - Open space preservation areas
 - Existing natural features
 - Size and type of buffer yards including the species, size and number of plants
 - Parking lot landscaping including the species, size and number of plants
 - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
 - Transplantation plan (if required)
- Stormwater/ Surface Water Management Plan – 8 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas) (Tab G)
- Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 8 sets (Tab H) (drawn at an appropriate standard architectural scale)
- Building Elevations for all proposed structures and for any existing structures to be modified – 8 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure) (Tab I)
- Traffic Study, prepared by a licensed traffic engineer (Tab J)
- Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)
- Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging) (Tab K)
- List of names and addresses of all real property owners within a 600 foot radius of the subject property. (Tab L) This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included
- Radius report from Monroe County Property Appraiser supporting the required labels (Tab L)
- Proof of Coordination are required from the following: (Tab M)
 - Florida Keys Aqueduct Authority (FKAA)
 - Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
 - Monroe County Office of the Fire Marshal
 - Monroe County Solid Waste Management
 - Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day

If applicable, the following items must be included in order to have a complete application submission:
(Please check the box as each required item is attached to the application.)

- Notarized Agent Authorization (Tab N)
- Vegetation Survey or Wetland delineation
- Construction Phasing Plan

APPLICATION

Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:

- Key West Resort Utilities
- Key Largo Wastewater Treatment District (KLWTD)
- South Florida Water Management District (SFWMD)
- Florida Department of Transportation (FDOT)
- Florida Department of Environmental Protection (FDEP)
- Florida Department of State, Division of Historic Resources
- Florida Fish & Wildlife Conservation Commission (FWC)
- U.S. Army Corps of Engineers (ACOE)
- U.S. Fish and Wildlife Service (USFW)

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

APPLICATION

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: Jacob C. McMahon

Date: December 23, 2021

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me this 23rd day of December, 20 21,
by means of physical presence or online notarization,

by JACOB C. McMAHON, who is personally known to me OR produced
(PRINT NAME OF PERSON MAKING STATEMENT)

_____ as identification.
(TYPE OF ID PRODUCED)

Brandi Green
Signature of Notary Public

BRANDI GREEN
Print, Type or Stamp Commissioned Name of Notary Public
My commission expires: 06/29/2024



Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

AGENT AUTHORIZATION FORM

Date of Authorization: 11 / 17 / 2021
Month Day Year

I hereby authorize Smith Hawks, PL / BARTON W. SMITH, ESQ. JESS MILES GOODALL, ESQ. JACOB C. MCMAHON, ESQ. be listed as authorized agent
(Print Name of Agent)

representing THE DICKERSON GROUP, INC. for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of ANY/ALL PLANNING DEPARTMENT APPLICATIONS
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)
Waterward boundary line lying along th Gulf of Mexico adjacent to Government Lot 1, Section 21, Township 67, South, Range 26 East, Big Coppitt Key

Table with 4 columns: Lot, Block, Subdivision, Key (Island), Real Estate (RE) / Parcel ID Number, Alternate Key Number, Street Address (Street, City, State & Zip Code), Approximate Mile Marker. Values include 00120940-000000, 1154598, Vacant Land, Big Coppitt Key, Florida 33040, 9.5.

Authorized Agent Contact Information:
138 Simonton Steet, Key West, Florida 33040

Mailing Address (Street, City, State and Zip Code)
(305) 296-7227
Bart@SmithHawks.com; Brandi@SmithHawks.com
Jess@SmithHawks.com; Jacob@SmithHawks.com

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Handwritten Signature]

Printed Name of Property Owner: John F. Joyner, as President

STATE OF North Carolina COUNTY OF Rockingham

Sworn to and subscribed before me this 17th day of November, 2021, by means of [X] physical presence or [] online notarization,

by John F. Joyner, who is personally known to me OR produced
(Print Name of Person Making Statement)

as identification.

(Type of ID Produced)
Signature of Notary Public
My commission expires:

Print, Type or Stamp Commission of Notary Public





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation
THE DICKERSON GROUP, INC.

Filing Information

Document Number P96000027319
FEI/EIN Number 59-3373330
Date Filed 03/22/1996
Effective Date 03/20/1996
State FL
Status ACTIVE
Last Event MERGER NAME CHANGE
Event Date Filed 12/10/1996
Event Effective Date NONE

Principal Address

3122 North 25th Street
Fort Pierce, FL 34946

Changed: 03/13/2017

Mailing Address

PO Box 910
Fort Pierce, FL 34954-0910

Changed: 03/13/2017

Registered Agent Name & Address

Larry , Dale
3122 North 25th St.
FL Pierce, FL 34946

Name Changed: 03/13/2017

Address Changed: 03/13/2017

Officer/Director Detail

Name & Address

Title President, VP, Treasurer, Secretary

Joyner, John F.
PO Box 910
Fort Pierce, FL 34954-0910

Title Asst. Secretary

KOENKE, STACEY V. PO
Box 5011
Monroe, NC 28111

Annual Reports

Report Year	Filed Date
2019	03/29/2019
2020	02/12/2020
2021	03/25/2021

Document Images

03/25/2021 - ANNUAL REPORT	View image in PDF format
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01/19/2000 - ANNUAL REPORT	View image in PDF format
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02/06/1998 - ANNUAL REPORT	View image in PDF format
07/28/1997 - ANNUAL REPORT	View image in PDF format
12/10/1996 - Domestic Profit Articles	View image in PDF format
03/22/1996 - DOCUMENTS PRIOR TO 1997	View image in PDF format

Return to: (Enclose self addressed stamped envelope)
Name: STONES & CARDENAS
Address: 221 Simonton Street
Key West, FL 33040

Doc# 1794429 06/21/2010 9:44AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGE

This Instrument Prepared By:

STONES & CARDENAS
221 Simonton Street
Key West, FL 33040
(305) 294-0252

06/21/2010 9:44AM
DEED DOC STAMP CL: TRINA \$0.70

Doc# 1794429
BKN 2471 Pg# 275

QUIT CLAIM DEED

THIS QUIT CLAIM DEED, executed this 10th day of June, 2010, by and between THE DICKERSON GROUP, INC., a Florida corporation, whose address is 1501 North Charlotte Avenue, Monroe, NC 28110, party of the first part, and EDWARD TOPPINO, SR., as Trustee of the EDWARD TOPPINO SR. LAND TRUST DATED AUGUST 2, 2004, whose address is PO Box 787, Key West, FL 33041, party of the second part.

WITNESSETH, That the said party of the first part, for and in consideration of the sum of Ten and 00/100 (\$10.00) Dollars, in hand paid by the said party of the second part, the receipt of which is hereby acknowledged, has remised, released and quit-claimed, and by these presents does remise, release and quit-claim unto the said party of the second part all the right, title, interest, claim and demand which the said party of the first part has in and to the following described lot, piece or parcel of land, situate lying and being in the County of Monroe, State of Florida, to wit:

See Exhibit "A" attached hereto and incorporated herein by reference

PARCEL IDENTIFICATION NO.: a portion of 00120940-000300

SUBJECT TO: Taxes for the year 2010 and subsequent years.

SUBJECT TO: Conditions, restrictions, limitations, reservations and easements of record, if any.

THIS DOCUMENT WAS PREPARED WITHOUT BENEFIT OF TITLE SEARCH OR ABSTRACT EXAMINATION AND IS BASED SOLELY ON THE FACTS PROVIDED BY EITHER OF THE PARTIES OR THEIR AGENTS.

TO HAVE AND TO HOLD the same, together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the estate, right, title, interest and claim whatsoever of the said party of the first part, either in law or equity, to the only proper use, benefit and behoof of the said party of the second part forever.

IN WITNESS WHEREOF, the said party of the first part has signed and sealed these presents the day and year first above written.

Signed, Sealed and Delivered
in the Presence of:

THE DICKERSON GROUP, INC., a
Florida corporation

Cindy P. Greene

Signature of Witness

Cindy P. Greene

Printed Name of Witness

By: John F. Joyner
John F. Joyner, President

Heather C. Henage

Signature of Witness

Heather C. Henage

Printed Name of Witness

STATE OF NORTH CAROLINA:
COUNTY OF Union:

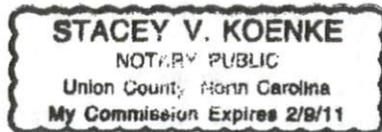
I HEREBY CERTIFY that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, JOHN F. JOYNER, as President of THE DICKERSON GROUP, INC., who is personally known to me to be the person described in and who executed the foregoing Quit Claim Deed or who produced _____ as identification, and he has acknowledged before me that he executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal at 4:08 PM, County of Union, State of North Carolina, this 10th day of June, 2010.

Stacey V. Koenke
Printed Name of Notary

Stacey V. Koenke
NOTARY PUBLIC

My Commission Expires: February 9 2011



Doc# 1794429
Bk# 2471 P# 277

DESCRIPTION:

A parcel of land lying adjacent to the lands described in T.I.F. Deed #24002 on the Gulf of Mexico in Government Lot 1, Section 21, Township 67 South, Range 26 East, on Big Coppitt Key, Monroe County, Florida, said parcel being more particularly described by metes and bounds as follows:
COMMENCE at the Southwest corner of Block 9 of "GULPREST PARK, FLAT NO. 2" according to the plat thereof as recorded in Plat Book 4 at Page 157 of the Public Records of Monroe County, Florida, and run thence North and along the Westerly boundary line of the said Block 9 for a distance of 614.13 feet; thence run West for a distance of 300.00 feet; thence run North for a distance of 1062.78 feet to a point on the North boundary line of T.I.F. Deed #24002 as described in Official Record Book 348 at Page 580, of the said Public Records, said point being the Point of Beginning; thence run West and along the North line of said T.I.F. Deed #24002 for a distance of 1331.95 feet; thence run North for a distance of 186 feet, more or less, to a point on the Waterward boundary line as of July 1, 1975; thence meander said Waterward Boundary the following twenty-four (24) courses: N 88°53'56" E, for a distance of 39.47 feet; N 65°36'56" E, a distance of 71.66 feet; S 88°16'57" E, for a distance of 75.93 feet; N 77°38'10" E, a distance of 44.29 feet; S 76°11'41" E, for a distance of 78.54 feet; N 88°33'56" E, a distance of 82.11 feet; N 85°40'47" E, for a distance of 103.42 feet; S 75°35'07" E, a distance of 43.33 feet; N 77°23'10" E, for a distance of 41.16 feet; S 84°42'40" E, a distance of 110.45 feet; S 87°28'54" E, for a distance of 85.16 feet; S 79°07'09" E, for a distance of 28.70 feet; N 78°48'31" E, for a distance of 73.24 feet; S 77°59'45" E, for a distance of 41.56 feet; N 77°13'38" E, for a distance of 53.90 feet; S 84°23'12" E, for a distance of 121.58 feet; N 80°09'47" E, for a distance of 54.26 feet; S 82°09'00" E, for a distance of 63.88 feet; S 79°34'01" E, for a distance of 42.16 feet; N 86°10'05" E, for a distance of 98.91 feet; N 88°42'12" E, for a distance of 49.04 feet; S 82°47'37" E, for a distance of 59.12 feet; S 84°16'22" E, for a distance of 85.04 feet; S 47°39'01" E, for a distance of 15.56 feet to a point, said point being the Point of Terminus of the Waterward boundary line as of July 1, 1975; thence S 29°03'59" E and leaving the said Waterward boundary line as of July 1, 1975 for a distance of 197.97 feet to a point, said point being 200.00 feet East of the Point of Beginning of the said T.I.F. Deed #24002; thence run West and along the North line of said T.I.F. Deed #24002 and Easterly extension thereof for a distance of 300.00 feet back to the Point of Beginning.

MONROE COUNTY
OFFICIAL RECORDS

Exhibit A

Trustees No. 40672(5682-44)

Doc# 1685798 03/11/2008 10:59AM
Filed & Recorded in Official Records of
MONROE COUNTY DANNY L. KOLHAGECERTIFICATEDoc# 1685798
Bk# 2348 Pg# 1651

Upon application of The Dickerson Group, Inc., a Florida corporation, whose address is P.O. Box 5011, Monroe, North Carolina 28111, and pursuant to Section 92.16 and sub-section 253.12(9), Florida Statutes, the undersigned, on behalf of the BOARD OF TRUSTEES OF THE INTERNAL IMPROVEMENT TRUST FUND OF THE STATE OF FLORIDA, pursuant to Rule 18-21.019, Florida Administrative Code, hereby certifies that the boundary separating the lands of private ownership from the adjacent state owned sovereignty lands on July 1, 1975, is described as follows:

DESCRIPTION

The waterward boundary line, as of July 1, 1975, lying along the Gulf of Mexico in Government Lot 1, Section 21, Township 67 South, Range 26 East, on Big Coppitt Key, Monroe County, Florida, said line being particularly described by metes and bounds as follows:

COMMENCE at the Southwest corner of Block 9 of "GULFREST PARK, PLAT NO. 2" according to the plat thereof as recorded in Plat Book 4 at Page 157 of the Public Records of Monroe County, Florida, and run thence North and along the Westerly boundary line of said Block 9 for a distance of 614.13 feet; thence run West for a distance of 300.00 feet; thence run North for a distance of 1062.78 feet to a point on the North boundary line of T.I.I.F. Deed #24002 as described in Official Record Book 346 at Page 580, of the said Public Records; thence run West and along the North line of said T.I.I.F. Deed #24002 for a distance of 1500.00 feet to the Northwest corner of the said T.I.I.F. Deed #24002; thence run South along the Westerly boundary line of the said T.I.I.F. Deed #24002 for a distance of 1064.00 feet, more or less, to a point on the Waterward boundary line as of July 1, 1975, said point being the Point of Beginning of the line hereinafter described; thence meander said waterward Boundary the following sixty-three (63) courses: N 70°05'20" W, a distance of 36.55 feet; N 32°01'00" W, a distance of 8.37 feet; N 52°39'09" W, a distance of 25.15 feet; S 62°27'26" W, for a distance of 5.75 feet; N 50°45'23" W, a distance of 26.64 feet; N 50°45'23" W, a distance of 26.64 feet; N 3°05'43" W, for a distance of 8.22 feet; N 46°26'13" E, a distance of 11.29 feet; N 11°20'44" W, for a distance of 84.65 feet; N 8°30'30" W, a distance of 80.47 feet; N 43°14'48" W, for a distance of 22.83 feet; N 5°55'38" W, a distance of 37.58 feet; N 10°34'35" E, for a distance of 93.05 feet; N 7°23'50" E, a distance of 58.56 feet; N 19°11'08" W, for a distance of 33.23 feet; N 19°43'49" E, a distance of 40.24 feet; N 3°45'08" W, for a distance of 81.70 feet; N 15°17'54" E, a distance of 59.94 feet; N 26°34'40" W, for a distance of 16.41 feet; N 11°18'53" E, a distance of 40.31 feet; N 5°15'53" W, for a distance of 43.09 feet; N 6°19'37" E, a distance of 68.89 feet; N 6°56'38" E, for a distance of 52.73 feet; N 1°35'06" E, a distance of 37.87 feet; N 21°24'05" E, for a distance of 47.74 feet; N 4°05'42" E, a distance of 58.39 feet; N 32°34'10" W, for a distance of 42.85 feet; N 13°09'23" W, a distance of 51.02 feet; N 4°24'02" W, for a distance of 42.38 feet; N 47°22'27" E, a distance of 33.64 feet; N 76°34'03" E, for a distance of 43.50 feet; N 73°55'30" E, a distance of 43.26 feet; N 37°00'37" E, for a distance of 51.92 feet; N 17°41'00" E, a distance of 44.94 feet; N 47°31'45" E, for a distance of 42.76 feet; S 65°41'49" E, a distance of 82.02 feet; N 88°53'56" E, for a distance of 39.47 feet; N 65°36'56" E, a distance of 71.66 feet; S 88°16'57" E, for a distance of 75.93 feet; N 77°38'10" E, a distance of 44.29 feet; S 76°11'41" E, for a distance of 76.54 feet; N 88°33'56" E, a distance of 82.11 feet; N 85°40'47" E, for a distance of 103.42 feet; S 75°35'07" E, a distance of 43.33 feet; N 77°23'10" E, for a distance of 41.16 feet; S 84°42'40" E, a distance of 110.45 feet; S 87°26'54" E, for a distance of 85.16 feet; S 79°07'09" E, for a distance of 28.70 feet; N 79°46'31" E, for a distance of 73.24 feet; S 77°57'45" E, for a distance of 41.56 feet; N 77°13'36" E, for a distance of 53.90 feet; S 84°23'12" E, for a distance of 121.58 feet; N 80°09'47" E, for a distance of 54.26 feet; S 82°09'00" E, for a distance of 42.16 feet; N 86°10'05" E, for a distance of 98.91 feet; N 88°42'12" E, for a distance of 49.04 feet; S 82°47'37" E, for a distance of 59.12 feet; S 84°16'22" E, for a distance of 73.90 feet; S

Trustees No. 40672(5682-44)

Doc# 1685788
Bk# 2349 Pg# 1652

35°07'53" E, for a distance of 33.75 feet; S 3°35'19" E, for a distance of 114.15 feet; S 4°31'58" E, for a distance of 47.50 feet; S 36°25'12" E, for a distance of 38.34 feet, more or less, to a point on the Northerly extension of the Westerly line of the said Block 9, "GULFREST PARK, PLAT NO. 2", and the Point of Terminus of the line herein described.

The above legal description was prepared by J. Lynn O' Flynn, Florida Professional Surveyor and Mapper No. 6298.

NOTE: (1) This certificate is issued without a title examination of all tidally influenced land or tidally influenced islands bordering or being on sovereignty land, which have been permanently extended, filled, added to existing lands, or created before July 1, 1975, by fill, lying landward of the above described waterward boundary line, and the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida may not have any right, title or interest in any of these lands. (2) The Board of Trustees of the Internal Improvement Trust Fund of the State of Florida has not determined or verified the riparian rights lines of the applicant's privately owned uplands. (3) This certificate does not constitute a determination by the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida that the applicant owns the filled area that extends from applicant's lands that are immediately upland of the filled area.

Trustees No. 40672(5682-44)

Doc# 1685788
Bk# 2349 Pg# 1653

In Witness Whereof, I have hereunto set my hand and have caused to be affixed hereto the official seal of the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida at its office in Tallahassee, Leon County, Florida, this 10th day of MARCH, 2008.

(SEAL)
Board of Trustees of the
Internal Improvement Trust
Fund of the State of Florida

BOARD OF TRUSTEES OF THE
INTERNAL IMPROVEMENT TRUST
FUND OF THE STATE OF FLORIDA

By: Terry E. Wilkinson
Terry E. Wilkinson, Chief
Bureau of Survey and Mapping
Division of State Lands
State of Florida Department of
Environmental Protection
as agent for and on behalf of the Board
of Trustees of the Internal Improvement
Trust Fund of the State of Florida

Sarah Branham
Witness

Sarah Branham
(Typed or Printed Name of Witness)

Elizabeth M. Reardon
Witness

Elizabeth M. Reardon
(Typed or Printed Name of Witness)

STATE OF FLORIDA
COUNTY OF LEON

The foregoing instrument was acknowledged before me this 10th day of MARCH, 2008, by Terry E. Wilkinson, Chief, Bureau of Survey and Mapping, Division of State Lands, Department of Environmental Protection, as agent for and on behalf of the Board of Trustees of the Internal Improvement Trust Fund of the State of Florida. He is personally known to me and produced a driver's license as identification.



Henry Miller
State of Florida at Large,
Notary Public

(Typed, Printed or Stamped Name of Notary)

Commission No. DD 372323

My Commission Expires: Nov. 30, 2008

APPROVED AS TO FORM
& LEGALITY

Daryl L. Hise
DEP Attorney

Department of Environmental Protection
3900 Commonwealth Boulevard
Tallahassee, Florida 32399-3000

MONROE COUNTY
OFFICIAL RECORDS

SMITH / HAWKS
ATTORNEYS AT LAW

Barton W. Smith, Esq.
Jacob McMahon, Esq.
Jess Miles Goodall, Esq.
Telephone: (305) 296-7227
Email: Bart@SmithHawks.com
Jacob@SmithHawks.com
Jess@SmithHawks.com

SENT VIA EMAIL AND FEDEX
7755-9391-2371

December 23, 2021

Emily Schemper, AICP, CFM, Senior Director
Monroe County Planning and Environmental Resources
2798 Overseas Highway, Suite 400
Marathon, Florida 33050
Email: Schemper-Emily@MonroeCounty-FL.Gov

RE: DICKERSON GROUP, INC. APPLICATION FOR MAJOR CONDITIONAL USE APPROVAL

Dear Emily,

Enclosed, please find our clients, Dickerson Group, Inc.'s ("Applicant") application for a Major Conditional Use Approval ("Application"), check no. 7796 in the amount of \$17,922.00 for the application fee, advertising costs, surrounding property owner notification (SPON), traffic study review, and advertising and noticing fees for a community meeting. Please also find a complete and true copy of this letter and the application package, to be date-stamped and returned using the self-addressed envelope provided. A level 2 traffic study is being provided.

The Application is for a Major Conditional Use Approval ("Conditional Use Approval") in accordance with §110-67, §110-70, and §130-82 of the Monroe County Land Development Code ("LDC"), to authorize the development of a marina with accessory structures, including one (1) four hundred eighty square foot (480 SF) office building, and one hundred thirty-two (132) dry boat slips on the vacant land located on Big Coppitt Key, with Monroe County RE No.: 00120940-000000, and as described in the attached legal description ("Property").

Proposed Development:

The development of a marina with accessory structures, including: one (1) four hundred eighty square foot (480 SF) office building and one hundred thirty-two (132) roofless, unenclosed dry boat slips consisting of the following: seven (7) 24'x 10' boat racks for a maximum of 35' vessels stacked three (3) high; twenty-six (26) 17'x 10' racks for a maximum of 25' vessels stacked three (3) high; and eleven (11) 17'x 10' racks for a maximum of 25' vessels stacked three (3) high ("Development").

BACKGROUND, WRITTEN DESCRIPTION, CODE COMPLIANCE ANALYSIS.

I. BACKGROUND INFORMATION:

Location:	Big Coppitt Key at approximate U.S. 1 Mile Marker 9.5 bay side
Address:	Vacant Land, Big Coppitt Key, Florida
Legal Description:	A parcel of land in Section 21, Township 67, Range 26, Big Coppitt Key, Monroe County, Florida
Real Estate (RE) Number:	00120940-000000
Property Owner/Applicant:	Dickerson Group, Inc.
Agent:	SMITH / HAWKS, PL
Total Property Area:	831,482 SF or 19.1 acres
Total Upland Area:	532,523.0 SF or 12.23 acres
Total Submerged Area:	298,447 SF or 6.85 acres
Land Use District:	Industrial (I) and Commercial Fishing District (CFA)
Future Land Use Map (FLUM) Designation:	Industrial (I) and Mixed Use/Commercial Fishing (MCF)
Tier Designation:	Tier III
Flood Zone:	Multiple on site: AE10, VE12, VE14
Existing Uses:	Industrial/Mining Operations/Vacant Land
Community Character of Immediate Vicinity:	Industrial Park, Vacant land, and Residential.

II. MAJOR CONDITIONAL USE APPROVAL REQUEST:

Currently, the parcel is vacant land, located on Big Coppitt Key, Florida. A portion of the Property will be developed with twenty (20) attached dwelling units, designated as employee housing pursuant to the Minor Conditional Use Approval (as defined below). This Major Conditional Use Approval will allow the Applicant to develop and operate an additional portion of the Property as a public marina and boat storage facility, with one hundred thirty-two (132) roofless, unenclosed dry boat slips. The Development will provide access for the public to the navigable waters of the State of Florida, in furtherance of the Monroe County Comprehensive Plan (Comp. Plan).

III. RELEVANT PRIOR COUNTY ACTIONS:

On June 14, 2021, the County approved development order 05-21, approving a minor conditional use permit for the development of twenty (20) attached dwelling units, designated as employee housing on the Property (“Minor Conditional Use Approval”).

IV. ANALYSIS OF CODE COMPLIANCE:

Section 110-67 of the Monroe County Land Development Code provides the standards that are applicable to all conditional uses. When considering applications for a conditional use permit, the Development Review Committee and the Director of Planning & Environmental Resources shall consider the extent to which:

- (1) *The conditional use is consistent with the purposes, goals, objectives and standards of the comprehensive plan and the land development code Specific policies from the Monroe County Year 2030 Comprehensive Plan that directly pertain to the proposed conditional use include:*

Policy 101.5.9

The principal purpose of the Industrial (I) future land use category is to provide for the development of industrial, manufacturing, and warehouse and distribution uses. Other commercial, public, residential, and commercial fishing-related uses are also allowed. Residential uses are limited to employee housing or commercial apartments.

The development of a marina and accessory structures, including: one (1) four hundred eighty square foot (480 SF) office building and one hundred thirty-two (132) roofless, unenclosed dry boat slips is consistent with the principal purpose of the Industrial zoning district as the outdoor storage of vessels is considered a light industrial use. The Development would provide for public uses by creating a recreational marina open to the public on the Property.

Policy 101.5.25

Monroe County hereby adopts the following density and intensity standards for the future land use categories, which are shown on the FLUM and described in Policies 101.5.1—101.5.20. [F.S. § 163.3177(6)(a)1.]

Future Land Use Densities and Intensities		Minimum Open Space Ratio
Future Land Use Category and Corresponding Zoning	Nonresidential Maximum Intensity (floor area ratio)	
Industrial (I) (I and MI zoning)	.25-.60	.20

As shown on the Site Plan, the Property has a total area of 19.1 acres. The proposed office building will cover 480 square feet (.011 acres) and the dry boat slips are designed to cover an area of 7,190 square feet (.17 acres). LDC Section 101-1 defines floor area ratio (FAR) as the total floor area of the building(s) and/or any other covered and enclosed structure(s) on a site divided by the gross area of the site. FAR is the measurement of the intensity of building development on a site. The dry boat slips are unenclosed structures and are therefore not considered in calculating the FAR. Accordingly, the total FAR of the Development is .0005, far below the maximum intensity permitted on the Property.

The Site Plan also shows that 17.29 acres or 90.52% of open space is provided, well within the open space requirement of twenty percent (20%). The Development is of sufficient intensity and provides enough open space to be supported on the Property consistent with Policy 101.5.25.

Goal 212

Monroe County shall prioritize shoreline land uses and establish criteria for shoreline development in order to preserve and enhance coastal resources and to ensure the continued economic viability of the County. [F.S. § 163.3178(2)(g)]

The Development is compatible with Goal 212 as it will prioritize shoreline land use by creating a recreational marina open to the public and enhance the economic viability of the surrounding area and County.

Goal 217

The coastal area of Monroe County shall be managed to promote public access to the marine and coastal waters, to balance the protection of recreational and commercial working waterfront and commercial fishing uses and the preservation and protection of coastal and natural resources and the community character. [F.S. § 163.3178(2)(g)]

The proposed development promotes public access to the marine and coastal waters, providing direct access to navigable waters of the State of Florida. The Major Conditional Use Approval would result in the Property becoming a recreational marina open to the public, which would enhance the character of the community.

Objective 217.1

Monroe County shall adopt and implement incentives and criteria to encourage the preservation of 1) public access to the navigable waters of the State, 2) commercial fishing uses and 3) recreational and commercial working waterfront uses, as defined by Section 342.07, F.S., excluding transient uses. [F.S. § 163.3178(2)(g)]

The Development furthers Objective 217.1 by creating additional, direct access to the navigable waters of the state and making the Property a recreational marina open to the public.

- (2) *The conditional use is consistent with the community character of the immediate vicinity of the parcel proposed for development:*

The Property is located between residential subdivisions to the North and East, the Quarry workforce housing developments and industrial complexes to the South, and vacant land to the West. The proposed development is consistent with the other industrial uses in the surrounding area. Further, the proposed development will serve as an amenity to the nearby community and residents, enhancing the community character by providing access to a recreational marina and the navigable waters of the state. The Conditional Use Approval would be consistent with the community character of the immediate vicinity.

- (3) *The design of the proposed development minimizes adverse effects, including visual impacts, of the proposed use on adjacent properties:*

The Applicant is proposing to complete the Development in a single phase of development. Additionally, the Property will be in full compliance with the County LDC, including landscaping, off-street parking, stormwater management, outdoor lighting and solid waste/recycling collection. The proposed site plan (“Site Plan”) shows all required setbacks and landscaping will be met, and all off-street parking spaces being provided. Therefore, the design of the proposed development will minimize adverse effects, including visual impacts, on adjacent properties.

- (4) *The proposed use will have an adverse impact on the value of surrounding properties:*

The Applicant is proposing to develop a recreational marina open to the public. Typically, such developments would increase the value of the subject property and have a favorable impact on surrounding property values. Furthermore, the proposed development will not have an adverse impact on the value of the surrounding properties.

- (5) *The adequacy of public facilities and services, including, but not limited to:*

(a) **Traffic:**

Localized Impacts & Access Management: Access to and from the subject property is along Calle Tres, and US 1, and shall be approved by FDOT.

Pursuant to County Code Sec. 114-200, a Level 2 traffic study is required for all areas that have a Gross Daily Trip Generation of 250-500. A level 2 traffic study has been provided.

The level 2 traffic study provided with this Application determined that the proposed development will not have an adverse impact on the operating characteristics of Overseas Highway / U.S. 1, nor will it inhibit the safe flow of traffic traveling through Big Coppitt Key; Overseas Highway / U.S. 1 has

adequate capacity to accommodate the traffic volumes generated by the proposed development.

(b) **Water and Wastewater**

Proof of coordination has been provided by Florida Keys Aqueduct Authority (FKAA) affirming there is adequate capacity of potable water and wastewater based on the proposed intensity provided for by the project. The FKAA proof of coordination is included with this application and incorporated herein by reference.

(c) **Energy**

Proof of coordination has been provided by Keys Energy Service (KES) affirming there is adequate energy capacity based on the proposed density provided for by the project. The KES proof of coordination is included with this application and incorporated herein by reference.

(d) **Solid Waste**

Proof of coordination has been provided by Monroe County Solid Waste Management (WM) affirming there are no issues with the solid waste removal and disposal capacity based on the proposed project. The WM proof of coordination is included with this application and incorporated herein by reference.

(e) **Sewage**

Proof of coordination confirming available capacity based on the proposed project has been provided by the Florida Department of Health. The proof of coordination is included with this application and incorporated herein by reference.

(f) **Drainage/Stormwater**

Drainage and Stormwater are included in the attached Site Plan and are compliant.

(g) **Schools**

The Capacity is adequate for the Lower Keys.

(h) **Recreation and Open Space**

Recreation and Open Space is adequate for the Lower Keys.

a. **Does the Development affect a known archeological, historical, or cultural resource?**

The Development does not affect a known archeological, historical, or cultural resource.

- b. **Does the Development preserve access to public beaches and other waterfront areas?**

The Development would create a recreational marina open to the public, enhancing public access to waterfront areas.

V. **DOES THE DEVELOPMENT COMPLY WITH ALL ADDITIONAL STANDARDS IMPOSED ON IT BY THE PARTICULAR PROVISIONS OF THE LDC AUTHORIZING THE DEVELOPMENT?**

1. **Purpose of the I District (§130-35):** The purpose of the I district is to establish areas that are suitable for the development of industrial, manufacturing, warehousing, and distribution uses.

The development of a marina and accessory structures is consistent with the purpose of the Industrial zoning district as the outdoor storage of vessels is considered a light industrial use, consistent with LDC Section 130-35 and Comp. Plan policy 101.5.9.

2. **Permitted Uses (§130-82):** In the Industrial district

- (a) The following uses are permitted as of right in the Industrial district:

- (1) Restaurants of less than 5,000 square feet of floor area;
- (2) **Office uses of less than 5,000 square feet of floor area;**
- (3) Attached and detached dwellings involving less than six units, designated as employee housing as provided for in section 139-1;
- (4) Commercial apartments involving less than six dwelling units;
- (5) Commercial fishing;
- (6) Institutional uses;
- (7) **Light industrial uses;**
- (8) Public buildings and uses;
- (9) **Accessory uses;**

...

- (c) The following uses are permitted as major conditional uses in the Industrial district, subject to the standards and procedures set forth in chapter 110, article III:

- (1) **Marinas, provided that:**

- a. The parcel proposed for development has access to water at least four feet below mean sea level at mean low tide;
- b. The sale of goods and services is limited to fuel, food, boating, diving and sport fishing products;
- c. All outside storage areas are screened from adjacent uses by a solid fence, wall or hedge at least six feet in height; and
- d. Each nonwaterside perimeter setback of the parcel proposed for development must have a class C bufferyard within a side yard setback of ten feet;

Pursuant to LDC Section 130-82(c)(1), the proposed development of the Property for the principal use as a marina is permitted as a major conditional use in the I district, subject to the standards and procedures set forth in the LDC. As shown on the Site Plan, the parcel proposed for development has access to water at least four feet below mean sea level at low tide; the services provided will be limited to the management of the marina, and not include the sale of goods; all outside storage areas will be properly screened from adjacent uses; and there are no nonwaterside perimeter setbacks requiring bufferyards. Accordingly, the proposed development is permitted as a major conditional use on the Property.

The proposed accessory structures—one (1) four hundred eighty square foot (480 SF) office building and one hundred thirty-two (132) roofless, unenclosed dry boat slips—are permitted as of right in the I District pursuant to LDC Section 130-82(a)(9). Additionally, the four hundred eighty square foot (480 SF) office building is permitted as of right under LDC Section 130-82(a)(2) as the office building is less than 5,000 square feet of floor area, and the dry boat slips are permitted under Section 130-82(a)(7) as the outdoor storage of vessels is considered a light industrial use.

3. Marina Siting Criteria (§118-15)

(a) Siting criteria. The development of new marina facilities shall be located in areas where maximum physical advantages exist and where no unreasonable or excessive impacts are foreseen on marine resources. Proposed new marina facilities shall meet the following requirements:

(1) Benthic vegetation and hardbottom communities. Siting of marinas in areas of seagrass or hardbottom (including hard and soft corals) should be avoided. Boat mooring sites (slips or docks) shall not be located over a seagrass bed community or hardbottom community regardless of water depth. No impacts to seagrass beds or hardbottom communities should result from the construction or use of new marina development.

(2) *Adequacy of circulation and tidal flushing.* The proposed marina site shall exhibit adequate circulation and tidal flushing. The waterway upon which the marina is proposed to be sited shall meet or exceed state water quality standards, and must currently have "Good" water quality as indicated in the County's most current canal inventory and assessment data (as applicable). New marina development shall not adversely impact the quality of water during construction or use.

(3) *Adequate water depth and access.* There shall be a minimum of four (4) feet of water depth at MLW at the marina site (including the mooring slips, turning basin, and access channels), and the water depth shall be continuous to open water over a channel width of twenty (20) feet. Water depth shall be adequate for the proposed vessel use such that there be a minimum of one (1) foot clearance between the deepest draft of the vessel and the bottom at MLW. Greater water depths shall be required for those facilities proposed for accommodating vessels having greater than a three (3) foot draft. Sites shall not require dredging or filling to provide access.

(4) *Minimal shoreline modification.* Marinas shall not be sited adjacent to unaltered shorelines as defined in [Sec. 101-1](#) of the Land Development Code. Minimal modification to the shoreline shall be permitted per County Land Development Code [Section 118-1, 118-12\(m\)](#), and (o).

(5) *Quality of upland areas and degree of alteration necessary.* Marinas shall not be sited on lands designated as Tier I or Tier III-A, if clearing is proposed. Marina development shall not adversely impact the upland area of, or adjacent to, a proposed marina site. Additionally, marinas shall not be permitted on offshore islands or on units of the Coastal Barrier Resources System (CBRS).

(6) *Propeller dredging problem areas.* Siting of marinas in areas of seagrass propeller scarring should be avoided. Marinas shall not be located adjacent to areas of severe seagrass scarring, based on the most current data available from the Florida Fish and Wildlife Research Institute.

(7) *Impact of boats on Florida manatee, American crocodile, and sea turtles.* Marinas shall be sited so as to prevent impacts to the Florida manatee, American crocodile, and marine turtles and protect their habitat by avoiding areas of known American crocodile range, areas with high watercraft Florida manatee mortality, or areas that include a beach known to be used for marine turtle nesting. Site characteristics can be assessed using current data from the Florida Fish and Wildlife Conservation Commission.

(8) Other significant resources. No adverse impact shall be permitted on archaeological or historic resources/sites.

(b) Applicants for new marina development shall be responsible for providing existing physical and environmental site data specific to the proposed site to demonstrate the marina siting criteria described above are met.

(c) Applicants for development approval of marinas with three (3) or more wet slips shall meet the following:

(1) Monroe County's marina siting criteria (Section [118-15\(a\)](#));

(2) Monroe County's dock siting criteria (Section [118-12\(m\)](#)); and

(3) Criteria of Rules 62-312 and 18-21.0041, F.A.C. and § 163.3178(2)(g), F.S.

(d) Applicants for development approval of docking facilities for fewer than three (3) wet slips shall meet the following criteria:

(1) Monroe County's dock siting criteria (Section [118-12\(m\)](#)); and

(2) Criteria of Rules 62-312 and 18-21.0041, F.A.C.

The Development does not have any slips or mooring facilities over a seagrass bed community or hardbottom community, as the proposed dry boat slips will be on land. No impact will be made on sea grass beds or hardbottom communities from the Development. The Development will not adversely impact the quality of water during construction or use.

There is a minimum of four (4) feet of water depth at MLW at the marina site and the water depth is continuous to open water over a channel width of twenty (20) feet. No dredging or filling will be required to access the marina. The marina is sited adjacent to altered shorelines, not unaltered shorelines, and is sited on land designated as Tier III. The site is not on an offshore island or unit of the Coastal Barrier Resources System. The proposed marina site is not in an area of seagrass propeller scarring, as the altered shoreline on which it is proposed is within a dredged channel. The proposed marina site is not in an area of known American crocodile range; an area with high watercraft Florida manatee mortality; or an area that includes a beach known to be used for marine turtle nesting. The proposed marina site will have no impact on any archaeological or historic resources/sites. To support the information above, Applicant has provided existing physical and environmental site data demonstrating that the marina siting criteria as required by the LDC is met.

According to the LDC, docking facilities means structures used for the landing, berthing, and/or securing of vessels including, but are not limited to, docks, wharves, piers, quays, slips, basins, posts, cleats, davits, piles or any other appurtenances or attachment thereto. The proposed

marina does not include any structures for the landing, berthing, or securing of vessels, but simply provides outdoor storage of vessels in unenclosed dry boat slips and a boat launch for vessels to be lifted from and dropped into the water through the use of a forklift. No docks or wet slips are proposed in the Development. Accordingly, Sections 118-15(c) and (d) are inapplicable.

4. Residential Density Analysis

No additional residential development is proposed in this Major Conditional Use permit application. Pursuant to Minor Conditional Use Permit Development Order No. 05-21, which the County approved on June 14, 2021, the Property is anticipated to have twenty (20) affordable housing employee dwelling units developed and is compliant as to density requirements.

Sec. 139-1. Affordable and Employee Housing; Administration.

(b)(5) Notwithstanding the provisions of this article, when calculating density, any existing lawfully established or proposed affordable or employee housing on a parcel and the floor area thereof shall be excluded from the calculation of the total gross nonresidential floor area and hotel/motel density development that may be lawfully established on the parcel, provided, however, that the total residential density allowed on the site shall not exceed the maximum net density for affordable and employee housing.

Pursuant to Section 139-1(b)(5), the anticipated development of twenty (20) affordable housing employee dwelling units will not affect the density calculations for the Property or the total amount of nonresidential floor area.

6. Nonresidential Intensity Analysis

No structure or land in the County shall be developed, used, or occupied at an intensity or density greater than the standards set out in LDC Chapter 130, Article V. The LDC allows for the development of an office building and the outdoor storage of vessels (light industrial use) in the I district, pursuant to the following conditions.

Section 130-164. Maximum Nonresidential Land Use Intensities and District Open Space.

Maximum Nonresidential Land Use Intensity and Minimum Open Space		
Land Use District and Use	Maximum Floor Area Ratio	Minimum Open Space Ratio
Commercial Fishing Area (CFA)	.40	.20
Industrial (I)		
Office	.40	.20
Light Industrial	.40	.20

The Conditional Use Approval will result in the following intensity on the Property, which is consistent with the LDC and Comp. Plan:

Intensity Table						
Land Use	Proposed Structure	Floor Area Ratio	Size of Site	Maximum Allowed	Proposed	Potential Used
Office	Office Building	.40	831,482 SF	332,592.8 SF	480 SF	0.14%
Light Industrial	Dry Boat Slips	.40	831,482 SF	332,592.8 SF	7,190 SF	2.16%
Total						3.3%

As shown on the Site Plan, the proposed office building is designed to cover 480 square feet (.011 acres) and the proposed dry boat slips will cover an area of 7,190 square feet (.17 acres), for a total of 7,670 square feet (.165 acres). However, as only buildings and covered and enclosed structures are considered in calculating the floor area ratio, the area of the dry boat slips is not counted. The Property can support 332,592.8 square feet (7.635 acres) of office and/or light industrial use, while the Development only proposes to use 480 square feet (.011 acres). In total, the Development only uses 0.14% of the intensity potential available on the Property, far below the maximum allowed floor area ratio. The Development is of sufficiently low intensity to be supported on the Property.

7. Required Open Space (LDC §§ 118-4;118-12; and 130-164)

In the CFA and I zoning district, the minimum required open space ratio is 20%. The Site Plan shows that the Property consists of 19.1 gross acres. Therefore, 3.82 acres is required to remain open space. The Site Plan shows that the total impervious area on the Property from the Development will be 1.79 acres, providing a total open space area of 17.29 acres, or 90.61% of the Property. The 90.61% of open space provided is well above the minimum 20% necessary and is compliant with the LDC.

8. Required Setbacks (§131-1 and §131-3)

In the I district, the required non-shoreline setbacks are as follows:

Land Use District/ Land Use	Primary Front Yard (ft.)	Secondary Front Yard (ft.)	Primary Side Yard (ft.)	Secondary Side Yard (ft.)	Rear Yard (ft.)
Industrial (I)	25	15	10	5	25

The only non-shoreline setback on the Property is the primary front yard, which complies with the twenty-five (25) foot setback as shown on the Site Plan and required by the LDC.

9. Shoreline Setbacks (§118-12)

Section 118-12. Shoreline Setback

(c) Accessory structures. Accessory structures, as defined in Section 101-1, within the shoreline setback shall be constructed at a foundation height not to exceed 18 inches above existing grade and shall meet the following design criteria:

- (1) Along lawfully altered shorelines adjacent to manmade canals, channels, and basins:
 - a. In no event shall the total, combined area of all structures occupy more than 60 percent (60%) of the upland area of the required 20-foot shoreline setback.
 - b. Accessory structures, including, but not limited to, pools, spas, and any screen enclosure over pools or spas shall be set back a minimum of ten (10) feet, as measured from the MHW line.

The proposed development of the office building and dry boat slips (and the roads, pavement, and parking areas supporting them) are accessory structures for the principal use of a marina. The proposed development site on the Property is along lawfully altered shorelines adjacent to manmade canals, channels, and basins. The Site Plan identifies the shoreline setbacks and identifies that that the shoreline setbacks are compliant with the LDC:

Total Shoreline Setback Area	Total Shoreline Impervious Area	Shoreline Impervious Percentage	Total Shoreline Open Space	Shoreline Open Space Percentage
2.44 acres	.18 acres	7.36%	2.27 acres	92.64%

The total combined area of all structures occupies 7.36% of the upland area of the required 20-foot shoreline setback, well within the maximum 60% combined area of all structures permitted by the LDC. As shown on the Site Plan, the dry boat slips are set back greater than 20 feet from the mean high-water (MHW) line, but the proposed four hundred eighty square foot (480 SF) office building and portions of the roads/pavement/parking areas encroach into the 20-foot shoreline setback.

If these accessory structures cannot be set back at least 10 feet from the MHW line, special approval is requested.

Section 118-12(o). Special Approvals

(1) For structures serving commercial uses, **public uses**, or more than three dwelling units, the Planning and Environmental Resources Director or the Planning Commission may approve deviations from the requirements of the subsection above as part of a minor or major conditional use permit. Such approval may include additional structures or uses, provided that such approval is consistent with any permitted uses, densities, and intensities of the land use (zoning) district, furthers the purposes of this Section, is consistent with the general standards applicable to all uses, and the proposed structures are located in a disturbed area of an altered shoreline. Such additional uses are limited to waterfront dining areas, pedestrian walkways, public monuments or statues, informational kiosks, fuel or septic facilities, and **water-dependent marina uses**. Any such development shall make adequate provision for a water quality monitoring program for a period of five (5) years after the completion of the development.

The development of the accessory structures for the principal use of a marina will result in the Property becoming a recreational marina open to the public, and thus serve public uses. The proposed accessory structures requiring special approval are located on disturbed areas of the Property's altered shoreline. As shown above, the Development is consistent with permitted uses and intensities of the I land use district. The special approval would enable water-dependent marina uses, as contemplated by Section 118-12(o). Upon special approval and completion of the Development, adequate provisions for a water quality monitoring program for five (5) years will be provided.

10. Maximum height (§131-2)

No structure or building shall be developed that exceeds a maximum height of 35 feet.

The proposed four hundred eighty square foot (480 SF) office building is designed to a height of twelve (12) feet, and the proposed dry boat slips are designed to a height of thirty-five (35) feet as shown on the elevation plans provided.

11. Stormwater Management Plans (§114-3)

Overall Drainage Plans provided.

12. Wastewater Treatment Criteria (§114-4)

Development is required to connect to central sewer.

13. Fences (§114-13)

N/A

14. Required Off Street Parking (§114-67)

Section 114-67(e)(2) Calculation of Number of Parking Spaces.

When two or more separate uses are on a site, the required parking for the site is the sum of the total required parking for each of the individual uses, except if the shared parking calculation option is used, as provided for in subsection (i) of this section.

The Property will have two (2) separate uses on the same parcel—the residential use provided by the twenty (20) affordable employee dwelling units, and the marina use to be provided by the proposed development of the one hundred thirty-two (132) dry boat slips and one (1) four hundred eighty square foot (480 SF) office building. Accordingly, shared parking is permitted under LDC Section 114-67(i).

Computation of Shared Parking Requirements.

	Nighttime	Weekday		Weekend	
	Midnight to 6:00 a.m.	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)
Specific Use Categories					
Marinas	5%	70%	10%	100%	20%
Required Spaces: 33	1.65	23.1	3.3	33	6.6
Office/Industrial	5%	100%	10%	10%	5%
Required Spaces: 2	.1	2	.2	.2	.1
Residential	100%	60%	90%	80%	90%
Required Spaces: 40	40	24	36	32	36
Total Parking Required	41.75	49.1	39.5	65.2	42.7
Minimum Parking Required				65.2	

Pursuant to LDC Section 114-67, sixty-five (65) parking spaces are required under the shared parking calculation, which are provided for on the Site Plan.

Loading and Unloading Spaces (§114-69)

Section 114-69. Required Number and Size of Loading/Unloading Spaces. All nonresidential uses of over 100 square feet in floor area, involving the receipt and distribution by vehicles of materials and merchandise, shall provide for off-street loading.

While the proposed office is a nonresidential use over 100 square feet in floor area, the office does not involve the receipt and distribution by vehicles of materials and merchandise. The proposed office is for the management of the proposed dry boat slip development. As such, the LDC does not require a loading and unloading space on the Property for the proposed development.

15. Bicycle Parking (§114-71)

(a) Any development generating over two thousand (2,000) trips per day shall be required to provide bicycle parking racks.

(b) All nonresidential development within 200 feet of an existing or programmed state or county bikeway shall provide a bicycle parking rack.

As shown on the level 2 traffic study provided, the proposed development is anticipated to generate approximately 291 daily trips. Additionally, no nonresidential development on the Property is within 200 feet of an existing or programmed state or county bikeway. Accordingly, the LDC does not require the Property to provide bicycle parking.

16. Required Landscaping (§114-100 and §114-105)

Section 114-100(a)(3) requires that landscaping be provided in a square footage area equal to at least twenty percent (20%) of the gross parking lot area, and that calculations verifying that the requirement is met be shown on the landscape plan.

The Site Plan shows that the total parking area provided for the proposed marina is 9,697.5 square feet. Twenty percent (20%) of the total parking area is 1,939.5 square feet, the required amount of landscaping. As seen on the Site Plan, the Development proposes to have 1,978.8 square feet of marina parking lot landscaping.

The proposed landscaping also meets the standards requiring specific sizes and types of plants in Sections 114-100 and 114-105, by providing for: six (6) canopy trees (pigeon plum trees of twelve (12) feet in height); five (5) understory trees (orange Geiger trees of eight (8) feet in height); and thirty-nine (39) shrubs (cocoplum shrubs of three (3) gallons in size). The landscape plan provided provides enough landscaping as required by the LDC.

17. Outdoor Lighting

The Site Plan provides for Outdoor lighting as required by the LDC.

18. Signs (§142)

All signs shall comply with the LDC.

19. Recycling and Solid Waste

The Site Plan provided provides for recycling and solid waste removal as required by the LDC. Additionally, proof of coordination has been provided by Waste Management (WM) affirming there are no issues with the solid waste removal and disposal capacity based on the proposed project. The WM proof of coordination is included with this application and incorporated herein by reference.

20. Floodplain Management (§122-1-§122-6)

The Property is located within multiple flood zones on the FEMA flood insurance rate maps, including AE10, VE12, and VE14. The site is located in an AE10 Flood zone, and the proposed structures will be built to meet the standards for flood protection.

If you require anything further, or have any questions and/or concerns, please do not hesitate to contact our office.

Sincerely,

Jacob C. McMahon, Esq.

JCM/bg

Enclosures

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary



Parcel ID 00120940-000000
 Account# 1154598
 Property ID 1154598
 Millage Group 100B
 Location VACANT LAND, BIG COPPITT KEY
 Address
 Legal 21 67 26 BIG COPPITT KEY PT LOT 1 & BAY BOTTOM N'LY & ADJ TO LOT 1 OR237-259/60 OR346-580(II DEED 24002) OR389-442E OR929-2401/08
 Description OR1556-352/MERGER OR2349-1651/53(CERT) OR2587-1724/25(CERT)
 (Note: Not to be used on legal documents.)
 Neighborhood 10058
 Property Class COMMERCIAL (1000)
 Subdivision
 Sec/Twp/Rng 21/67/26
 Affordable No
 Housing

Owner

[DICKERSON GROUP INC](#)
 PO Box 5011
 Monroe NC 28111

Valuation

	2021	2020	2019	2018
+ Market Improvement Value	\$0	\$0	\$0	\$0
+ Market Misc Value	\$0	\$0	\$0	\$0
+ Market Land Value	\$638,846	\$638,846	\$638,846	\$638,846
= Just Market Value	\$638,846	\$638,846	\$638,846	\$638,846
= Total Assessed Value	\$638,846	\$638,846	\$638,846	\$595,212
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$638,846	\$638,846	\$638,846	\$638,846

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
COMMERCIAL WATERFRON (1MOW)	4.84	Acreage	0	0
COMMERCIAL WATERFRON (1MOW)	2.18	Acreage	0	0
ENVIRONMENTALLY SENS (000X)	70.46	Acreage	0	0

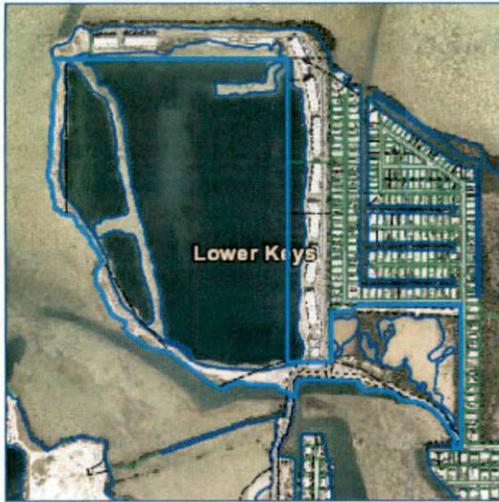
View Tax Info

[View Taxes for this Parcel](#)

Photos



Map



TRIM Notice

2021 TRIM Notice (PDF)

2021 Notices Only

No data available for the following modules: Buildings, Commercial Buildings, Mobile Home Buildings, Yard Items, Exemptions, Sales, Permits, Sketches (click to enlarge).

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

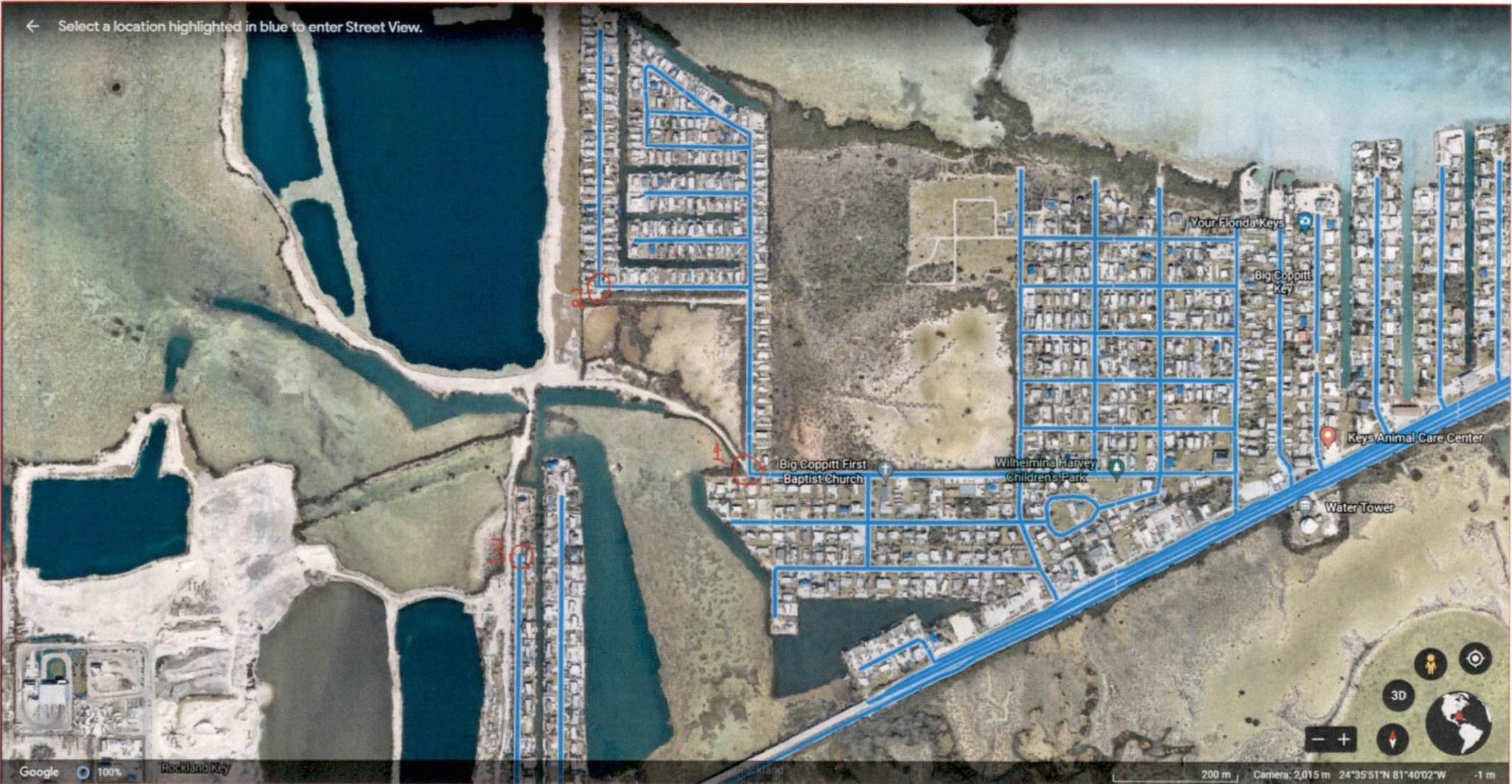
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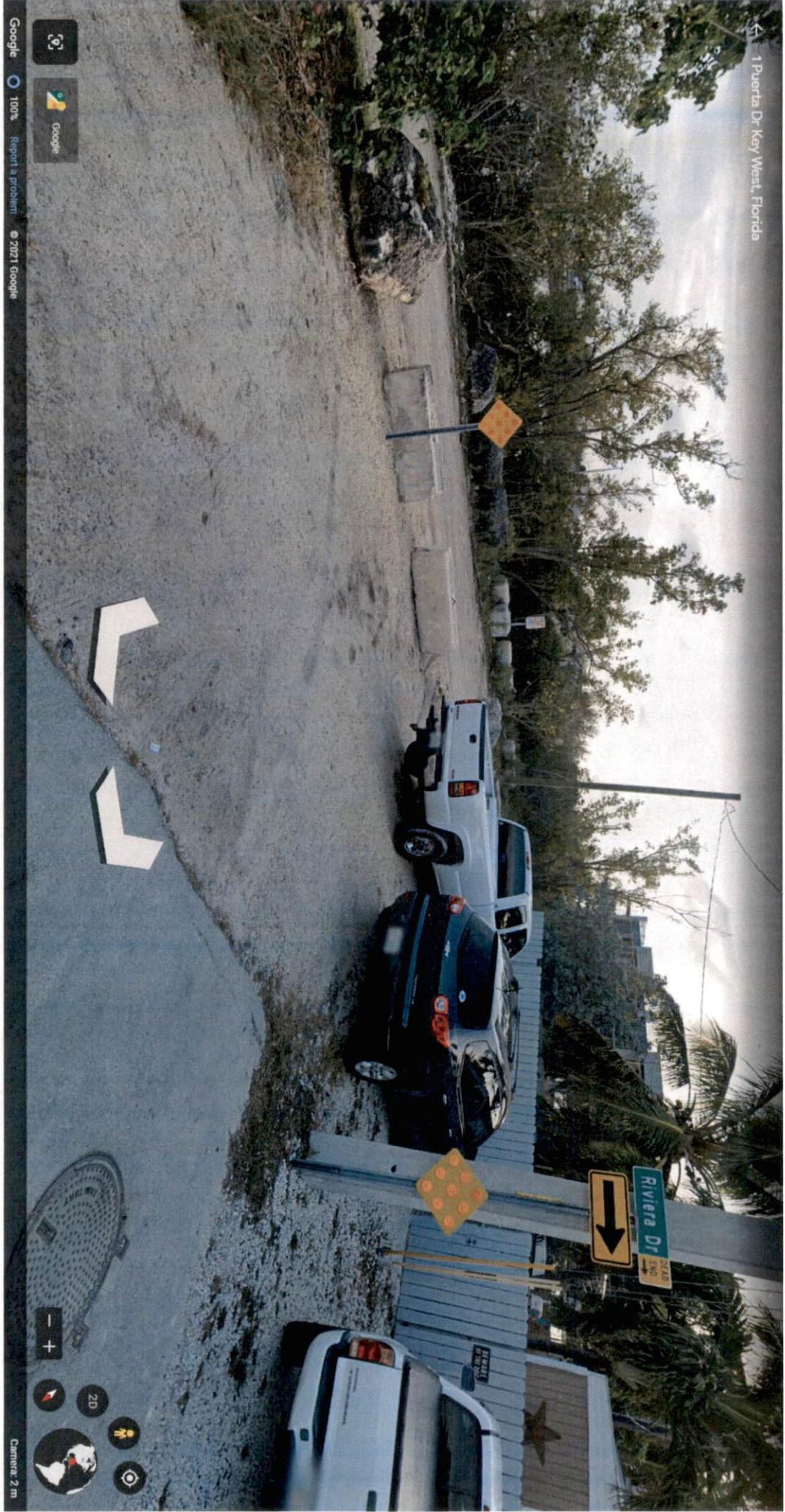
Version 2.3.158

Developed by
 Schneider
 GEOSPATIAL

← Select a location highlighted in blue to enter Street View.



← 1 Puerta Dr Key West, Florida



Google 100% Report a problem © 2021 Google

← 99 Cll Dos Key West, Florida





← 53 Barcelona Dr Key West, Florida

THE QUARRY APARTMENTS
GENERAL CONTRACTORS
MANAGEMENT
SUMMIT DESIGN BUILD
10001 KEY WEST, FLORIDA

Barcelona Dr



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2D

Camera: 2 m



Filed and Recorded in Official Records of
MONROE COUNTY KEVIN MADOK, CPA

**MONROE COUNTY, FLORIDA
MINOR CONDITIONAL USE PERMIT
DEVELOPMENT ORDER NO. 05-21**

A DEVELOPMENT ORDER APPROVING A REQUEST FOR A MINOR CONDITIONAL USE PERMIT BY DICKERSON GROUP, INC. FOR THE PROPOSED DEVELOPMENT OF 20 ATTACHED DWELLING UNITS, DESIGNATED AS EMPLOYEE HOUSING, AS PROVIDED FOR IN LDC SECTION 139-1. THE SUBJECT PROPERTY IS DESCRIBED AS TWO PARCELS OF LAND WITHIN SECTION 21, TOWNSHIP 67 SOUTH, RANGE 26 EAST, ROCKLAND KEY, MONROE COUNTY, FLORIDA, HAVING PARCEL IDENTIFICATION NUMBERS 00120940-000000 AND 00120940-000301. (FILE 2020-056)

WHEREAS, during a meeting held on April 27, 2021, the Monroe County Development Review Committee (the "DRC") reviewed a request filed by Barton W. Smith, Esq. (the "Agent") on behalf of Dickerson Group, Inc. (the "Applicant"), for a Minor Conditional Use Permit (the "Minor CUP") in accordance with Sections 110-69 and 130-82(b)(3) of the Monroe County Land Development Code (the "LDC"); and

WHEREAS, the subject property is located on Big Coppitt Key near U.S. 1 Mile Marker 9.5, and is described as two (2) parcels of land within Section 21, Township 67 South, Range 26 East, Big Coppitt Key, Monroe County, Florida, having Parcel Identification Numbers 00120940-000000 and 120940-000301 (the "subject property"); and

WHEREAS, this application involves the development of 20 attached dwelling units, designated as employee housing as provided for in LDC Section 139-1, located within the Industrial (I) Land Use District (LUD) ; and

WHEREAS, the DRC and the Chair of the DRC, the Monroe County Senior Director of Planning & Environmental Resources (the "Director"), reviewed the following documents and other information relevant to the request:

1. Conceptual Site Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.
2. Conceptual BMP Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.
3. Conceptual Drainage Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.
4. Front and Rear Elevations Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.

5. Side Elevations Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.
6. Floor Plan by Weiler Engineering Corporation, signed and sealed on 02/03/2021 by Michael J. Giardullo, Professional Engineer.
7. Map of Specific Purpose Survey by Florida Keys Land Surveying, prepared by Eric A. Isaacs, Professional Surveyor and Mapper, dated on 06/07/2019 and revised on 03/30/2021.
8. Existing Conditions Report for the subject property prepared by Teramar Environmental Services, Inc., dated June 6, 2020
9. Traffic Statement prepared by KBP Consulting, Inc. signed by Karl B. Peterson, P.E., dated June 15, 2020
10. Staff report prepared by Devin Tolpin, Senior Planner, and Michael Roberts, Assistant Director/ Environmental Resources, dated April 5, 2021; and
11. Comments by the DRC and Department staff; and
12. Comments by the applicant; and
13. Comments from the public.

WHEREAS, based upon the information and documentation submitted, the Director made the following Findings of Fact:

1. The subject property is located within the Industrial (I) and Commercial Fishing Area (CFA) Land Use (Zoning) Districts; and
2. The subject property is located within the Industrial (I) and Mixed Use Commercial Fishing (MCF) Future Land Use Map (FLUM) Categories; and
3. The subject property is located within an area designated Tier III (Infill Area); and
4. Pursuant to LDC Section 110-69, the Director is authorized to render a development order approving an application for a Minor CUP in accordance with the standards provided in LDC Section 110-67; and
5. LDC Section 110-67 provides the standards applicable to all conditional uses. When considering applications for a conditional use permit, the Director shall consider the extent to which:
 - (a) The conditional use is consistent with the purposes, goals, objectives and standards of the Comprehensive Plan and the Land Development Code;
 - (b) The conditional use is consistent with the community character of the immediate vicinity of the parcel proposed for development;
 - (c) The design of the proposed development minimizes adverse effects, including visual impacts, of the proposed use on adjacent properties;
 - (d) The proposed use will have an adverse effect on the value of surrounding properties;
 - (e) The adequacy of public facilities and services;
 - (f) The applicant for conditional use approval has the financial and technical capacity to complete the development as proposed and has made adequate legal provision to guarantee the provision and development of any open space and other improvements associated with the proposed development;

- (g) The development will adversely affect a known archaeological, historical or cultural resource;
 - (h) Public access to public beaches and other waterfront areas is preserved as a part of the proposed development; and
 - (i) The proposed use complies with all additional standards imposed on it by the particular provision of the Land Development Code authorizing such use and by all other applicable requirements of this Code; and
6. Development requiring a conditional use permit shall be consistent with the Monroe County Comprehensive Plan; and
7. Developments requiring a conditional use permit shall be consistent with the Principles for Guiding Development in the Florida Keys Area of Critical State Concern; and

WHEREAS, the Director made the following Conclusions of Law:

1. The Minor CUP application is consistent with all of the provisions and intent of the Land Development Code of the Monroe County, Florida, Code of Ordinances; specifically:
 - a. The development is consistent with the purpose of the Industrial (I) and Commercial Fishing (CFA) Land Use Districts; and
 - b. Following the execution of the conditions provided herein, the development shall meet all of the standards for a Minor CUP; and
2. The Minor CUP application is consistent with the provisions and intent of the Monroe County Year 2030 Comprehensive Plan; specifically:
 - a. The development is consistent with the purpose of the Industrial and Mixed Use Commercial Fishing (MCF) FLUM Categories; and
3. The development is consistent with the Principles for Guiding Development in the Florida Keys Area of Critical State Concern; and

WHEREAS, at the DRC meeting on April 27, 2021, staff requested that the following conditions be met prior to the issuance of any development order approving the Minor CUP:

1. The density calculation table on the proposed site plan, Sheet C-1, must be revised to accurately reflect the maximum densities permitted on the property as evidenced by the most recently submitted boundary survey, dated March 30, 2021.
2. The site plan must be revised to accurately label the types of setbacks required on the site.
3. The site plan must be revised to show the access road relocated so as to be at least 10 feet from the MHW in accordance with Section 118-12(c)(1).

WHEREAS, on June 9, 2021, the Planning and Environmental Resources Department received:

1. Conceptual Site Plan by Weiler Engineering Corporation, signed and sealed on 06/04/2021 by Michael J. Giardullo, Professional Engineer.
2. Conceptual BMP Plan by Weiler Engineering Corporation, signed and sealed on 06/04/2021 by Michael J. Giardullo, Professional Engineer.
3. Conceptual Drainage Plan by Weiler Engineering Corporation, signed and sealed on 06/04/2021 by Michael J. Giardullo, Professional Engineer.

WHEREAS, the Director has duly considered the DRC review and the information and documentation submitted by the applicant; and

WHEREAS, the record established, the testimonies offered, and the evidence submitted, support the Findings of Fact and Conclusions of Law adopted;

NOW THEREFORE, BE IT RESOLVED BY THE DIRECTOR OF PLANNING & ENVIRONMENTAL RESOURCES OF MONROE COUNTY, FLORIDA that the request for a Minor Conditional Use Permit is hereby APPROVED, subject to the following conditions:

1. Prior to issuance of a building permit for any of the proposed affordable employee housing dwelling units on the site, the applicant must submit an approved, recorded, affordable employee housing deed restriction, as required by LDC Section 139-1.
2. The applicant must obtain a ROGO allocation award for each proposed dwelling unit prior to the issuance of a building permit, pursuant to LDC Chapter 138-20.
3. The applicant/owner hereby acknowledges and agrees that any traffic level of service conditions in this order are preliminary, and only represents a conditional concurrency determination. **A final concurrency review shall completed during building permit review** to ensure adequate roadway capacity is confirmed and the adopted level of service is maintained.
4. All access drives must be constructed to Monroe County standards and will require a right-of-way permit from Monroe County Engineering Department.
5. Prior to issuance of a building permit for any lighting on the site, lighting details and a photometric plan shall be provided demonstrating compliance with Chapter 114, Article VI.
6. Prior to the issuance of a building permit that includes fencing, the fencing must be shown to comply with LDC Section 114-13.
7. Prior to issuance of a Certificate of Occupancy for any of the proposed new multifamily dwelling units, all site work must be complete and pass a final inspection, unless a phasing plan is submitted and approved by Planning and the County Biologist at the time of building permit.
8. The scope of work has not been reviewed for compliance with Florida Building Code. Prior to the issuance of Building Permits, new development and structures shall be found

in compliance by the Monroe County Building Department, Floodplain Administrator, and the Office of the Fire Marshal.

- 9. Prior to the issuance of a building permit, all standards and requirements of the American with Disabilities Act (ADA) must be met.
- 10. A minor conditional use permit is not a final approval for certain development. The applicant shall obtain a building permit(s) for any improvement requiring such an approval.

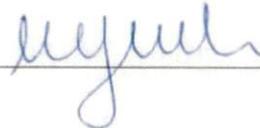
Date 6/14/21

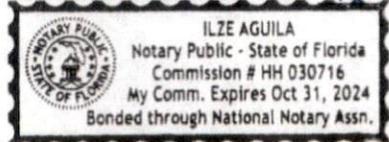


Emily Schemper, AICP, CFM
Senior Director of Planning & Environmental Resources

I HEREBY CERTIFY that on this day before me, an officer duly authorized in the State aforesaid and in the County aforesaid, to take acknowledgments, personally appeared Emily Schemper, to me known to be the person described in and who executed the foregoing instrument and she acknowledged before me that she executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 14th day of June, 2021.





NOTARY PUBLIC, STATE OF FLORIDA

NOTICE

Section 110-73(a) of the Monroe County Land Development Code states that a conditional use approval shall not be transferred to a successive owner without notification to the Planning Director within 60 days of the transfer.

Pursuant to LDC Section 110-73(a)(2), all required building permits and certificates of occupancy shall be procured within three (3) years of the date on which the minor conditional use approval is recorded and filed in the official records of Monroe County, or the minor conditional use approval shall become null and void with no further action required by the County. Approval time frames do not change with successive owners. Extensions of time to a minor conditional use approval may be granted only by the Planning Director for periods not to exceed one (1) year. Applications for extensions shall be made prior to the expiration dates. Extensions to expired minor conditional use approvals shall be accomplished only by re-application for the minor conditional uses. When a hearing officer has ordered a conditional use approval initially denied by the Planning Director, the Planning Director shall nonetheless have the authority to grant or deny a time extension under this section. If the Planning Director denies a time extension, the holder of the conditional use may request an appeal of that decision under LDC Chapter 102, Article VI, Division 2 by filing the notice required by that article within 30 days of the written denial of the Planning Director.

This instrument shall not take effect for 30 days following the date in which the document is signed by the Planning Director. During these 30 days, this instrument shall be subject to appeal as provided in LDC Section 102-185. Such an appeal stays the effectiveness of this instrument until the appeal is resolved by agreement or order. In addition, please be advised that this instrument shall not take effect for 45 days following its rendition to the Florida Department of Economic Opportunity. During these 45 days, the Florida Department of Economic Opportunity may appeal this instrument. Such an appeal stays the effectiveness of this instrument until the appeal is resolved by agreement or order.

If this development order is appealed under Monroe County Code or by the Florida Department of Economic Opportunity, the above time limits shall be tolled until the appeals are resolved.

APPROVED PLANS
 DEVELOPMENT ORDER: **05-22**
 DATE: **06/14/2021**
 DIRECTOR OF PLANNING

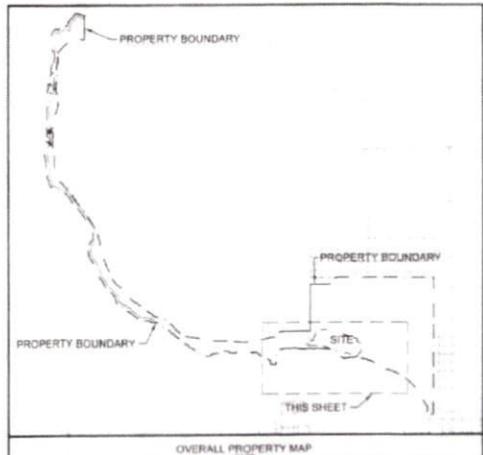
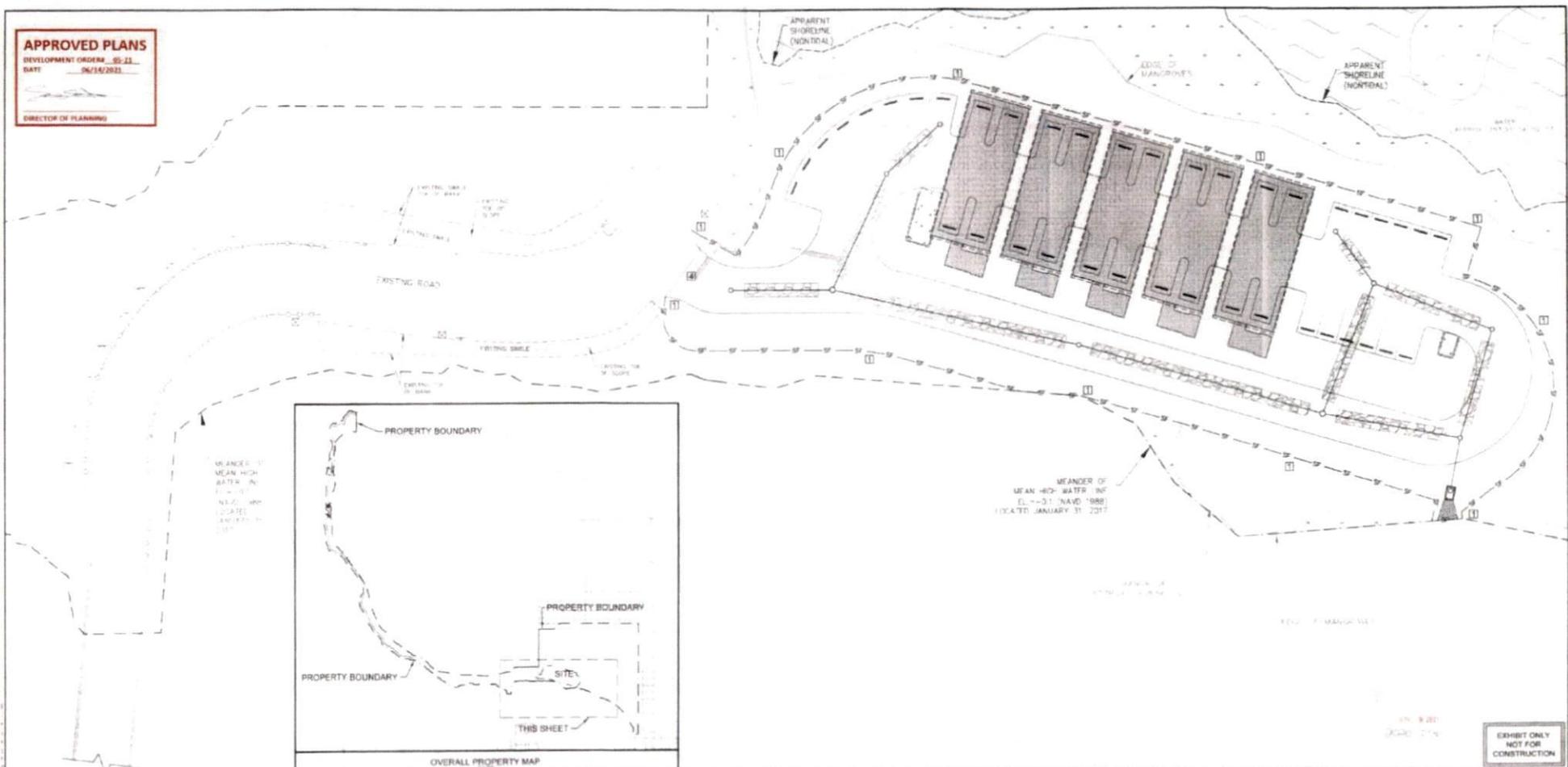


EXHIBIT ONLY
 NOT FOR
 CONSTRUCTION

PROJECT INFORMATION

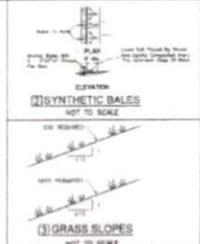
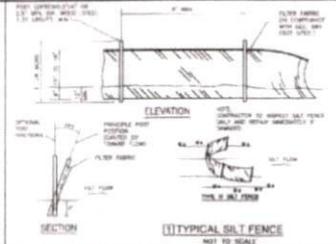
PROJECT: SEABOARD PROJECT
 SHEET DEVELOPER: SEABOARD PROJECT
 DATE: 06/14/2021
 CITY: MARION COUNTY
 COUNTY: MARION COUNTY
 PROJECT TO BE CONSTRUCTED IN: PHASE 1

PROPOSED INSTALLATION

PARKING REQUIRED: 2 SPACES PER CAR + 1 ON 8 METROW DET. 20 RESIDENTIAL UNIT + 40 SPACES REQUIRED.
 PAVING FINISHES: ASPHALT PAVING FINISHES + 20 COVERED SPACES + 8 + 4 + 4 + 4 = 20 UNCOVERED SPACES.
 20 + 4 + 4 + 4 = 32 SPACES FINISHED.

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISED PER COUNTY COMMENTS	11-20-20
2	REVISED PER COUNTY COMMENTS	06-20-21
3	REVISED PER COUNTY COMMENTS	06-20-21



DISCLAIMER

THESE PLANS AND SPECIFICATIONS ARE PREPARED BY THE ENGINEER AND CONTRACTOR FOR THE PROJECT AND ARE NOT TO BE USED FOR ANY OTHER PROJECT OR PURPOSE. THE ENGINEER AND CONTRACTOR SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY CAUSED BY THE USE OF THESE PLANS AND SPECIFICATIONS.

LEGEND

- PROPERTY BOUNDARY
- EXISTING MANORVILLE
- EXISTING ROAD (20'-00")
- PROPOSED DRIVE
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED FENCE
- EXISTING UTILITY (20'-00")
- EXISTING UTILITY LOCATION

GRAPHIC SCALE
 (IN FEET)
 0' 10' 20'

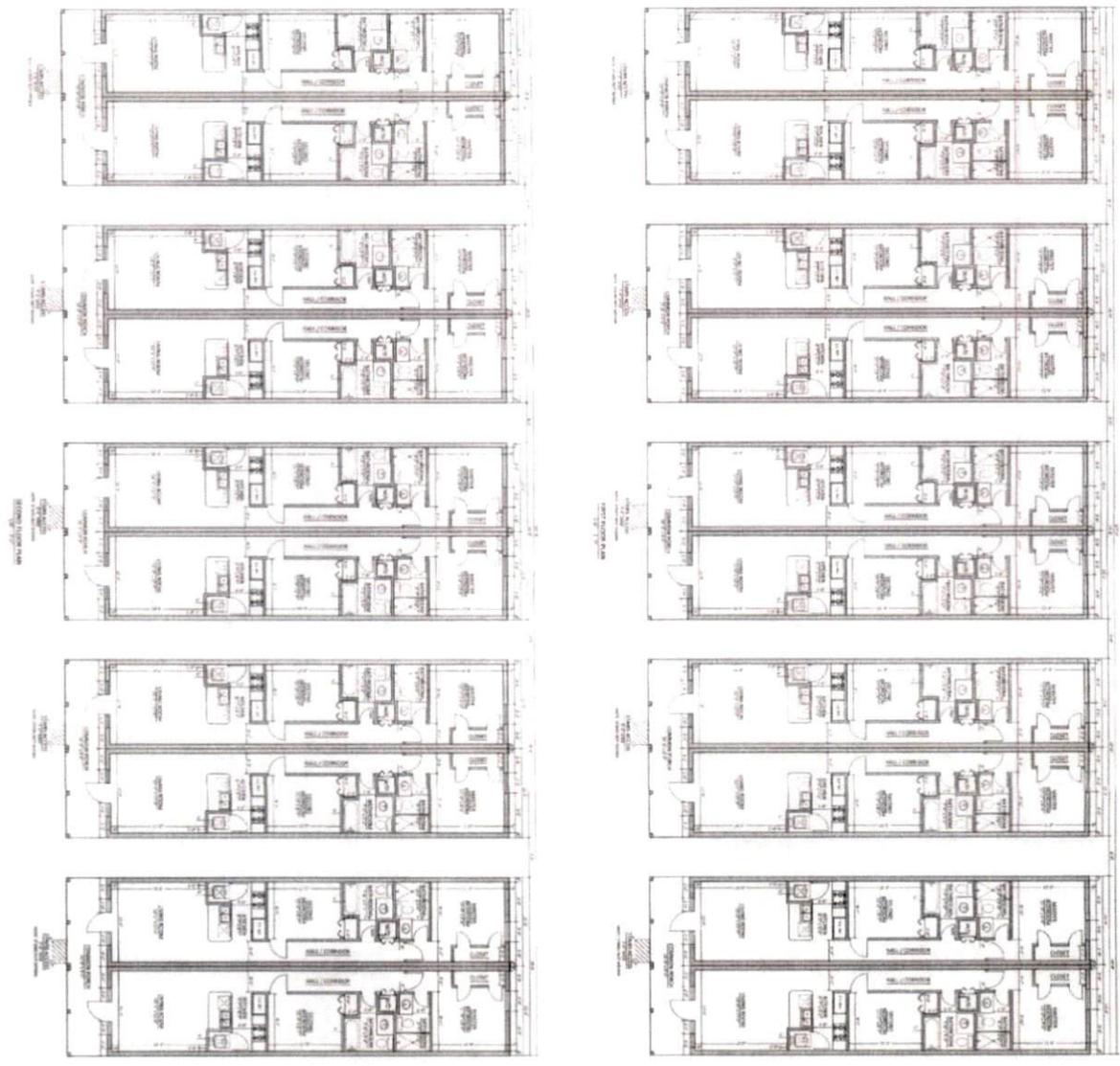
Approved By: **MJD** Design: **JAJ**
 Scale: 1" = 20' Drawn: **JNB**
 Job No: 19010.006 Checked: **JNB**
 Date Issued: 06-04-2021
 Sheet No: C-3.00

WEC
 201 W. MARION AVENUE, SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700

**CONCEPT BMP PLAN
 FOR
 DICKERSON PROJECT
 BIG COPPITT KEY, FLORIDA**



APPROVED PLANS
 DEVELOPMENT ORDER NO. 11
 DATE: 02/22/2011
 DIRECTOR OF PLANNING



RECEIVED
 02/22/2011
 09:20 AM
 2011-02-22

PLANNING & CONSTRUCTION



Description	Revisions

FLOOR PLAN
 for
DICKERSON PROJECT

W. E. C. *of Florida*
WEC *intelligence in engineering*
 201 W. MARION AVE. SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.595.1700

Approved By:	Design:	JMB
Scale: 1/8" = 1'	Drawn:	JMB
Job No: 19010.0008	Checked:	MJS
Date Issued: 02-03-2011		



EXHIBIT ONLY
NOT FOR
CONSTRUCTION

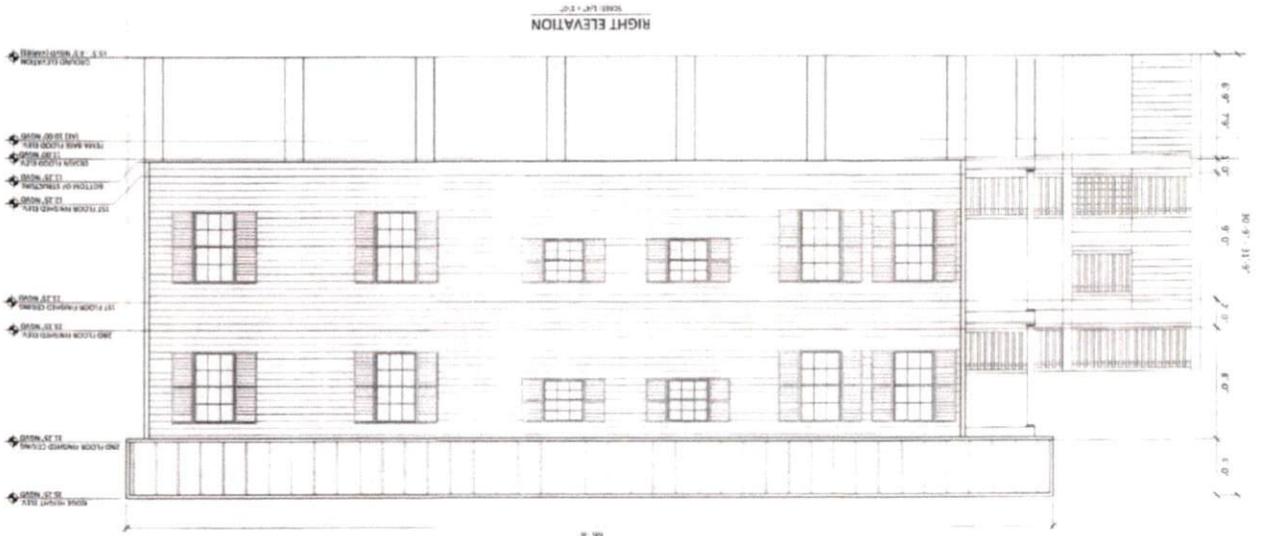
RECEIVED
NO. 43 2021
DATE: 05/11/2021

Project Name	
Client	
Address	
City	
State	
Zip	
Phone	
Fax	
Website	
Architect	
Engineer	
Contractor	

SIDE ELEVATIONS
for
DICKERSON PROJECT

WEC
W.C. Johnson
2011 WASHINGTON AVE, SUITE 1300
PUNTA GORDA, FLORIDA 33950
941.506.1700
FL 45804

Approved By	MJC	Checked	JMB
Date	7/7/21	Scale	1/4" = 1'-0"
Project No.	19010204	Drawn	MJC
Date Issued	07-01-2021	Checked	



APPROVED PLANS

DEVELOPMENT ORDER NO. 05-23

DATE 06/14/2021



DIRECTOR OF PLANNING

MAP OF SPECIFIC PURPOSE SURVEY

RECEIVED
APR 26 2021
2020-056



GRID NORTH

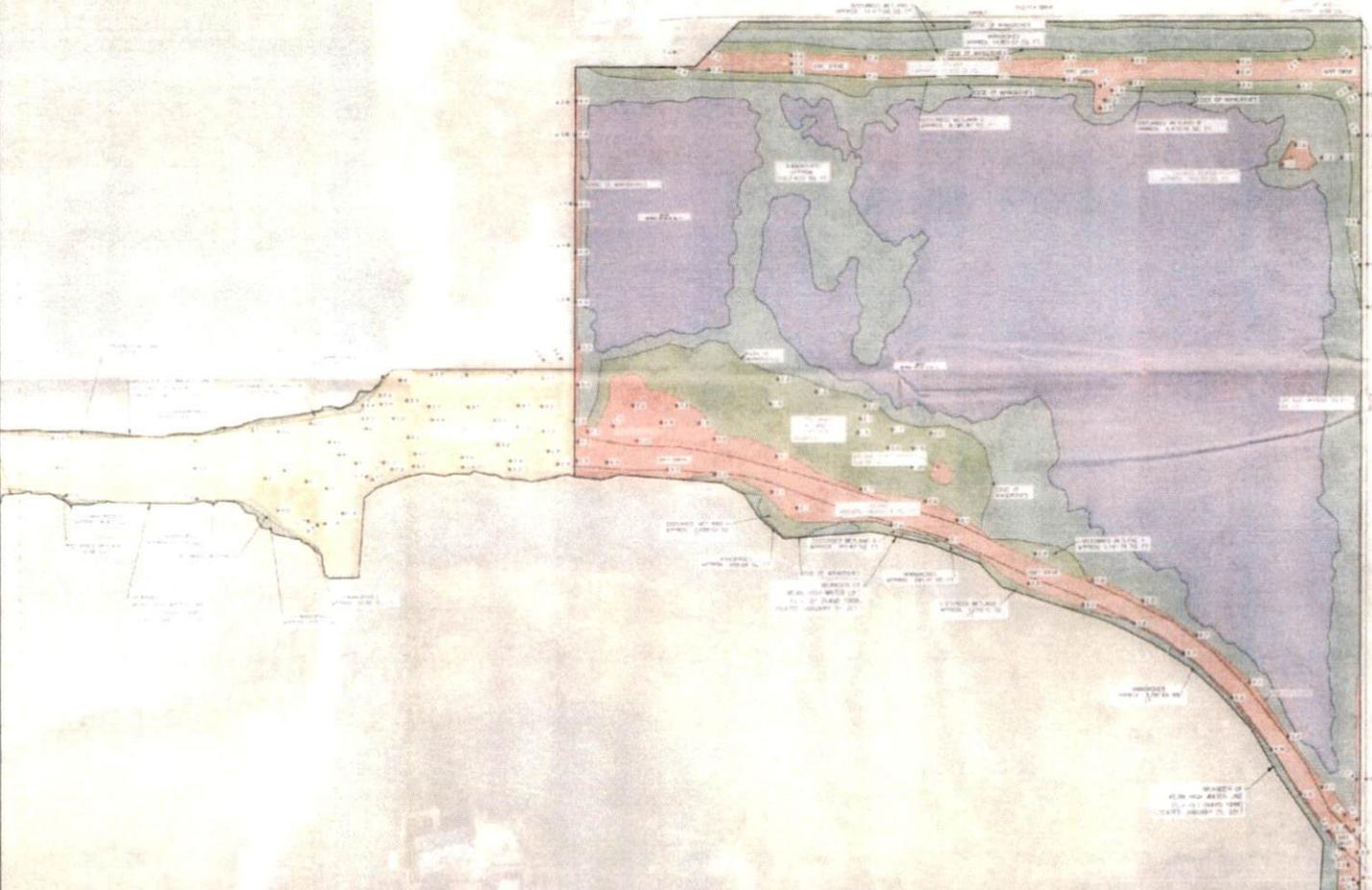


HURRY ORIGINAL SCALE 1" = 40'

TOTAL AREAS

- UPLAND: 67,866 SQFT (1.5 ACRES)
- DISTURBED UPLAND: 16,624 SQFT (0.4 ACRES)
- DISTURBED WETLAND: 17,624 SQFT (0.4 ACRES)
- UNDISTURBED WETLAND: 16,624 SQFT (0.4 ACRES)
- WATER: 206,447 SQFT (4.7 ACRES)
- TOTAL: 335,185 SQFT (7.6 ACRES)**

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MARKS AND DO NOT PURPORT TO SHOW OWNERSHIP



SPECIAL SURVEY SUBMITTAL REPORT

THIS REPORT IS A TECHNICAL REPORT AND DOES NOT CONSTITUTE A GUARANTEE OF ACCURACY OR A WARRANTY OF ANY KIND. THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNLAWFUL ACTS OR VIOLATIONS OF ANY APPLICABLE LAWS OR REGULATIONS. THE SURVEYOR HAS ALSO CONDUCTED A VISUAL INSPECTION OF THE SURROUNDING AREA AND HAS FOUND NO EVIDENCE OF UNLAWFUL ACTS OR VIOLATIONS OF ANY APPLICABLE LAWS OR REGULATIONS.

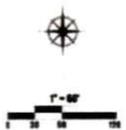
THE SURVEYOR HAS CONDUCTED A VISUAL INSPECTION OF THE PROPERTY AND HAS FOUND NO EVIDENCE OF UNLAWFUL ACTS OR VIOLATIONS OF ANY APPLICABLE LAWS OR REGULATIONS. THE SURVEYOR HAS ALSO CONDUCTED A VISUAL INSPECTION OF THE SURROUNDING AREA AND HAS FOUND NO EVIDENCE OF UNLAWFUL ACTS OR VIOLATIONS OF ANY APPLICABLE LAWS OR REGULATIONS.

FLORIDA KEYS LAND SURVEYING
18000 S.W. 11th Street
Miami, FL 33186
Phone: 305.866.8888
Fax: 305.866.8889
www.fkls.com

APPROVE FOR SURVEY TO CALCULATE PARCEL AREA
DICKERSON GROUP PROPERTY
BIG CAY KEY, MONROE COUNTY, STATE OF FLORIDA

APPROVED PLANS
 DEVELOPMENT ORDER: 2021-01
 DATE: 06/15/2021
 DIRECTOR OF PLANNING

MAP OF SPECIFIC PURPOSE SURVEY



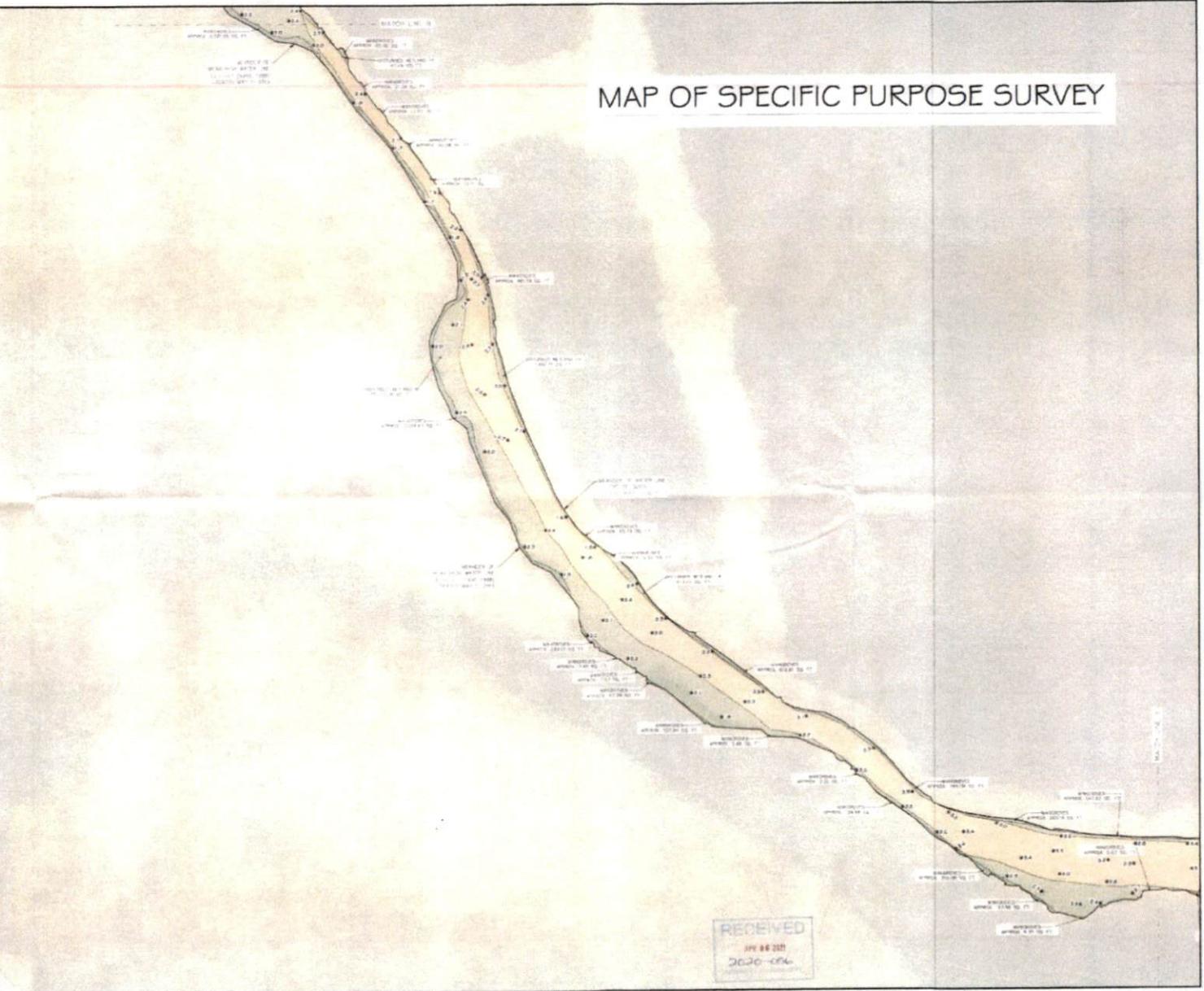
TOTAL AREAS
 UPLAND: 27,264 SQFT (1.8 ACRES)
 DISTURBED UPLAND: 19,827 SQFT (0.7 ACRES)
 DISTURBED WETLAND: 154,528 SQFT (3.5 ACRES)
 MARSHWEDGES: 13,488 SQFT (0.3 ACRES)
 WETLAND: 106,847 SQFT (2.4 ACRES)
 TOTAL: 261,936 SQFT (15.1 ACRES)
 *ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW CONVERSION

NO.	DESCRIPTION	AREA (SQ FT)	AREA (ACRES)
1	UPLAND	27,264	1.8
2	DISTURBED UPLAND	19,827	0.7
3	DISTURBED WETLAND	154,528	3.5
4	MARSHWEDGES	13,488	0.3
5	WETLAND	106,847	2.4
TOTAL		261,936	15.1

FLORIDA KEYS LAND SURVEYING
 TERRY J. DANIELS, SURVEYOR
 10000 SW 11th St, Suite 100
 Palm Beach Gardens, FL 33418
 Phone: 561-955-1111
 Fax: 561-955-1112

SPECIFIC PURPOSE SURVEY TO CALCULATE HABITAT AREAS
 DICKERSON GROUP PROPERTY
 210 COUNTY RD. MONROE COUNTY, STATE OF FLORIDA

RECEIVED
 JUN 08 2021
 2020-026

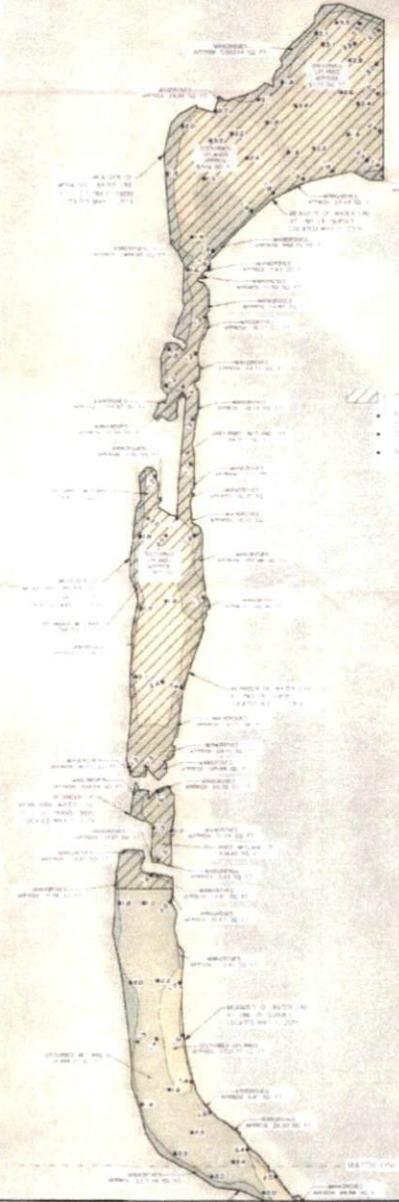


APPROVED PLANS

DEVELOPMENT ORDER: DD-22
DATE: 06/14/2021

[Signature]
DIRECTOR OF PLANNING

MAP OF SPECIFIC PURPOSE SURVEY



- THE ZONED AREAS ARE AS FOLLOWS:**
- TOTAL UPLAND AREAS: 176.1 ACRES
 - TOTAL WETLAND AREAS: 10.6 ACRES
 - TOTAL WATER AREAS: 1.3 ACRES
 - TOTAL SURVEYED AREA: 188.0 ACRES

North arrow pointing up, labeled "TRUE NORTH".

Graphic scale bar: 0, 50, 100 feet.

VERTICAL ORIGINAL SCALE: 1" = 100'

TOTAL AREAS

UPLAND: 176.1 ACRES (176.1 ACRES)
WETLAND: 10.6 ACRES (10.6 ACRES)
WATER: 1.3 ACRES (1.3 ACRES)
TOTAL: 188.0 ACRES (188.0 ACRES)

ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

RECEIVED
JUN 20 2021
2020-056

SURVEY NOTES:

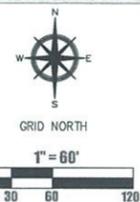
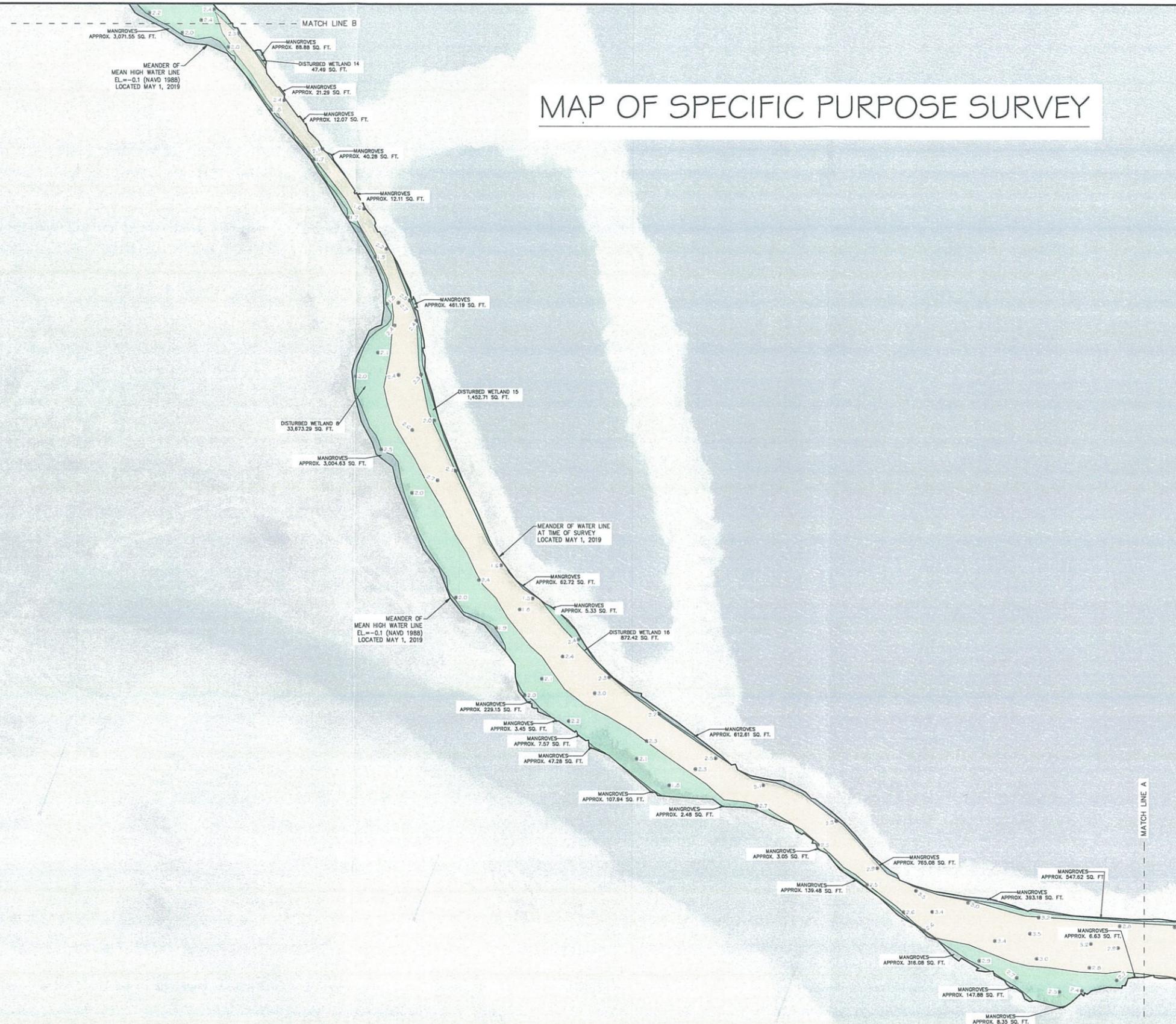
1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
2. THE SURVEY WAS CONDUCTED ON THE DATE OF JUNE 14, 2021.
3. THE SURVEY WAS CONDUCTED BY THE SURVEYOR, [Name], AND THE SURVEYING PARTY.
4. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
5. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
6. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
7. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
8. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
9. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.
10. THE SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE FLORIDA SURVEYING AND MAPPING ACT, CHAPTER 461, F.S.

FLORIDA KEYS LAND SURVEYING
18885 US HIGHWAY 1
PO BOX 1000
FORT PIERCE, FL 34945
TEL: 888-234-2345
WWW.FKLANSURVEYING.COM

SURVEY NOTES TO CALCULATE MARKET AREA
DICKERSON GROUP PROPERTY
BIG COPPIN KEY, MONROE COUNTY, STATE OF FLORIDA

DATE: 06/14/2021	SHEET NO: 100	TOTAL SHEETS: 100
FLORIDA SURVEYING	SCALE: AS SHOWN	DATE: 06/14/2021

MAP OF SPECIFIC PURPOSE SURVEY



*VERIFY ORIGINAL SCALE OF 2"

TOTAL AREAS

UPLAND:	67,984 SQFT ± (1.6 ACRES ±)
DISTURBED UPLAND:	158,075 SQFT ± (3.7 ACRES ±)
DISTURBED WETLAND:	154,534 SQFT ± (3.5 ACRES ±)
MANGROVES:	152,442 SQFT ± (3.5 ACRES ±)
WATER:	298,447 SQFT ± (6.8 ACRES ±)
TOTAL:	831,482 SQFT ± (19.1 ACRES ±)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

SPECIFIC PURPOSE SURVEY DATA REPORT

THIS IS NOT A BOUNDARY SURVEY, ANY BOUNDARY AND/OR RIGHT OF WAY LINES AND/OR DEED LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY, AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECEIVED SURVEY BOUNDARY MONUMENTATION TO SPATIALLY DEFINE THE BOUNDARY LINES AS SHOWN ON A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK, METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE VRS), WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.

NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECORDED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.

NO FIELD OPINION OR ABSTRACT TO THE SUBJECT PROPERTY HAS BEEN PROVIDED, IT IS POSSIBLE THAT THERE ARE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS (RECORDED OR UNRECORDED) WHICH MAY AFFECT THE SUBJECT PROPERTY, NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.

HORIZONTAL COORDINATES AND BEARINGS SHOWN ARE REFERENCED TO GRID NORTH, BASED ON THE 2011 ADJUSTMENT OF THE NORTH AMERICAN DATUM OF 1983 (NAD 83/2011), OF THE FLORIDA STATE PLANE COORDINATE SYSTEM (TRANSVERSE MERCATOR PROJECTION), EAST ZONE (0903).

COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK, METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE VRS), WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NAVD 1988).

BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK; DESIGNATION 872 4458 E TOL, P.L.S. A42609, ELEVATION 18.18' (NAVD 1988).

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1" = 60' OR SMALLER.

THIS MAP OR COPIES OF THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE SURVEY AND MAP REPORT, WHICH REFERENCES THIS DIGITAL FILE.

THIS REPORT OR COPIES OF THIS REPORT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.

THE SIGNING PARTY IS NOT RESPONSIBLE FOR ADDITIONS, DELETION OR MANIPULATION OF THE DATA CONTAINED IN THIS DIGITAL FILE OR SURVEY AND MAP REPORT.

NO UNDERGROUND IMPROVEMENTS WERE LOCATED.

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.1'. THE ELEVATIONS ON IMPERVIOUS SURFACES WERE FIELD MEASURED TO 0.1' AND ON GROUND SURFACES TO 0.1'.

BACKGROUND IMAGE IS A 2018 GEOREFERENCED AERIAL IMAGE OBTAINED FROM THE LAND BOUNDARY INFORMATION SYSTEM WEBSITE (LBINS.ORG).

ALL HABITAT AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAMARK ENVIRONMENTAL SERVICES, INC.

STREET ADDRESS: BARCELONA DRIVE, KEY WEST, FL 33040.

WATERBODIES LIMITS OF MANGROVE VEGETATION WERE DETERMINED FROM SAO GEOREFERENCED AERIAL IMAGE, NO FIELD LOCATION OF THESE LIMITS HAS BEEN COMPLETED.

ALL ADJACENT CALCULATIONS DELINEATED ON THIS SURVEY HAVE BEEN ROUNDED TO THE NEAREST TENTH OF AN ACRE AS PER THE CLIENT'S AND/OR THEIR REPRESENTATIVE'S REQUEST.

REVISION (1) - 04/24/2020 - REVISED TO ADD TOPOGRAPHIC DATA FIELD LOCATED ON 04/15/2020.

REVISION (2) - 06/24/2020 - REVISED TO ADD TOTAL UPLAND AREAS AND TOTAL DISTURBED WETLAND AREAS FOR THE CPA ZONED AREA ONLY.

REVISION (3) - 10/13/2020 - REVISED TO ADD DISTURBED UPLAND AND ADJUST AREAS ACCORDINGLY.

REVISION (4) - 12/17/2020 - REVISED HABITAT AREA CALCULATIONS.

REVISION (5) - 01/18/2021 - REVISED ADJACENT CALCULATIONS.

REVISION (6) - 03/20/2021 - REVISED TO SHOW UPDATED HABITAT AREAS.

SYMBOL LEGEND:

<p>• X.XXm SPOT GRADE ELEVATION (TYPICAL)</p>	<p>NOTE: DIMENSIONS BETWEEN THE SURFACE ARE NOT SHOWN, MEASURED DIMENSIONS EQUAL, UNLESS OTHERWISE SPECIFIED. THESE ARE THE DIMENSIONS THAT MAY BE FOUND ON THIS SHEET.</p> <p>SYMBOLS AND MEANINGS:</p> <p>• X.XXm SPOT GRADE ELEVATION (TYPICAL)</p> <p>• MEANDER OF MEAN HIGH WATER LINE</p> <p>• MEANDER OF MEAN HIGH WATER LINE AT TIME OF SURVEY</p> <p>• MEANDER OF MEAN HIGH WATER LINE LOCATED MAY 1, 2019</p> <p>• DISTURBED WETLAND</p> <p>• MANGROVES</p> <p>• UPLAND</p> <p>• MEANDER OF MEAN HIGH WATER LINE</p> <p>• MEANDER OF MEAN HIGH WATER LINE AT TIME OF SURVEY</p> <p>• MEANDER OF MEAN HIGH WATER LINE LOCATED MAY 1, 2019</p> <p>• DISTURBED WETLAND</p> <p>• MANGROVES</p> <p>• UPLAND</p>
---	--

NOTE: LEGAL DESCRIPTIONS HAVE BEEN FURNISHED BY THE CLIENT OR HIS/HER REPRESENTATIVE. ADDITIONS OR DELETIONS TO SURVEY MAP OR REPORT BY OTHER THAN THE SIGNING PARTY IS PROHIBITED UNLESS WRITTEN CONSENT OF THE SIGNING PARTY. THE SIGNING PARTY REPRESENTS THE SURVEYOR'S OPINION OF THE BEST LINE. THE MEAN HIGH WATER LINE WAS NOT RETURNED FOR THIS SURVEY; THE APPARENT MEAN HIGH WATER LINE IS SHOWN FOR REFERENCE ONLY.

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND MEETS THE REQUIREMENTS OF SECTION 107, CHAPTER 177, FLORIDA STATUTES, AND I AM A LICENSED SURVEYOR AND MAPPER IN THE STATE OF FLORIDA. I AM NOT PROVIDING ANY GUARANTEE OF ACCURACY OR LIABILITY FOR THIS SURVEY.

DATE: 06/07/2019

PROJECT: DICKERSON - 10K

DATE: 03/30/2021

DRAWN BY: MPB

H. SCALE: 1"=60'

CHECKED BY:

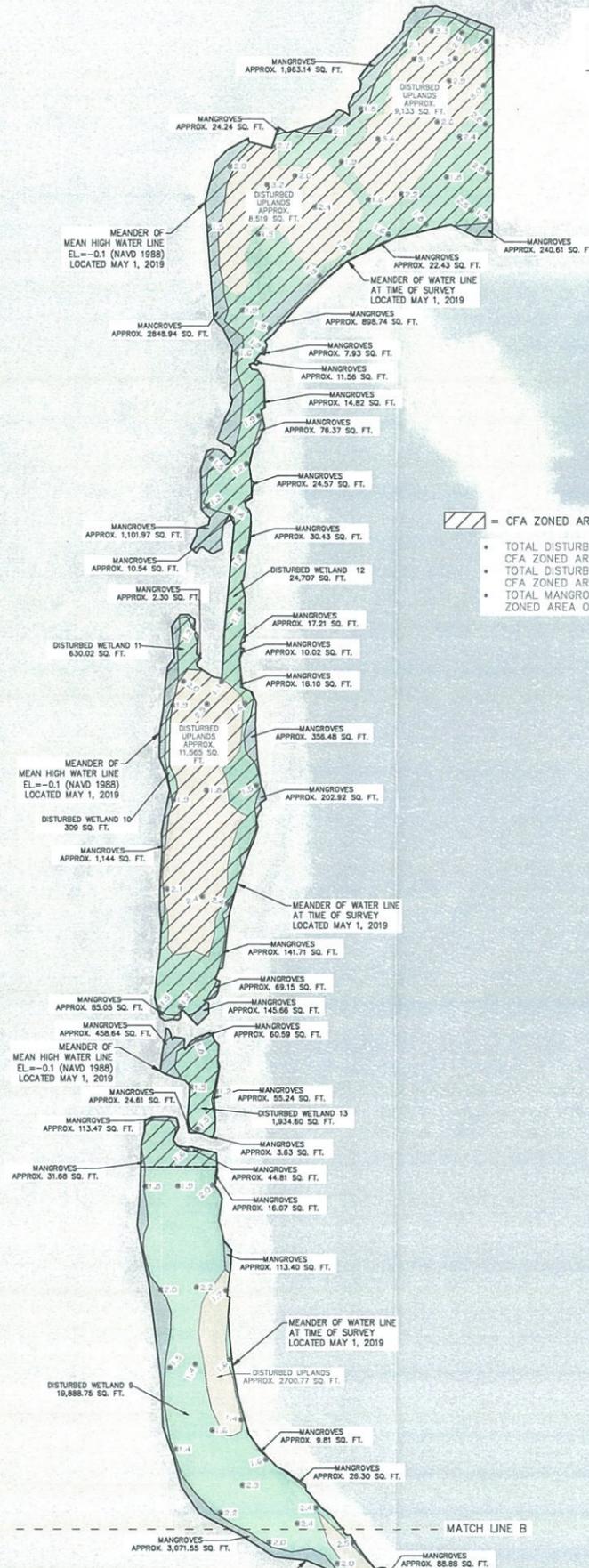
SHEET 2 OF 3

FLORIDA KEYS LAND SURVEYING
 19960 OVERSEAS HIGHWAY
 SUGARLOAF KEY, FL 33042
 PHONE: (305) 394-3690
 EMAIL: FLSL@flkeys.com

SPECIFIC PURPOSE SURVEY TO CALCULATE HABITAT AREAS
DICKERSON GROUP PROPERTY
 BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA

DATE: 06/07/2019 SURVEY BY: EAJ PROJECT: DICKERSON - 10K
 REVISION DATE: 03/30/2021 DRAWN BY: MPB H. SCALE: 1"=60'
 BOOK: CHECKED BY: SHEET 2 OF 3

MAP OF SPECIFIC PURPOSE SURVEY



= CFA ZONED AREAS (1.6 ACRES± TOTAL)
 • TOTAL DISTURBED UPLAND AREAS FOR THE CFA ZONED AREA ONLY = 29,217± SQFT
 • TOTAL DISTURBED WETLAND AREAS FOR THE CFA ZONED AREA ONLY = 29,023± SQFT
 • TOTAL MANGROVE AREAS FOR THE CFA ZONED AREA ONLY = 10,260± SQFT

GRID NORTH
1" = 60'

*VERIFY ORIGINAL SCALE OF 2"

TOTAL AREAS	
UPLAND:	67,984 SQFT± (1.6 ACRES±)
DISTURBED UPLAND:	158,075 SQFT± (3.7 ACRES±)
DISTURBED WETLAND:	154,534 SQFT± (3.5 ACRES±)
MANGROVES:	152,442 SQFT± (3.5 ACRES±)
WATER:	286,447 SQFT± (6.8 ACRES±)
TOTAL:	831,482 SQFT± (19.1 ACRES±)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

SPECIFIC PURPOSE SURVEY DATA REPORT

THIS IS NOT A BOUNDARY SURVEY. ANY BOUNDARY AND/OR RIGHT OF WAY LINES AND/OR DEED LINES SHOWN HEREON ARE FOR REFERENCE PURPOSES ONLY, AND ARE A GRAPHICAL REPRESENTATION OF THE BOUNDARY BASED ON THE RECOVERY OF SUFFICIENT BOUNDARY MONUMENTATION TO SPATIALLY DEFINE THE BOUNDARY LINES AS SHOWN ON A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK, NETWORK WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE TRIS) WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.

COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK, NETWORK WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE TRIS) WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.

ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC SURVEY DATUM OF 1988 (NGVD 1988).

BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATION 872 4458 E TIDAL, P.I.D. A48080, ELEVATION 16.18' (NGVD 1928).

THIS MAP IS INTENDED TO BE DISPLAYED AT A SCALE OF 1"=60' OR SMALLER.

THIS MAP OR COPIES OF THIS MAP IS NEITHER FULL NOR COMPLETE WITHOUT THE SURVEY AND MAP REPORT, WHICH REFERENCES THIS DIGITAL FILE.

THIS REPORT OR COPIES OF THIS REPORT IS NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.

THE SURVEY PARTY IS NOT RESPONSIBLE FOR ADDITIONAL DELETION OR MANIPULATION OF THE DATA CONTAINED IN THIS DIGITAL FILE OR SURVEY AND MAP REPORT.

NO UNDERGROUND IMPROVEMENTS WERE LOCATED.

ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.

WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.1'. THE ELEVATIONS ON IMPROVED SURFACES WERE FIELD MEASURED TO GROUND AND ON GROUND SURFACES TO 0.1'.

BACKGROUND IMAGE IS A 2018 GEOREFERENCED AERIAL IMAGE OBTAINED FROM THE LAND BOUNDARY INFORMATION SYSTEM WEBSITE (LAINIS.ORG).

ALL HABITAT AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAMARK ENVIRONMENTAL SERVICES, INC.

STREET ADDRESS: BARCELONA DRIVE, KEY WEST, FL 33040.

WATERBODIES LIMITS OF MANGROVE VEGETATION WERE DETERMINED FROM SAID GEOREFERENCED AERIAL IMAGE. NO FIELD LOCATION OF THESE LIMITS HAS BEEN COMPLETED.

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SYMBOL LEGEND:

• X.XX = SPOT GRADE ELEVATION (TYPICAL)

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I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY PERSONAL SUPERVISION AND MEETS THE REQUIREMENTS OF SECTION 107.01, F.L.A.S. CHAPTER 475, PART 107.01.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

ERIC A. SUGAR FOR JETTEL PROFESSIONAL SURVEYOR AND MAPPER, LMB 7847

SPECIFIC PURPOSE SURVEY TO CALCULATE HABITAT AREAS

FLORIDA KEYS LAND SURVEYING
 1996B OVERSEAS HIGHWAY
 SUGARLOAF KEY, FL 33042
 PHONE: (305) 394-3690
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DICKERSON GROUP PROPERTY
 BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA

DATE: 06/07/2019	SURVEY BY: EAI	PROJECT: DICKERSON - BOK
REVISION DATE: 03/30/2021	DRAWN BY: MPB	H. SCALE: 1"=60'
BOOK:	CHECKED BY:	SHEET 3 OF 3

Dickerson Housing & Boat Storage

Big Coppitt Key, Florida

TRAFFIC STUDY

prepared for:
Smith Hawks, PL

KBP CONSULTING, INC.

October 2021

Dickerson Housing & Boat Storage

Big Coppitt Key, Florida

Traffic Study

October 2021

Prepared for:
Smith Hawks, PL

Prepared by:
KBP Consulting, Inc.
8400 N. University Drive, Suite 309
Tamarac, Florida 33321
Phone: (954) 560-7103



This item has been electronically signed and sealed by Karl B. Peterson, P.E. on the time and date stamp shown using the digital signature. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

Digitally signed by
Karl B Peterson
DN: c=US,
o=Unaffiliated,
ou=A01410C00000
16B56C6D8E20000
3CD0, cn=Karl B
Peterson
Date: 2021.10.10
16:00:22 -04'00'

Karl B. Peterson, P.E.
Florida Registration Number 49897
KBP Consulting, Inc.
8400 N. University Drive, Suite 309
Tamarac, Florida 33321
Registry 29939

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INTRODUCTION

Dickerson Housing & Boat Storage is a proposed mixed-use development to be located at the north end of Betty Rose Drive on Big Coppitt Key, Monroe County, Florida. The Parcel ID is 00120940-000000 and a project location map is presented in Figure 1 on the following page.

KBP Consulting, Inc. has been retained by Smith Hawks, PL to prepare a traffic impact study for this project in accordance with the Monroe County Traffic Report Guidelines. This study addresses the anticipated trip generation and distribution characteristics of the project, the current and future operating conditions of the surrounding roadway network, and anticipated project traffic impacts along Overseas Highway / US 1 by Mile Marker.



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CONSULTING, INC.

Project Location Map

Figure 1
Dickerson Housing & Boat Storage
Big Coppitt Key, Florida

INVENTORY

Existing Land Use and Access

The subject site is currently vacant / undeveloped and there is no formal vehicular access to the property.

Proposed Land Uses and Access

The proposed development on the site consists of five (5) two-story modular buildings with four (4) residential dwelling units each for a total of 20 dwelling units. In addition, 132 dry rack boat slips are proposed to the west of the residential units. Vehicular access is proposed via Betty Rose Drive located immediately to the west of the subject residences. The preliminary site plan for this development is presented in Appendix A. For the purposes of performing this traffic impact analysis, the project is planned to be completed by the year 2024.

EXISTING CONDITIONS

This section of the report addresses the existing roadway network in the study area and traffic conditions.

Existing Roadway Network

Overseas Highway / US 1 through the study area (i.e. Big Coppitt Key) is, generally, a two-lane principal arterial roadway (one eastbound lane and one westbound lane) with exclusive left-turn and right-turn lanes at primary intersections. In order to assess the traffic impacts of this project on the surrounding roadway network, the project team selected the section of Overseas Highway / US 1 between 1st Street and Calle Uno as the study area for this project. Figure 2 on the following page indicates the existing lane geometry at the following intersections within the project study area:

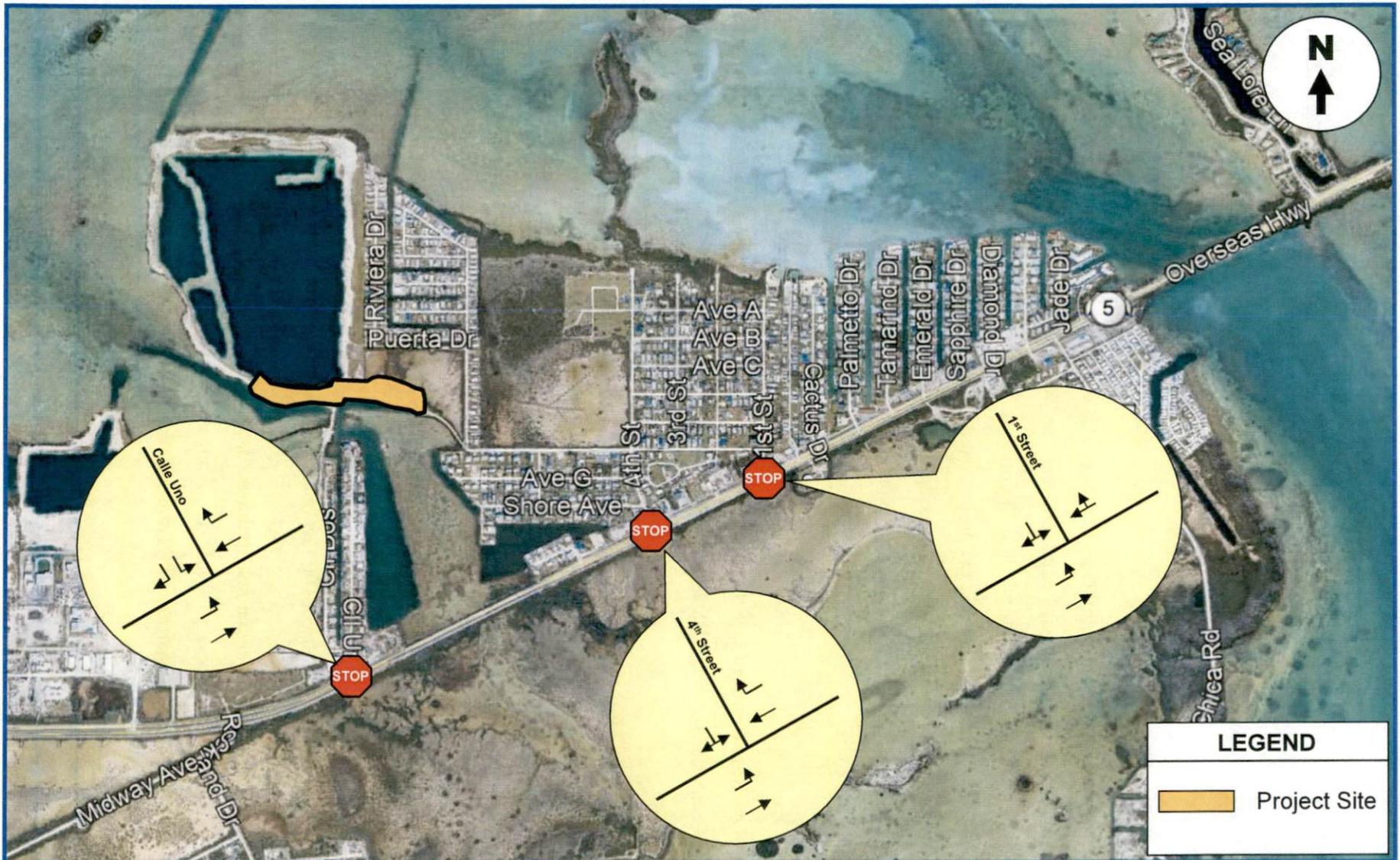
- ❑ Overseas Highway / US 1 and 1st Street (unsignalized)
- ❑ Overseas Highway / US 1 and 4th Street (unsignalized)
- ❑ Overseas Highway / US 1 and Calle Uno (unsignalized)

Existing Traffic Conditions – Roadway Segments

The Florida Department of Transportation (FDOT) maintains the following traffic count stations within the general proximity of the project site:

- ❑ **Station #900010:** SR 5 / US 1 137 feet north of the Rockland Channel Bridge
- ❑ **Station #900050:** CR 941 200 feet south of SR 5 / US 1 (Big Coppitt Key)
- ❑ **Station #900106:** SR 5 / US 1 200 feet north of Shark Channel Bridge
- ❑ **Station #908164:** 4th Street 100 feet north of Shore Avenue

Traffic volumes recorded over the last (published) five (5) year period (2015 – 2019) at these count stations are summarized in Table 1. Appendix B contains the historical traffic data obtained from the Florida Department of Transportation (FDOT).



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Existing Roadway Network

Figure 2
Dickerson Housing & Boat Storage
Big Coppitt Key, Florida

Table 1 Dickerson Housing & Boat Storage Average Annual Daily Traffic (AADT) Big Coppitt Key, Florida				
Year	AADT			
	Station #900010	Station #900050	Station #900106	Station #908164
2019	25,500	2,600	18,600	3,300
2018	24,000	3,000	17,800	3,300
2017	24,000	3,000	16,800	3,300
2016	23,500	3,500	19,400	3,300
2015	22,500	4,200	19,800	3,100

Source: Florida Department of Transportation

Compiled by: KBP Consulting, Inc. (October 2021)

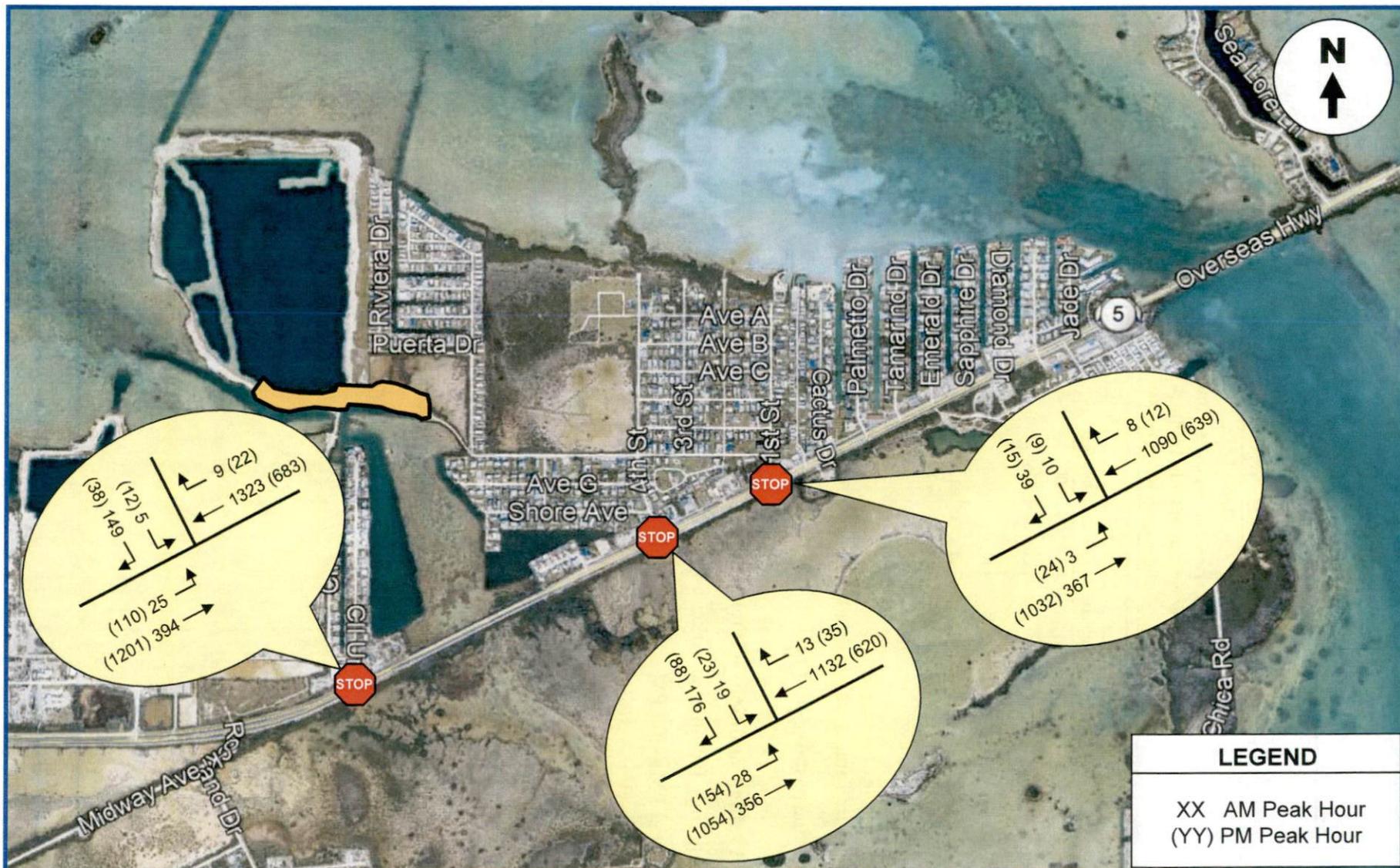
As indicated in Table 1 above, the traffic volumes in the surrounding area have been generally steady over the past five-year period.

Existing Traffic Conditions – Intersections

KBP Consulting, Inc. in association with Video Data Solutions, Inc., collected AM (7:00 AM – 9:00 AM) and PM (4:00 PM – 6:00 PM) peak period turning movement counts at the following intersections:

- ❑ Overseas Highway / US 1 and 1st Street
- ❑ Overseas Highway / US 1 and 4th Street
- ❑ Overseas Highway / US 1 and Calle Uno

Figure 3 summarizes the existing (Year 2021) AM and PM peak hour turning movement counts at these intersections and the traffic count data is presented in Appendix C.



KBP
 CONSULTING, INC.

Existing (Year 2021) Turning Movement Volumes

Source: Video Data Solutions, Inc. September 23, 2021

Figure 3
 Dickerson Housing & Boat Storage
 Big Coppitt Key, Florida

TRIP GENERATION

Consistent with the foregoing description of the proposed development, a trip generation analysis has been conducted utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (11th Edition)*. According to the subject ITE manual, the most appropriate land use categories for this analysis is Land Use #220 – Multifamily Housing (Low-Rise) and Land Use #420 – Marina. The trip generation rates used to determine the vehicle trips associated with this analysis are presented below. Relevant excerpts from the referenced manual are presented in Appendix D.

Multifamily Housing (Low-Rise) – ITE Land Use #220

- | | |
|---|-----------------------------------|
| <input type="checkbox"/> Weekday: | $T = 6.74 (X)$ |
| <input type="checkbox"/> Saturday: | $T = 4.55 (X)$ |
| <input type="checkbox"/> Sunday: | $T = 3.86 (X)$ |
| <input type="checkbox"/> Daily (weighted avg): | $T = 6.02 (X)$ |
| <input type="checkbox"/> AM Peak Hour: | $T = 0.40 (X)$ (24% in / 76% out) |
| <input type="checkbox"/> PM Peak Hour: | $T = 0.51 (X)$ (63% in / 37% out) |

where T = number of trips and X = number of dwelling units

Marina – ITE Land Use #420¹

- | | |
|---|-----------------------------------|
| <input type="checkbox"/> Weekday: | $T = 2.41 (X)$ |
| <input type="checkbox"/> Saturday: | $T = 2.61 (X)$ |
| <input type="checkbox"/> Sunday: | $T = 3.49 (X)$ |
| <input type="checkbox"/> Daily (weighted avg): | $T = 2.59 (X)$ |
| <input type="checkbox"/> AM Peak Hour: | $T = 0.07 (X)$ (33% in / 67% out) |
| <input type="checkbox"/> PM Peak Hour: | $T = 0.21 (X)$ (60% in / 40% out) |

where T = number of trips and X = number of berths

Given the location of the proposed boat storage facility, it is estimated that most of the vehicle trips associated with this use will originate on Big Coppitt Key (i.e. Quarry I & II and Dickerson Housing). To present a conservative analysis, a 50% trip reduction factor has been applied to the trip generation analysis for the dry boat slips. Table 2 on the following page summarizes the trip generation characteristics associated with the proposed Dickerson Housing & Boat Storage development to be located on Big Coppitt Key, Florida.

¹ Based upon research performed by others in the Florida Keys, the trip generation rates for dry boat slips are estimated to be one-half (1/2) of the wet boat slip trip generation rates.

Table 2 Dickerson Housing & Boat Storage Trip Generation Summary Big Coppitt Key, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
Proposed								
Multifamily Housing (Low-Rise) ¹	20 DU	120	2	6	8	6	4	10
Marina - Dry Slips ²	132 Berths	171	2	3	5	8	6	14
- Trip Reduction ³		(86)	(1)	(2)	(3)	(4)	(3)	(7)
Total:		205	3	7	10	10	7	17

Compiled by: KBP Consulting, Inc. (October 2021).

¹ Daily, AM & PM peak hour trip generation rates from the ITE Trip Generation Manual (11th Edition).

² Trip generation data for dry boat slips is estimated to be one-half of the trip generation rates for wet slips as previously documented in Monroe County.

³ A trip reduction of 50% has been applied given that most of the customer base will be derived from the Dickerson Housing and the Quarry I & II residences.

As indicated in Table 2 above, the proposed housing and boat storage development is projected to generate 291 daily vehicle trips, 13 AM peak hour vehicle trips (4 inbound and 9 outbound), and 24 PM peak hour vehicle trips (14 inbound and 10 outbound). When taking into consideration the 50% trip reduction for the marina use (i.e. at least 50% of the patrons of the boat storage facility will be derived from Quarry I & II and the Dickerson Housing sites), the project results in 205 net new daily vehicle trips, ten (10) net new AM peak hour vehicle trips and seventeen (17) net new PM peak hour vehicle trips. With 291 gross daily trips, a “Level 2” traffic impact study is required as per the Monroe County Traffic Report Guidelines Manual.

TRIP DISTRIBUTION

A trip distribution analysis was performed based on the nearby population areas (as documented in the Monroe County Traffic Report Guidelines Manual), the existing transportation network, and the location of the subject project. With the exception of the internalized boat storage trips that will be derived principally from Quarry I & II and Dickerson Housing, all of the project-related trips are anticipated to access Overseas Highway / US 1. Table 3 below summarizes the anticipated trip distribution for the Dickerson Housing & Boat Storage project.

Table 3	
Dickerson Housing & Boat Storage	
Project Trip Distribution	
Big Coppitt Key, Florida	
Direction	Distribution (%)
North	0%
South	0%
East (US 1 North)	35%
West (US 1 South)	65%

Source: KBP Consulting, Inc. (October 2021).

TRAFFIC IMPACT ANALYSES

This section of the report is divided into two parts: 1) link analysis, and 2) Overseas Highway / US 1 impacts by mile marker.

Link Analysis

The link analysis compares the maximum number of reserve trips on Overseas Highway / US 1 through Big Coppitt Key (per Monroe County's Level of Service and Reserve Capacity Table) with the project's traffic impacts. Based upon a 65% / 35% trip distribution, the project will add a maximum of 133 net new daily trips (65% of additional daily trips) to Segment Number 3 (Big Coppitt). According to the latest Monroe County Level of Service and Reserve Capacity database documenting the actual (as of October 7, 2021) remaining roadway capacity along Overseas Highway / US 1, Segment 3 has 815 trips of available reserve capacity. This database includes existing traffic volumes as well as the traffic volumes associated with committed development (i.e. permitted but unbuilt) throughout the Keys. Monroe County's 2021 Level of Service and Reserve Capacity Table and the referenced current traffic volumes database are both presented in Appendix E.

US 1 Impacts by Mile Marker

For this project, it was assumed that the maximum trip length will be approximately 50 miles to the east and 10 miles to the west. The average trip length to the east was assumed to be half of the maximum trip length; or 25 miles. The trip length to the west was assumed to encompass segments 1 and 2 (Boca Chica and Stock Island). Based upon these trip length assumptions, the Overseas Highway / US 1 segments identified in Monroe County's Traffic Report Guidelines, and the traffic distribution discussed previously, an estimate of the number of primary trips by segment on Overseas Highway / US 1 was performed. Table 4 summarizes the number of primary trips by segment on Overseas Highway / US 1 (Arterial Trip Assignment). As indicated in this table, this project will add approximately 205 net new daily vehicle trips.

Table 4
Dickerson Housing & Boat Storage
Arterial Trip Assignment Summary (Overseas Highway / US 1)
Big Coppitt Key, Florida

Project:	Dickerson Housing & Boat Storage	US 1	Mile Marker: 9.5
Location:	Big Coppitt Key	ITE	Land Use
		Category:	220 & 420
Type of Development:	Residential Apartments Dry Boat Storage	Daily Trip Generation	Rate / Formula: See Page 8
Project Size:	20 Dwelling Units 132 Dry Slips		
Average Trip Length:	25 Miles East / 10 Miles West		

Total Daily Trips	Percent Primary Trips	US 1 Segment Number	Percent Directional Split	% Impact Based On Trip Length	Project Generated Daily Trips	2021 Reserve Capacity
		1	65%	80%	107	2,474
		2	65%	90%	120	5,599
205	100%	3	65% / 35%	100%	133	815
		4	35%	85%	61	3,685
		5	35%	75%	54	9,363
		6	35%	65%	47	2,672
		7	35%	55%	39	1,765
		8	35%	45%	32	2,061
		9	35%	40%	29	2,703
		10	35%	30%	22	4,421
		11	35%	20%	14	7,925
		12	35%	0%	0	3,700

Source: Monroe County.

Compiled by: KBP Consulting, Inc. (October 2021).

SUMMARY & CONCLUSIONS

Based upon the results of the traffic analyses performed for the proposed Dickerson Housing & Boat Storage mixed-use development to be located on Betty Rose Drive, the proposed development will not have an adverse impact on the operating characteristics of Overseas Highway / US 1, nor will it inhibit the safe flow of traffic traveling through Big Coppitt Key. Overseas Highway / US 1 has adequate capacity to accommodate the traffic volumes generated by the project.

APPENDIX A

Dickerson Housing & Boat Storage

Preliminary Site Plan

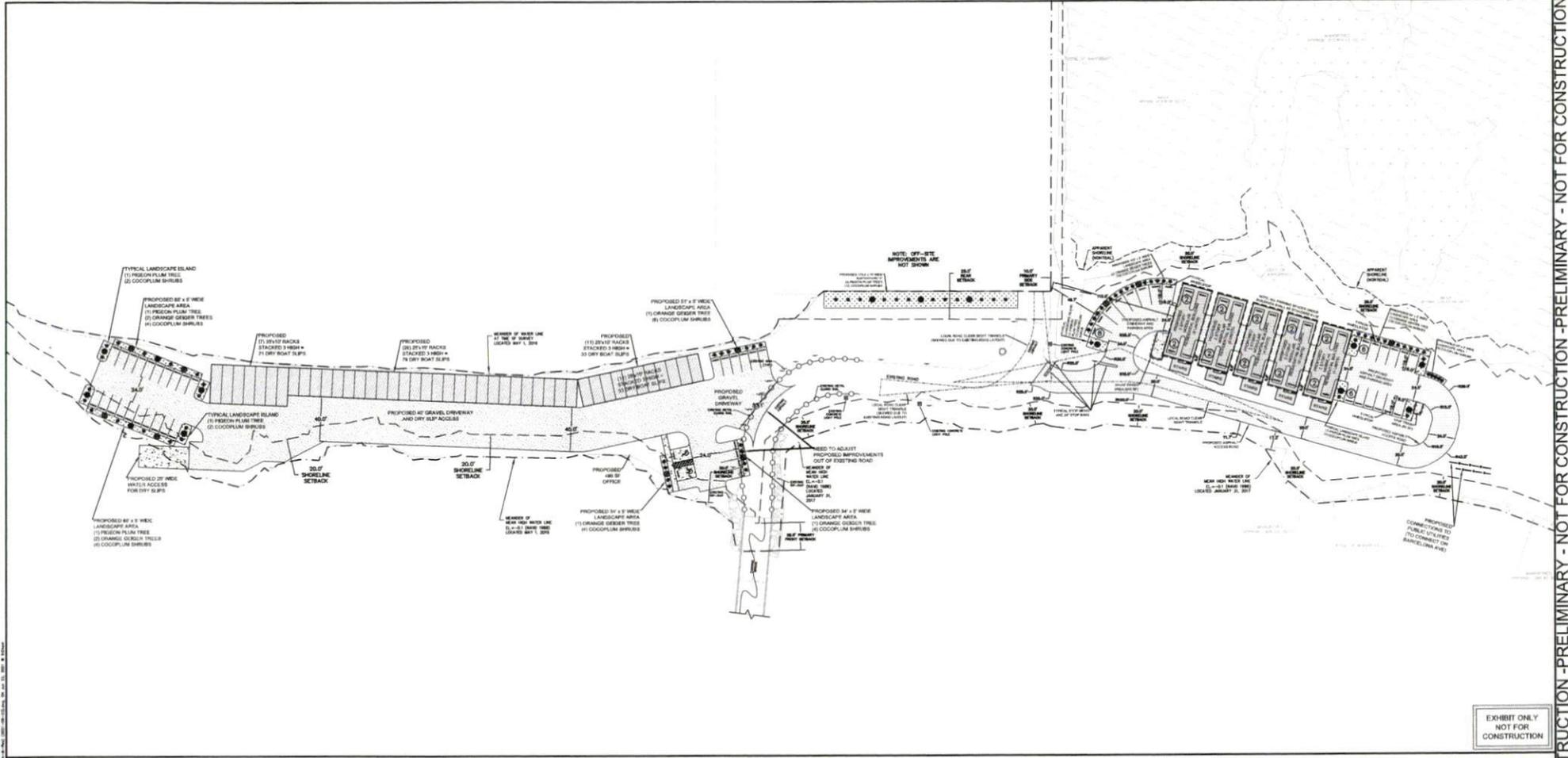


EXHIBIT ONLY
NOT FOR
CONSTRUCTION

PROJECT INFORMATION:
 PROJECT: DICKERSON PROJECT
 VACANT LAND, BIG COPPITT KEY
 OWNER/DEVELOPER: DICKERSON GROUP INC.
 P.O. BOX 2011
 MONROE, NC 28111
 DATE: N.A.V.D. 1988
 OWNER: BIG COPPITT INSTANTWELLY
 P.O. BOX 2011
 FLORIDA KEYS AGRI-CULTURAL AUTHORITY
 ENGINEER: THE WELER ENGINEERING CORPORATION
 MICHAEL J. GIBBELLIS, P.E., REG. NO. 78976
 201 W. MARION AVE., SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 SURVEYOR: FLORIDA KEY LAND SURVEYING (LSB7847)
 ERIC A. RANOLD, FLS 8783
 1980 W. HERMES HEADWAY
 SUGARDAF KEY, FL 33042
 305.394.5089
 PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE
 FLOOD ZONE: HAZARDOUS ZONES ON SITE: "A1", "V1", & "X1" AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP # 220870201W
 COMMUNITY: 120128 (MONROE COUNTY)
 PANEL NUMBER: 1021 (SOUTH 4)
 EFFECTIVE DATE: 16 FEBRUARY 2000
 EXISTING ZONING: INDUSTRIAL (I) & COMMERCIAL FISHING AREA (CFA)
 FUTURE LAND USE: INDUSTRIAL

PROPOSED DWELLING UNITS: 20
PARKING REQUIRED: 2 SPACES PER EACH 1 OR 2 BEDROOM UNIT
 20 RESIDENTIAL UNITS x 2 = 40 SPACES REQUIRED
PARKING PROVIDED: RESIDENTIAL PARKING PROVIDED = 20 COVERED SPACES + 8 x 6 x 8 = 20 UNCOVERED SPACES = 20 + 20 = 40 SPACES PROVIDED
PARKING LOT LANDSCAPING SUMMARY:
 PARKING LOT LANDSCAPING REQUIRED:
 REQUIRED LANDSCAPING PERCENTAGE = 20% OF PARKING AREA
 TOTAL PARKING AREA = 8,307.3 SF
 8,307.3 x 0.2 = 1,661.46 SF OF REQUIRED LANDSCAPING AREA
 4 CANOPY TREES, 3 UNDERSTORY TREES, & 35 SHRUBS
 PARKING LOT LANDSCAPING PROVIDED:
 PARKING LOT LANDSCAPE AREA = 1,787.28 SF
 5 CANOPY TREES = PIGEON PLUM TREE, COCCOLOBAM OVERSIFOLIA, 12.0" HEIGHT
 3 UNDERSTORY TREES = ORANGE CEDAR TREE, CORDIA SEBESTENA, 8.0" HEIGHT
 35 SHRUBS = COCCOLOBAM SHRUB, CHRYSOMELANUS SCOL, 5 GALLON

PROPERTY AREA SUMMARY:

UPLAND AREA	67,864.0 SF	1.6 AC
DISTURBED UPLAND AREA	138,079.0 SF	3.1 AC
DISTURBED WETLAND AREA	154,334.0 SF	3.5 AC
MANOURE AREA	102,442.0 SF	2.3 AC
SUBMERGED AREA	299,447.0 SF	6.8 AC
TOTAL PROPERTY AREA	831,462.0 SF	19.1 AC

NOT COVERAGE SUMMARY:

EXISTING ASPHALT	12,304.9 SF	0.28 AC
PROPOSED MODULAR BUILDINGS	13,229.8 SF	0.31 AC
PROPOSED OPEN SPACES	300.0 SF	0.01 AC
PROPOSED ASPHALT DRIVEWAY AND PARKING	18,711.2 SF	0.43 AC
TOTAL IMPERVIOUS AREA	44,545.9 SF	1.03 AC
TOTAL OPEN SPACE AREA	804,316.1 SF	18.48 AC
TOTAL PROPERTY AREA	848,862.0 SF	19.51 AC

SHORELINE SETBACK SUMMARY:

EXISTING ACCESS ROAD	1,063.4 SF	0.02 AC
PROPOSED ACCESS ROAD	187.0 SF	0.01 AC
TOTAL SHORELINE IMPERVIOUS AREA	1,250.4 SF	0.03 AC
TOTAL SHORELINE OPEN SPACE AREA	105,265.6 SF	2.41 AC
TOTAL SHORELINE PROPERTY AREA	106,516.0 SF	2.44 AC

FRONT SETBACK SUMMARY:

EXISTING ACCESS ROAD	670.0 SF	0.02 AC
TOTAL FRONT SETBACK IMPERVIOUS AREA	670.0 SF	0.02 AC
TOTAL FRONT SETBACK OPEN SPACE AREA	248.2 SF	0.01 AC
TOTAL FRONT SETBACK PROPERTY AREA	918.2 SF	0.02 AC

DENSITY CALCULATIONS:

ZONING	HABITAT CLASSIFICATION	SUM OF AREAS PER SURVEY (SF)	GROSS ACRES UPLAND AREA SF / 43,560 SF	REQUIRED OPEN SPACE (SF)	NET BUILDABLE AREA (SF)	NET BUILDABLE ACRE	MINIMUM DENSITY	MAXIMUM DENSITY
CFA	DISTURBED UPLAND	29,217.0	0.6707	3,843.4	23,373.6	0.5368	12 DU PER BUILDABLE ACRE	6.4390
CFA	DISTURBED WETLAND	29,025.01	0.6663	N/A	N/A	N/A	3 DU PER GROSS ACRE	1.9990
CFA	MANOURE	10,598.66	0.2432	N/A	N/A	N/A	0	0.0
INDUSTRIAL	UPLAND	67,863.98	1.5607	13,596.796	54,267.184	1.2466	2 DU PER BUILDABLE ACRE	2.4371
INDUSTRIAL	DISTURBED UPLAND	128,857.83	2.9582	25,771.568	103,086.264	2.3689	3 DU PER BUILDABLE ACRE	4.7331
INDUSTRIAL	DISTURBED WETLAND	125,432.83	2.8795	25,088.568	100,344.264	2.3036	3 DU PER BUILDABLE ACRE	4.6073
INDUSTRIAL	MANOURE	142,171.08	3.2638	N/A	N/A	N/A	0	0.0
INDUSTRIAL	SUBMERGED LANDS	299,447.72	6.8514	N/A	N/A	N/A	0	0.0
								TOTAL DENSITY: 20.2754

LEGEND

- PROPOSED DWELLING UNITS
- PROPOSED SHORELINE SETBACKS
- EXISTING WETLANDS (D&W)
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED LANDSCAPE AREA
- PROPOSED FENCE
- PARKING ROW COUNT

GRAPHIC SCALE
 1" = 40'
 0 10 20 30 40

APPROVED: MJC Design: JJJ
 Scale: 1" = 40' Drawn: JNB
 Job No: 19010.006 Checked: JNB
 Date Issued: 06-23-2021
 Sheet No: EX-200

PRELIMINARY - NOT FOR CONSTRUCTION
 06-23-2021

**OVERALL CONCEPT SITE PLAN
 FOR
 DICKERSON PROJECT
 BIG COPPITT KEY, FLORIDA**

WELER ENGINEERING CORPORATION
WEC *excellence in engineering*
 201 W. MARION AVENUE, SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700 RB #6656

Revisions	Description	Revisions
1.	REVISED PER COUNTY COMMENTS	11-2020 JNB
2.	REVISED PER COUNTY COMMENTS	05-2021 JNB
3.	REVISED PER COUNTY COMMENTS	06-2021 JNB

APPENDIX B
FDOT Historic Traffic Data

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0010 - SR 5/US-1, 137' N OF ROCKLAND CHANNEL BRIDGE (MM 9.6)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	21200 C	N 9200	S 12000	9.00	54.10	12.40
2019	25500 C	N 12500	S 13000	9.00	54.70	12.40
2018	24000 F	N 12000	S 12000	9.00	55.10	9.40
2017	24000 C	N 12000	S 12000	9.00	53.90	9.10
2016	23500 C	N 12000	S 11500	9.50	54.90	7.60
2015	22500 C	N 11000	S 11500	9.50	54.30	7.20
2014	21000 C	N 10500	S 10500	9.50	55.20	9.20
2013	21000 C	N 10500	S 10500	9.50	54.80	9.30
2012	21500 C	N 11000	S 10500	9.50	55.00	8.60
2011	21000 C	N 10500	S 10500	9.50	55.10	7.20
2010	20500 C	N 10000	S 10500	10.26	56.84	7.20
2009	21500 C	N 10500	S 11000	10.23	56.56	7.20
2008	20000 C	N 10000	S 10000	10.45	54.98	10.90
2007	21500 C	N 11000	S 10500	10.00	55.10	11.30
2006	23500 C	N 11000	S 12500	10.08	55.69	9.80
2005	23000 C	N 11500	S 11500	10.40	55.70	9.30

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0050 - CR 941, 200' S SR 5/US-1 (BIG COPPITT KEY)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	2100 C	N 1100	S 1000	9.00	54.10	4.30
2019	2600 C	N 1300	S 1300	9.00	54.70	3.40
2018	3000 F	N 1400	S 1600	9.00	55.10	9.40
2017	3000 C	N 1400	S 1600	9.00	53.90	9.10
2016	3500 C	N 1700	S 1800	9.00	54.90	7.60
2015	4200 C	N 2300	S 1900	9.00	54.30	7.20
2014	2300 C	N 1200	S 1100	9.00	55.20	9.20
2013	3500 C	N 1800	S 1700	9.00	54.80	7.30
2012	2200 C	N 1100	S 1100	9.00	55.00	8.20
2011	2600 C	N 1300	S 1300	9.00	55.10	8.30
2010	2400 C	N 1200	S 1200	10.26	56.84	10.30
2009	2900 C	N 1600	S 1300	10.23	56.56	8.40
2008	3000 C	N 1600	S 1400	10.45	54.98	8.60
2007	2800 C	N 1600	S 1200	10.00	55.10	9.80
2006	2500 C	N 1400	S 1100	10.08	55.69	12.30
2005	2000 C	N 1000	S 1000	10.40	55.70	6.20

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0106 - SR 5/US-1, 200' N SHARK CHANNEL BRIDG

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2020	13500 C	N 6700	S 6800	9.00	54.10	8.70
2019	18600 C	N 9300	S 9300	9.00	54.70	8.70
2018	17800 C	N 8900	S 8900	9.00	55.10	9.40
2017	16800 C	N 8500	S 8300	9.00	53.90	9.10
2016	19400 C	N 9400	S 10000	9.50	54.90	7.60
2015	19800 C	N 9800	S 10000	9.50	54.30	7.20
2014	18800 C	N 9000	S 9800	9.50	55.20	9.20
2013	18100 C	N 9200	S 8900	9.50	54.80	9.30
2012	17100 C	N 8500	S 8600	9.50	55.00	8.60
2011	17800 C	N 9100	S 8700	9.50	55.10	8.70
2010	17500 C	N 8800	S 8700	10.26	56.84	9.10
2009	20500 C	N 10500	S 10000	10.23	56.56	8.30
2008	15000 C	N 7400	S 7600	10.45	54.98	10.90
2007	20000 C	N 10000	S 10000	10.00	55.10	11.30
2006	17800 C	N 9000	S 8800	10.08	55.69	9.80
2005	17200 C	N 8400	S 8800	10.40	55.70	9.30

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2020 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 8164 - 4TH STREET. 100' NORTH OF SHORE AVE

YEAR	AADT	DIRECTION 1		DIRECTION 2		*K FACTOR	D FACTOR	T FACTOR
----	-----	-----	-----	-----	-----	-----	-----	-----
2020	3100 S	N	1600	S	1500	9.00	54.10	10.30
2019	3300 F	N	1700	S	1600	9.00	54.70	10.00
2018	3300 C	N	1700	S	1600	9.00	55.10	9.40
2017	3300 T	N	1700	S	1600	9.00	53.90	9.10
2016	3300 S	N	1700	S	1600	9.00	54.90	7.60
2015	3100 F	N	1600	S	1500	9.00	54.30	7.20
2014	2900 C	N	1500	S	1400	9.00	55.20	9.20

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE

S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE

V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN

*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

APPENDIX C

Intersection Turning Movement Counts

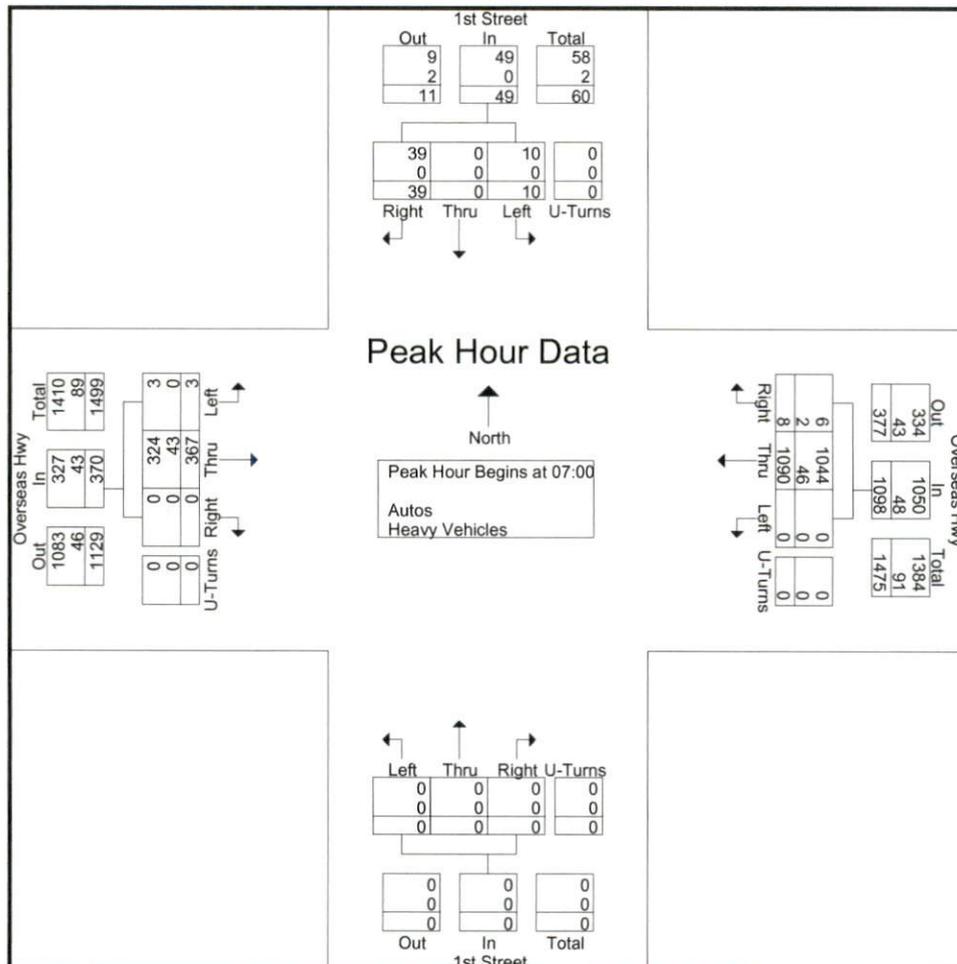
KBP Consulting, Inc.

File Name : 3-1st Street & Overseas Hwy
 Site Code : 00000000
 Start Date : 9/23/2021
 Page No : 1

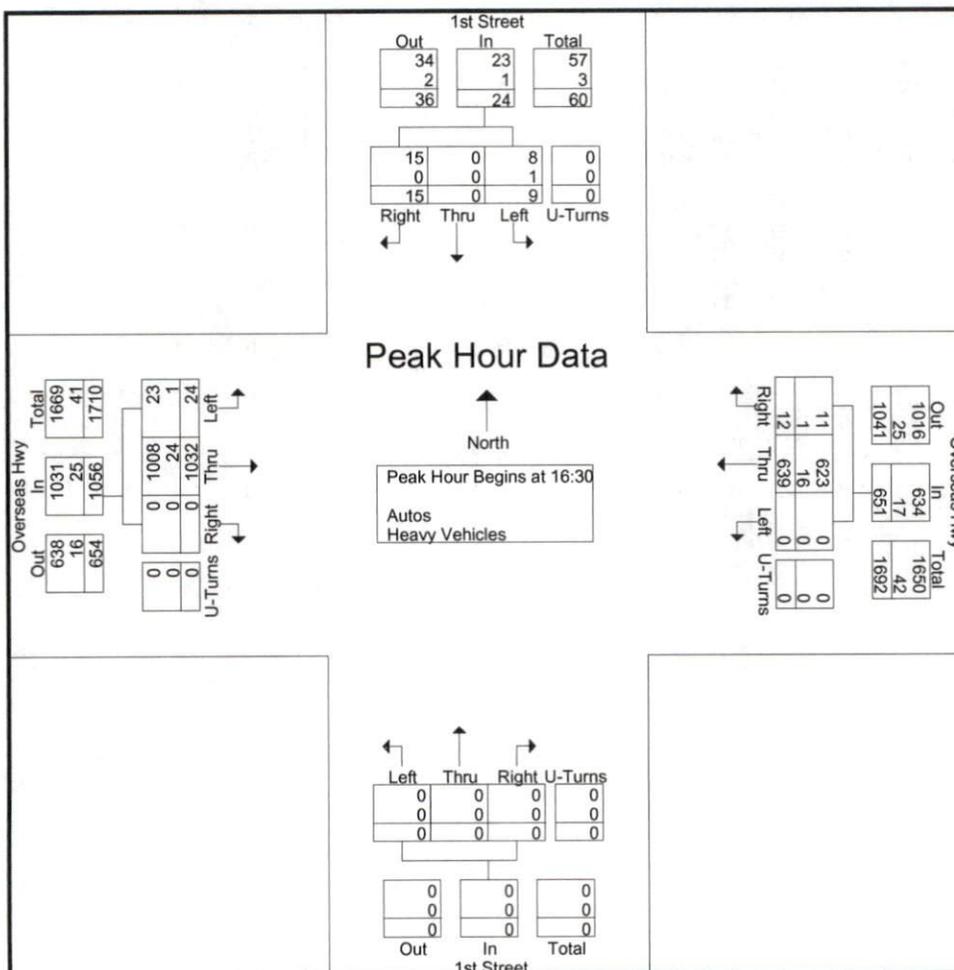
Groups Printed- Autos - Heavy Vehicles

Start Time	1st Street From North					Overseas Hwy From East					1st Street From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
07:00	8	0	3	0	11	1	286	0	0	287	0	0	0	0	0	0	89	1	0	90	388
07:15	13	0	3	0	16	2	261	0	0	263	0	0	0	0	0	0	94	1	0	95	374
07:30	11	0	3	0	14	2	311	0	0	313	0	0	0	0	0	0	108	0	0	108	435
07:45	7	0	1	0	8	3	232	0	0	235	0	0	0	0	0	0	76	1	0	77	320
Total	39	0	10	0	49	8	1090	0	0	1098	0	0	0	0	0	0	367	3	0	370	1517
08:00	9	0	5	0	14	2	194	0	0	196	0	0	0	0	0	0	87	3	0	90	300
08:15	5	0	3	0	8	1	174	0	0	175	0	0	0	0	0	0	111	2	0	113	296
08:30	2	0	2	0	4	1	188	0	0	189	0	0	0	0	0	0	105	2	0	107	300
08:45	4	0	2	0	6	0	205	0	0	205	0	0	0	0	0	0	105	1	0	106	317
Total	20	0	12	0	32	4	761	0	0	765	0	0	0	0	0	0	408	8	0	416	1213
*** BREAK ***																					
16:00	5	0	3	0	8	2	128	0	0	130	0	0	0	0	0	0	232	5	0	237	375
16:15	3	0	5	0	8	2	160	0	0	162	0	0	0	0	0	0	254	5	0	259	429
16:30	3	0	3	0	6	4	174	0	0	178	0	0	0	0	0	0	279	3	0	282	466
16:45	8	0	1	0	9	2	141	0	0	143	0	0	0	0	0	0	260	4	0	264	416
Total	19	0	12	0	31	10	603	0	0	613	0	0	0	0	0	0	1025	17	0	1042	1686
17:00	2	0	1	0	3	2	152	0	0	154	0	0	0	0	0	0	251	8	0	259	416
17:15	2	0	4	0	6	4	172	0	0	176	0	0	0	0	0	0	242	9	0	251	433
17:30	4	0	6	0	10	5	121	0	0	126	0	0	0	0	0	0	233	11	0	244	380
17:45	1	0	2	0	3	3	106	0	0	109	0	0	0	0	0	0	196	5	1	202	314
Total	9	0	13	0	22	14	551	0	0	565	0	0	0	0	0	0	922	33	1	956	1543
Grand Total	87	0	47	0	134	36	3005	0	0	3041	0	0	0	0	0	0	2722	61	1	2784	5959
Approch %	64.9	0	35.1	0		1.2	98.8	0	0		0	0	0	0	0	0	97.8	2.2	0		
Total %	1.5	0	0.8	0	2.2	0.6	50.4	0	0	51	0	0	0	0	0	0	45.7	1	0	46.7	
Autos	87	0	46	0	133	32	2871	0	0	2898	0	0	0	0	0	0	2598	0	0	2598	95.5
% Autos	100	0	97.9	0	99.3	88.9	95.5	0	0	95.5	0	0	0	0	0	0	95.4	95.1	100	95.4	95.5
Heavy Vehicles	0	0	2.1	0	0.7	11.1	4.5	0	0	4.5	0	0	0	0	0	0	4.6	4.9	0	4.6	4.5
% Heavy Vehicles	0	0	2.1	0	0.7	11.1	4.5	0	0	4.5	0	0	0	0	0	0	4.6	4.9	0	4.6	4.5

Start Time	1st Street From North					Overseas Hwy From East					1st Street From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 07:00 to 08:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:00																					
07:00	8	0	3	0	11	1	286	0	0	287	0	0	0	0	0	0	89	1	0	90	388
07:15	13	0	3	0	16	2	261	0	0	263	0	0	0	0	0	0	94	1	0	95	374
07:30	11	0	3	0	14	2	311	0	0	313	0	0	0	0	0	0	108	0	0	108	435
07:45	7	0	1	0	8	3	232	0	0	235	0	0	0	0	0	0	76	1	0	77	320
Total Volume	39	0	10	0	49	8	1090	0	0	1098	0	0	0	0	0	0	367	3	0	370	1517
% App. Total	79.6	0	20.4	0		0.7	99.3	0	0		0	0	0	0	0	0	99.2	0.8	0		
PHF	.750	.000	.833	.000	.766	.667	.876	.000	.000	.877	.000	.000	.000	.000	.000	.000	.850	.750	.000	.856	.872
Autos	39	0	10	0	49	6	1044										88.3	100	0	88.4	94.0
% Autos	100	0	100	0	100	75.0	95.8	0	0	95.6	0	0	0	0	0	0	88.3	100	0	88.4	94.0
Heavy Vehicles																					
% Heavy Vehicles	0	0	0	0	0	25.0	4.2	0	0	4.4	0	0	0	0	0	0	11.7	0	0	11.6	6.0

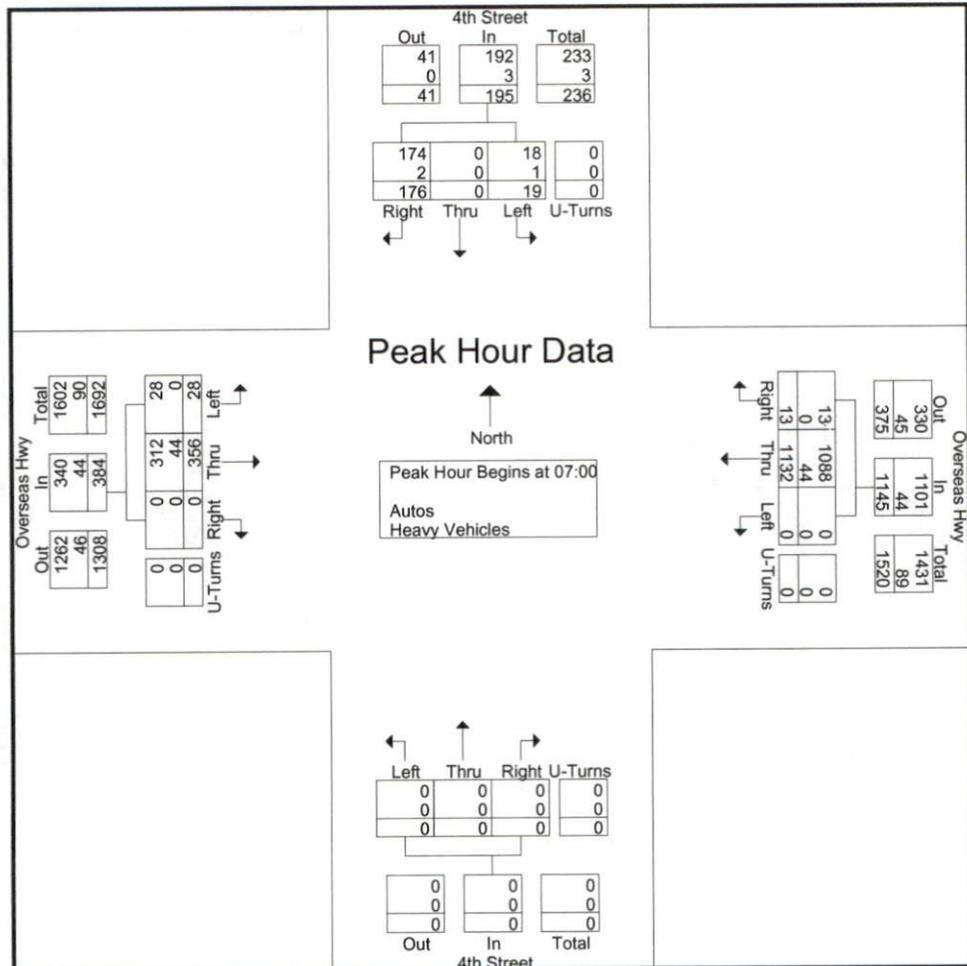


Start Time	1st Street From North					Overseas Hwy From East					1st Street From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 16:00 to 17:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 16:30																					
16:30	3	0	3	0	6	4	174	0	0	178	0	0	0	0	0	0	279	3	0	282	466
16:45	8	0	1	0	9	2	141	0	0	143	0	0	0	0	0	0	260	4	0	264	416
17:00	2	0	1	0	3	2	152	0	0	154	0	0	0	0	0	0	251	8	0	259	416
17:15	2	0	4	0	6	4	172	0	0	176	0	0	0	0	0	0	242	9	0	251	433
Total Volume	15	0	9	0	24	12	639	0	0	651	0	0	0	0	0	0	1032	24	0	1056	1731
% App. Total	62.5	0	37.5	0		1.8	98.2	0	0		0	0	0	0		0	97.7	2.3	0		
PHF	.469	.000	.563	.000	.667	.750	.918	.000	.000	.914	.000	.000	.000	.000	.000	.000	.925	.667	.000	.936	.929
Autos	15	0	8	0	23	11	623	0	0	634	0	0	0	0	0	0	1008				
% Autos	100	0	88.9	0	95.8	91.7	97.5	0	0	97.4	0	0	0	0	0	0	97.7	95.8	0	97.6	97.5
Heavy Vehicles	0	0	11.1	0	4.2	8.3	2.5	0	0	2.6	0	0	0	0	0	0	2.3	4.2	0	2.4	2.5
% Heavy Vehicles	0	0	11.1	0	4.2	8.3	2.5	0	0	2.6	0	0	0	0	0	0	2.3	4.2	0	2.4	2.5

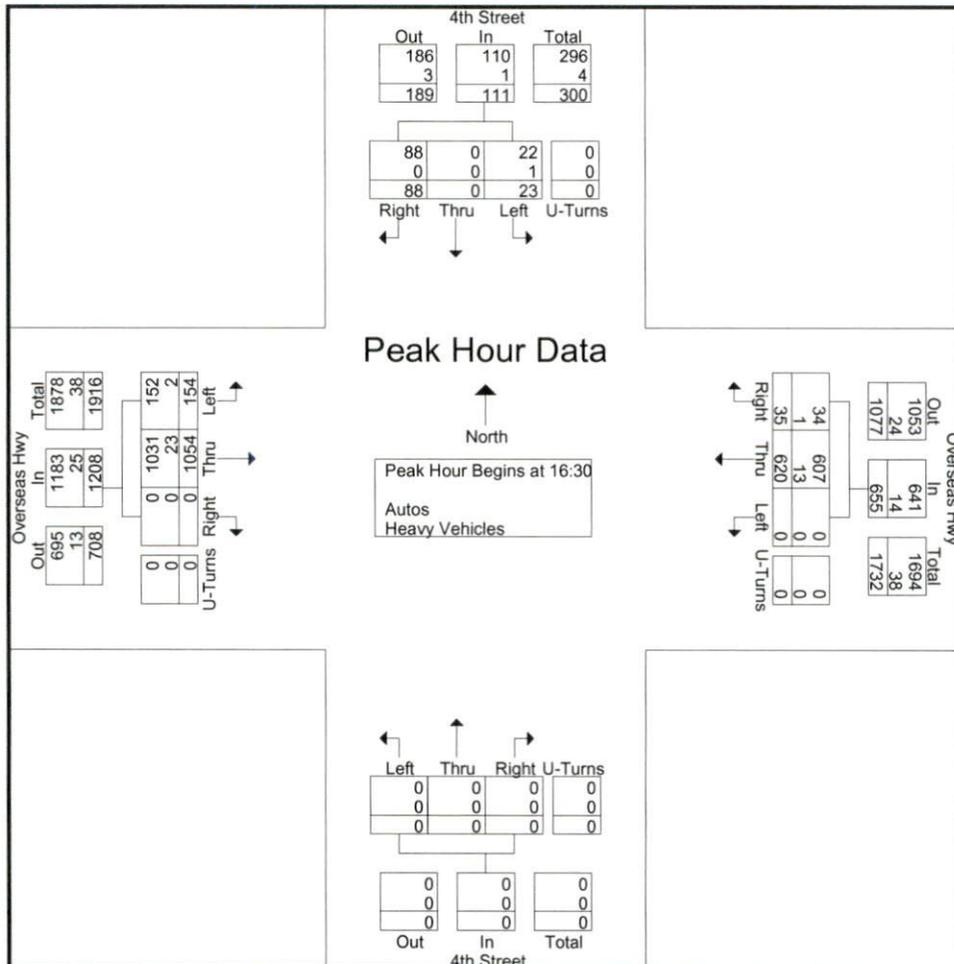


Groups Printed - Autos - Heavy Vehicles																					
Start Time	4th Street From North					Overseas Hwy From East					4th Street From South			Overseas Hwy From West				Int. Total			
	Right	Thru	Left	U-Turn	App. Total	Right	Thru	Left	U-Turn	App. Total	Right	Thru	Left	U-Turn	App. Total	Right	Thru		Left	U-Turn	App. Total
07:00	38	0	4	0	42	5	292	0	0	297	0	0	0	0	0	86	8	0	0	94	433
07:15	55	0	2	0	57	2	273	0	0	275	0	0	0	0	0	105	7	0	0	112	444
07:30	48	0	4	0	52	3	337	0	0	340	0	0	0	0	0	87	2	0	0	89	481
07:45	35	0	9	0	44	3	230	0	0	233	0	0	0	0	0	78	11	0	0	89	366
Total	176	0	19	0	195	13	1132	0	0	1145	0	0	0	0	0	356	28	0	0	384	1724
08:00	44	0	1	0	45	5	219	0	0	224	0	0	0	0	0	91	6	0	0	97	366
08:15	24	0	2	0	26	5	175	0	0	180	0	0	0	0	0	111	12	0	0	123	329
08:30	20	0	0	0	20	4	182	0	0	186	0	0	0	0	0	106	7	0	0	113	319
08:45	18	0	4	0	22	7	205	0	0	212	0	0	0	0	0	99	6	0	0	105	339
Total	106	0	7	0	113	21	781	0	0	802	0	0	0	0	0	407	31	0	0	438	1353
*** BREAK ***																					
16:00	18	0	6	0	24	7	129	0	0	136	0	0	0	0	0	229	30	0	0	259	419
16:15	15	0	4	0	19	2	160	0	0	162	0	0	0	0	0	257	33	0	0	290	471
16:30	16	0	7	0	23	5	174	0	0	179	0	0	0	0	0	273	38	0	0	311	513
16:45	22	0	6	0	28	6	149	0	0	155	0	0	0	0	0	264	36	0	0	300	483
Total	71	0	23	0	94	20	612	0	0	632	0	0	0	0	0	1023	137	0	0	1160	1886
17:00	29	0	4	0	33	12	147	0	0	159	0	0	0	0	0	251	43	0	0	294	486
17:15	21	0	6	0	27	12	150	0	0	162	0	0	0	0	0	266	37	0	0	303	492
17:30	25	0	10	0	35	3	127	0	0	130	0	0	0	0	0	227	45	0	0	272	437
17:45	15	0	4	0	19	7	104	0	0	111	0	0	0	0	0	198	30	0	0	228	358
Total	90	0	24	0	114	34	528	0	0	562	0	0	0	0	0	942	155	0	0	1097	1773
Grand Total	443	0	73	0	516	88	3053	0	0	3141	0	0	0	0	0	2728	351	0	0	3079	6736
Approch %	85.9	0	14.1	0	7.7	2.8	97.2	0	0	46.6	0	0	0	0	0	88.6	11.4	0	0	45.7	
Total %	6.6	0	1.1	0	7.7	1.3	45.3	0	0	46.6	0	0	0	0	0	40.5	5.2	0	0	45.7	
% Autos	436	0	69	0	505	84	2929	0	0	95.9	0	0	0	0	0	2591	95	98.6	0	95.4	95.8
% Heavy Vehicles	98.4	0	94.5	0	97.9	95.5	95.9	0	0	95.9	0	0	0	0	0	95	98.6	0	0	95.4	95.8
Heavy Vehicles	1.6	0	5.5	0	2.1	4.5	4.1	0	0	4.1	0	0	0	0	0	5	1.4	0	0	4.6	4.2

Start Time	4th Street From North					Overseas Hwy From East					4th Street From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 07:00 to 08:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:00																					
07:00	38	0	4	0	42	5	292	0	0	297	0	0	0	0	0	0	86	8	0	94	433
07:15	55	0	2	0	57	2	273	0	0	275	0	0	0	0	0	0	105	7	0	112	444
07:30	48	0	4	0	52	3	337	0	0	340	0	0	0	0	0	0	87	2	0	89	481
07:45	35	0	9	0	44	3	230	0	0	233	0	0	0	0	0	0	78	11	0	89	366
Total Volume	176	0	19	0	195	13	1132	0	0	1145	0	0	0	0	0	0	356	28	0	384	1724
% App. Total	90.3	0	9.7	0		1.1	98.9	0	0		0	0	0	0	0	0	92.7	7.3	0		
PHF	.800	.000	.528	.000	.855	.650	.840	.000	.000	.842	.000	.000	.000	.000	.000	.000	.848	.636	.000	.857	.896
Autos	174	0	18	0	192	13	1088	0	0	1101	0	0	0	0	0	0	356	28	0	384	1724
% Autos	98.9	0	94.7	0	98.5	100	96.1	0	0	96.2	0	0	0	0	0	0	87.6	100	0	88.5	94.7
Heavy Vehicles	1.1	0	5.3	0	1.5	0	3.9	0	0	3.8	0	0	0	0	0	0	12.4	0	0	11.5	5.3
% Heavy Vehicles																					



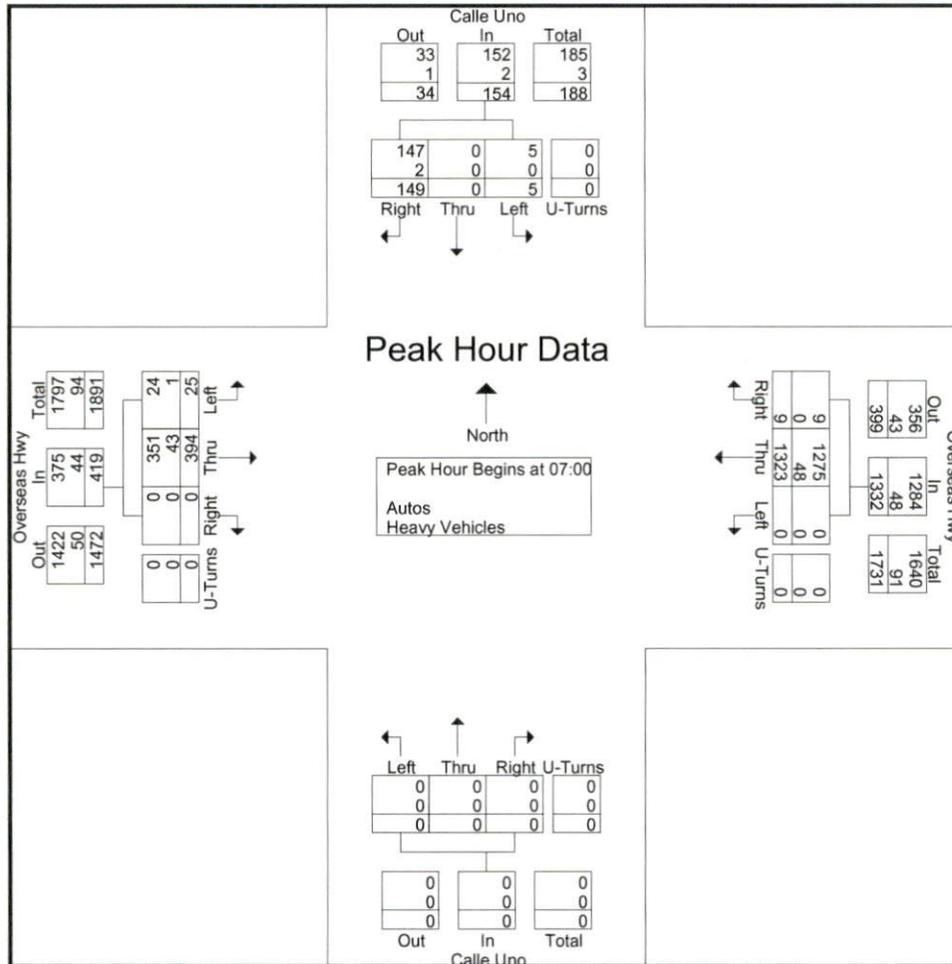
Start Time	4th Street From North					Overseas Hwy From East					4th Street From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 16:00 to 17:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 16:30																					
16:30	16	0	7	0	23	5	174	0	0	179	0	0	0	0	0	0	273	38	0	311	513
16:45	22	0	6	0	28	6	149	0	0	155	0	0	0	0	0	0	264	36	0	300	483
17:00	29	0	4	0	33	12	147	0	0	159	0	0	0	0	0	0	251	43	0	294	486
17:15	21	0	6	0	27	12	150	0	0	162	0	0	0	0	0	0	266	37	0	303	492
Total Volume	88	0	23	0	111	35	620	0	0	655	0	0	0	0	0	0	1054	154	0	1208	1974
% App. Total	79.3	0	20.7	0		5.3	94.7	0	0		0	0	0	0	0	0	87.3	12.7	0		
PHF	.759	.000	.821	.000	.841	.729	.891	.000	.000	.915	.000	.000	.000	.000	.000	.000	.965	.895	.000	.971	.962
Autos	88	0	22	0	110	34	607	0	0	641	0	0	0	0	0	0	1031				
% Autos	100	0	95.7	0	99.1	97.1	97.9	0	0	97.9	0	0	0	0	0	0	97.8	98.7	0	97.9	98.0
Heavy Vehicles																					
% Heavy Vehicles	0	0	4.3	0	0.9	2.9	2.1	0	0	2.1	0	0	0	0	0	0	2.2	1.3	0	2.1	2.0



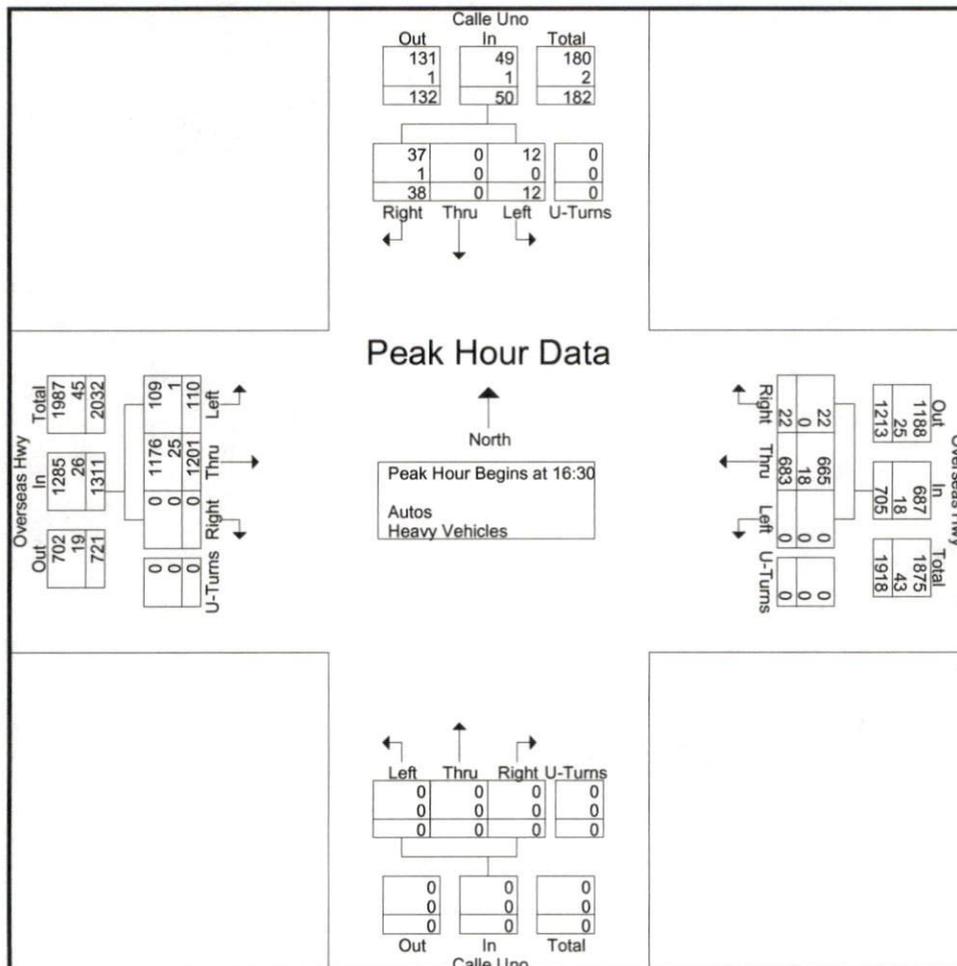
File Name : 1-Calle Uno & Overseas Hwy
 Site Code : 00000000
 Start Date : 9/23/2021
 Page No : 1

Start Time	Groups Printed- Autos - Heavy Vehicles																			
	Calle Uno From North				Overseas Hwy From East				Calle Uno From South				Overseas Hwy From West							
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Int. Total				
07:00	29	0	2	0	31	4	333	0	0	337	0	0	0	0	0	101	3	0	104	472
07:15	51	0	0	0	51	2	321	0	0	323	0	0	0	0	0	97	5	0	102	476
07:30	34	0	1	0	35	2	378	0	0	380	0	0	0	0	0	100	11	0	111	526
07:45	35	0	2	0	37	1	291	0	0	292	0	0	0	0	0	96	6	0	102	431
Total	149	0	5	0	154	9	1323	0	0	1332	0	0	0	0	0	394	25	0	419	1905
08:00	17	0	1	0	18	1	245	0	0	246	0	0	0	0	0	94	12	0	106	370
08:15	9	0	3	0	12	1	217	0	0	218	0	0	0	0	0	117	7	0	124	354
08:30	15	0	6	0	21	1	210	0	0	211	0	0	0	0	0	115	12	0	127	359
08:45	13	0	2	0	15	3	228	0	0	231	0	0	0	0	0	98	6	0	104	350
Total	54	0	12	0	66	6	900	0	0	906	0	0	0	0	0	424	37	0	461	1433
*** BREAK ***																				
16:00	9	0	5	0	14	4	143	0	0	147	0	0	0	0	0	257	10	0	267	428
16:15	15	0	5	0	20	0	175	0	0	175	0	0	0	0	0	288	20	0	308	503
16:30	11	0	3	0	14	8	181	0	0	189	0	0	0	0	0	312	20	0	332	535
16:45	13	0	3	0	16	4	173	0	0	177	0	0	0	0	0	291	24	0	315	508
Total	48	0	16	0	64	16	672	0	0	688	0	0	0	0	0	1148	74	0	1222	1974
17:00	5	0	2	0	7	7	156	0	0	163	0	0	0	0	0	309	35	0	344	514
17:15	9	0	4	0	13	3	173	0	0	176	0	0	0	0	0	289	31	0	320	509
17:30	8	0	4	0	12	4	157	0	0	161	0	0	0	0	0	263	26	0	289	462
17:45	8	0	1	0	9	3	110	0	0	113	0	0	0	0	0	231	10	0	241	363
Total	30	0	11	0	41	17	596	0	0	613	0	0	0	0	0	1092	102	0	1194	1848
Grand Total	281	0	44	0	325	48	3491	0	0	3539	0	0	0	0	0	3058	238	0	3296	7160
Approch %	86.5	0	13.5	0		1.4	98.6	0	0		0	0	0	0	0	92.8	7.2	0		
Total %	3.9	0	0.6	0	4.5	0.7	48.8	0	0	49.4	0	0	0	0	0	42.7	3.3	0	46	
% Autos	274	0	43	0	317	46	3346									²⁹²⁴				
% Heavy Vehicles	97.5	0	97.7	0	97.5	95.8	95.8	0	0	95.8	0	0	0	0	0	95.6	96.6	0	95.7	95.9
% Heavy Vehicles	2.5	0	2.3	0	2.5	4.2	4.2	0	0	4.2	0	0	0	0	0	4.4	3.4	0	4.3	4.1

Start Time	Calle Uno From North					Overseas Hwy From East					Calle Uno From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 07:00 to 08:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 07:00																					
07:00	29	0	2	0	31	4	333	0	0	337	0	0	0	0	0	0	101	3	0	104	472
07:15	51	0	0	0	51	2	321	0	0	323	0	0	0	0	0	0	97	5	0	102	476
07:30	34	0	1	0	35	2	378	0	0	380	0	0	0	0	0	0	100	11	0	111	526
07:45	35	0	2	0	37	1	291	0	0	292	0	0	0	0	0	0	96	6	0	102	431
Total Volume	149	0	5	0	154	9	1323	0	0	1332	0	0	0	0	0	0	394	25	0	419	1905
% App. Total	96.8	0	3.2	0		0.7	99.3	0	0		0	0	0	0		0	94	6	0		
PHF	.730	.000	.625	.000	.755	.563	.875	.000	.000	.876	.000	.000	.000	.000	.000	.000	.975	.568	.000	.944	.905
Autos	147	0	5	0	152	9	1275										89.1	96.0	0	89.5	95.1
% Autos	98.7	0	100	0	98.7	100	96.4	0	0	96.4	0	0	0	0	0	0	89.1	96.0	0	89.5	95.1
Heavy Vehicles																					
% Heavy Vehicles	1.3	0	0	0	1.3	0	3.6	0	0	3.6	0	0	0	0	0	0	10.9	4.0	0	10.5	4.9



Start Time	Calle Uno From North					Overseas Hwy From East					Calle Uno From South					Overseas Hwy From West					Int. Total
	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	Right	Thru	Left	U-Turns	App. Total	
Peak Hour Analysis From 16:00 to 17:45 - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 16:30																					
16:30	11	0	3	0	14	8	181	0	0	189	0	0	0	0	0	0	312	20	0	332	535
16:45	13	0	3	0	16	4	173	0	0	177	0	0	0	0	0	0	291	24	0	315	508
17:00	5	0	2	0	7	7	156	0	0	163	0	0	0	0	0	0	309	35	0	344	514
17:15	9	0	4	0	13	3	173	0	0	176	0	0	0	0	0	0	289	31	0	320	509
Total Volume	38	0	12	0	50	22	683	0	0	705	0	0	0	0	0	0	1201	110	0	1311	2066
% App. Total	76	0	24	0		3.1	96.9	0	0		0	0	0	0		0	91.6	8.4	0		
PHF	.731	.000	.750	.000	.781	.688	.943	.000	.000	.933	.000	.000	.000	.000	.000	.000	.962	.786	.000	.953	.965
Autos	37	0	12	0	49	22	665	0	0	687	0	0	0	0	0	0	1176				
% Autos	97.4	0	100	0	98.0	100	97.4	0	0	97.4	0	0	0	0	0	0	97.9	99.1	0	98.0	97.8
Heavy Vehicles																					
% Heavy Vehicles	2.6	0	0	0	2.0	0	2.6	0	0	2.6	0	0	0	0	0	0	2.1	0.9	0	2.0	2.2



APPENDIX D
ITE Trip Generation Data

Land Use: 220

Multifamily Housing (Low-Rise)

Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have two or three floors (levels). Various configurations fit this description, including walkup apartment, mansion apartment, and stacked townhouse.

- A walkup apartment typically is two or three floors in height with dwelling units that are accessed by a single or multiple entrances with stairways and hallways.
- A mansion apartment is a single structure that contains several apartments within what appears to be a single-family dwelling unit.
- A fourplex is a single two-story structure with two matching dwelling units on the ground and second floors. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.
- A stacked townhouse is designed to match the external appearance of a townhouse. But, unlike a townhouse dwelling unit that only shares walls with an adjoining unit, the stacked townhouse units share both floors and walls. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.

Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), affordable housing (Land Use 223), and off-campus student apartment (low-rise) (Land Use 225) are related land uses.

Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is $\frac{1}{2}$ mile or less.

Additional Data

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip

generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For the three sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.72 residents per occupied dwelling unit.

It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).

The sites were surveyed in the 1980s, the 1990s, the 2000s, the 2010s, and the 2020s in British Columbia (CAN), California, Delaware, Florida, Georgia, Illinois, Indiana, Maine, Maryland, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Texas, Utah, and Washington.

Source Numbers

188, 204, 237, 300, 305, 306, 320, 321, 357, 390, 412, 525, 530, 579, 583, 638, 864, 866, 896, 901, 903, 904, 936, 939, 944, 946, 947, 948, 963, 964, 966, 967, 1012, 1013, 1014, 1036, 1047, 1056, 1071, 1076

Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 22

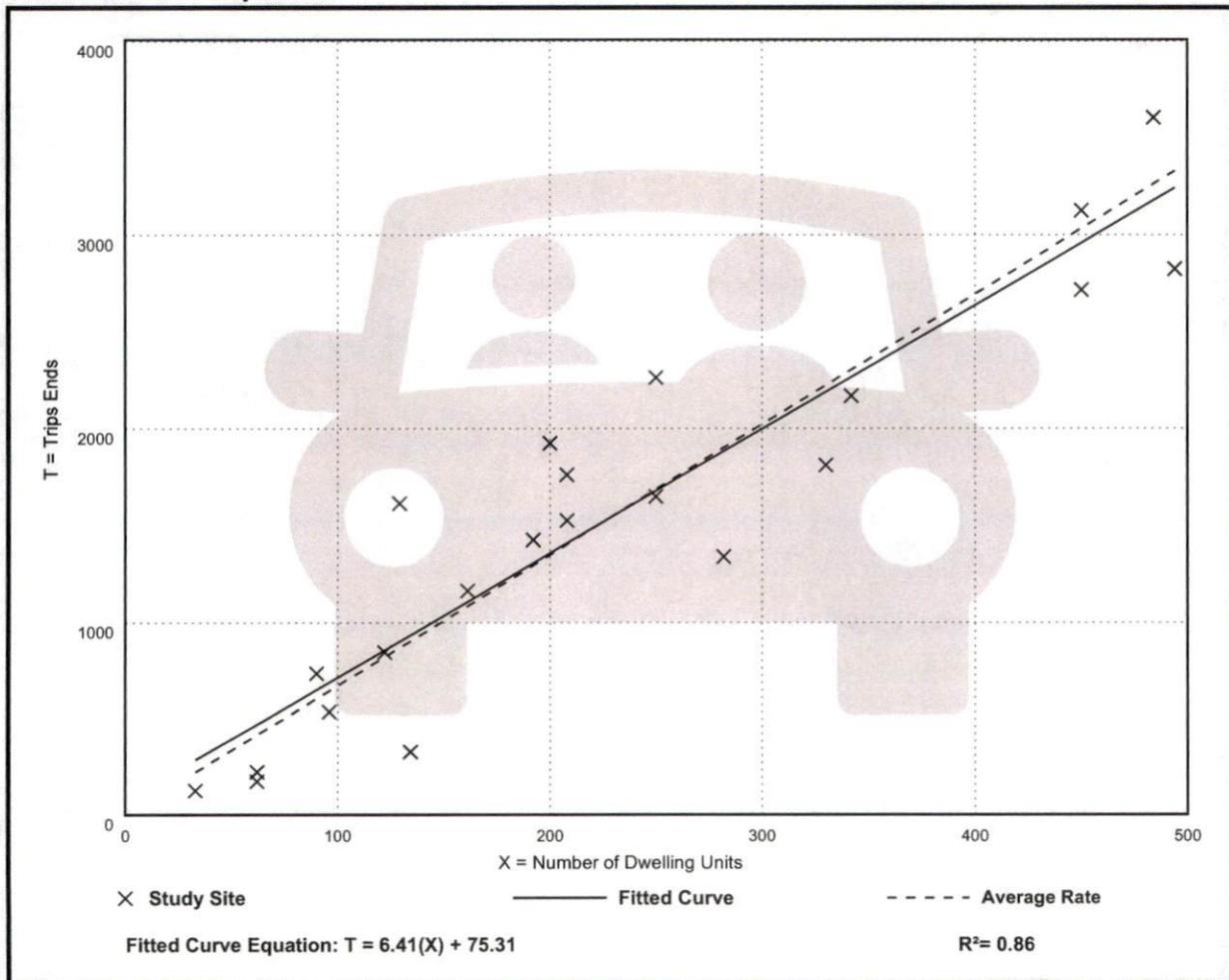
Avg. Num. of Dwelling Units: 229

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.74	2.46 - 12.50	1.79

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 49

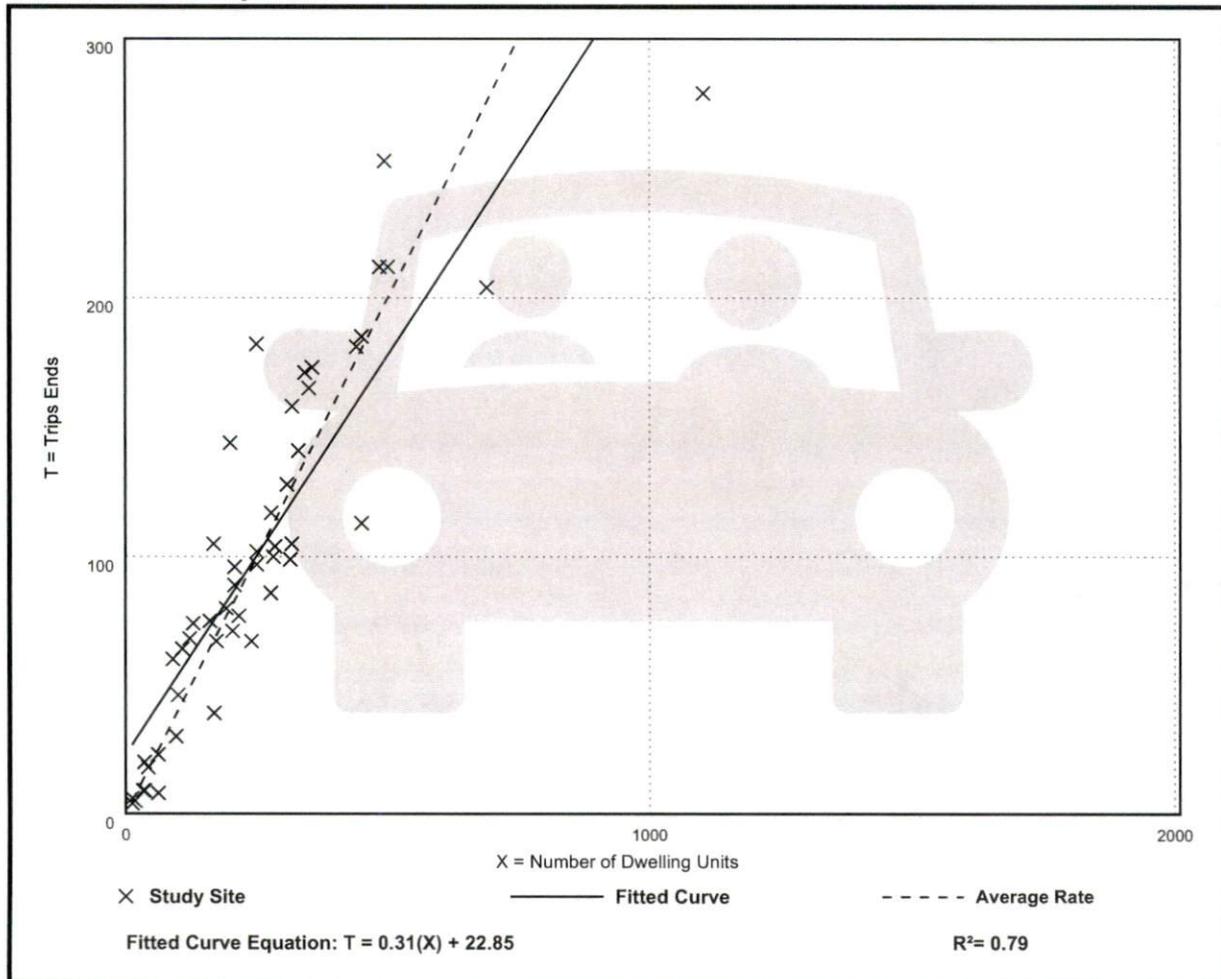
Avg. Num. of Dwelling Units: 249

Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 59

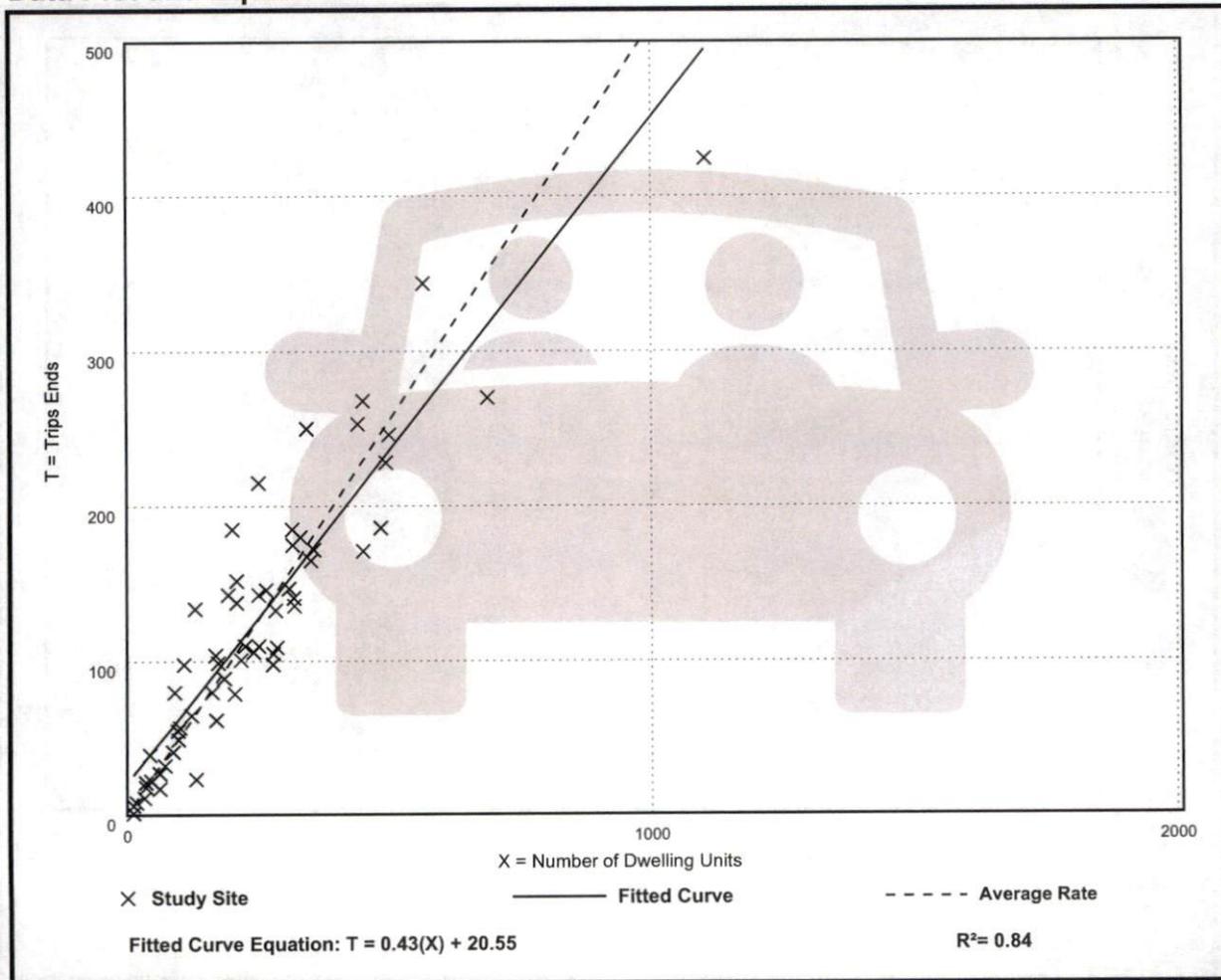
Avg. Num. of Dwelling Units: 241

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Saturday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Dwelling Units: 282

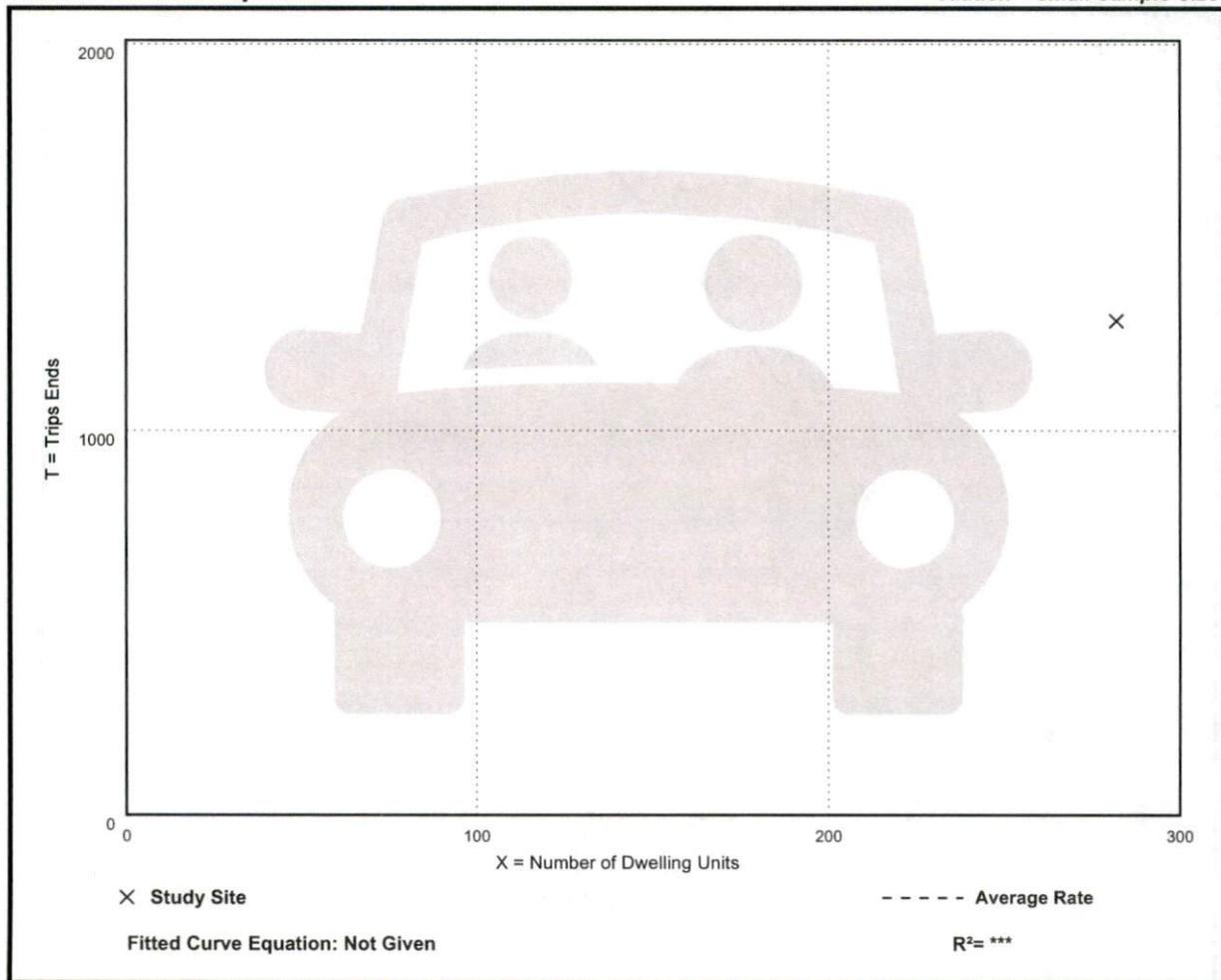
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
4.55	4.55 - 4.55	***

Data Plot and Equation

Caution – Small Sample Size



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Sunday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Dwelling Units: 282

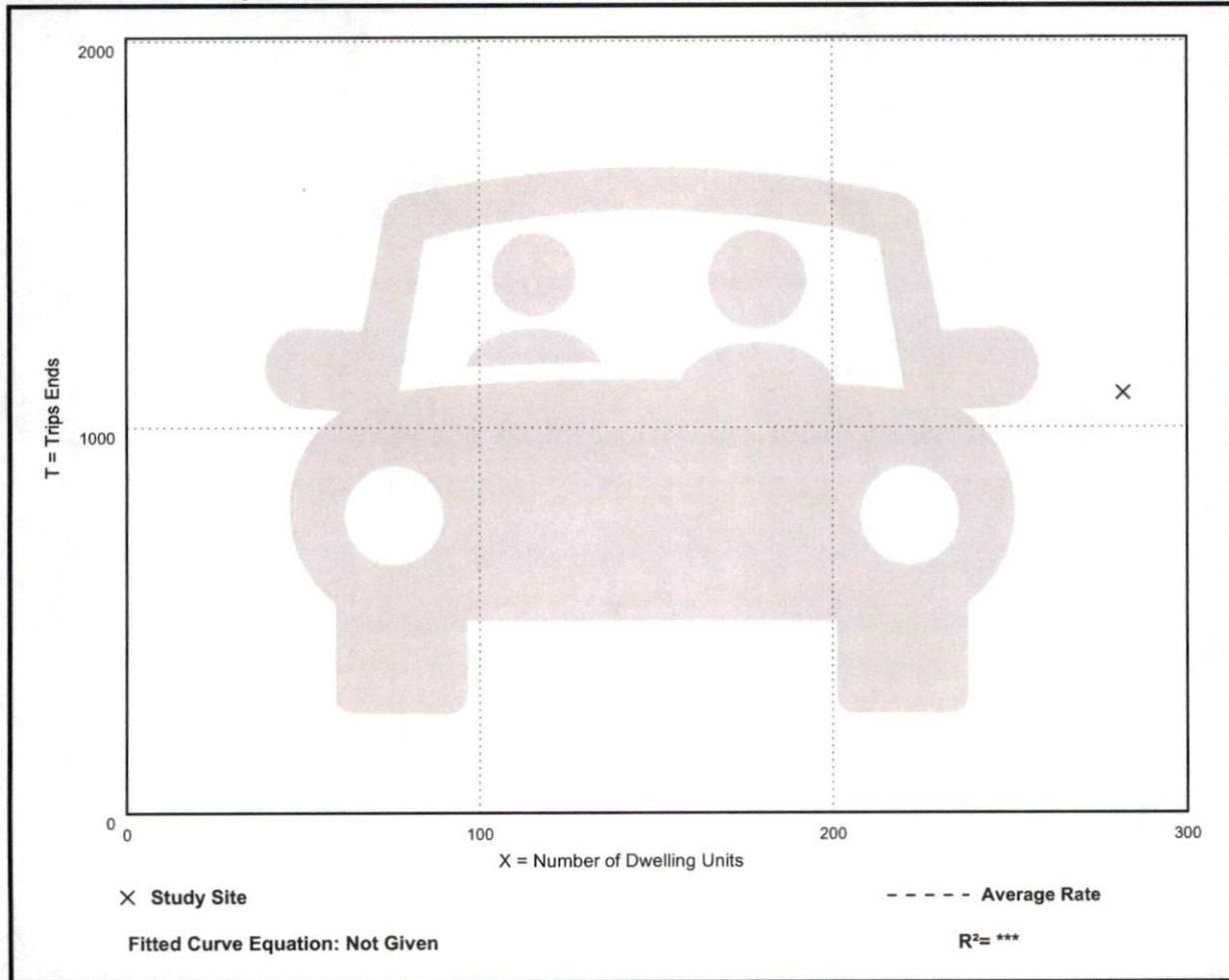
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
3.86	3.86 - 3.86	***

Data Plot and Equation

Caution – Small Sample Size



Land Use: 420 Marina

Description

A marina is a public or private facility that provides docks and berths for boats and may include limited retail and restaurant space.

Additional Data

The sites were surveyed in the 1980s in Connecticut and Washington.

Source Numbers

123, 265

Marina (420)

Vehicle Trip Ends vs: Berths
On a: Weekday

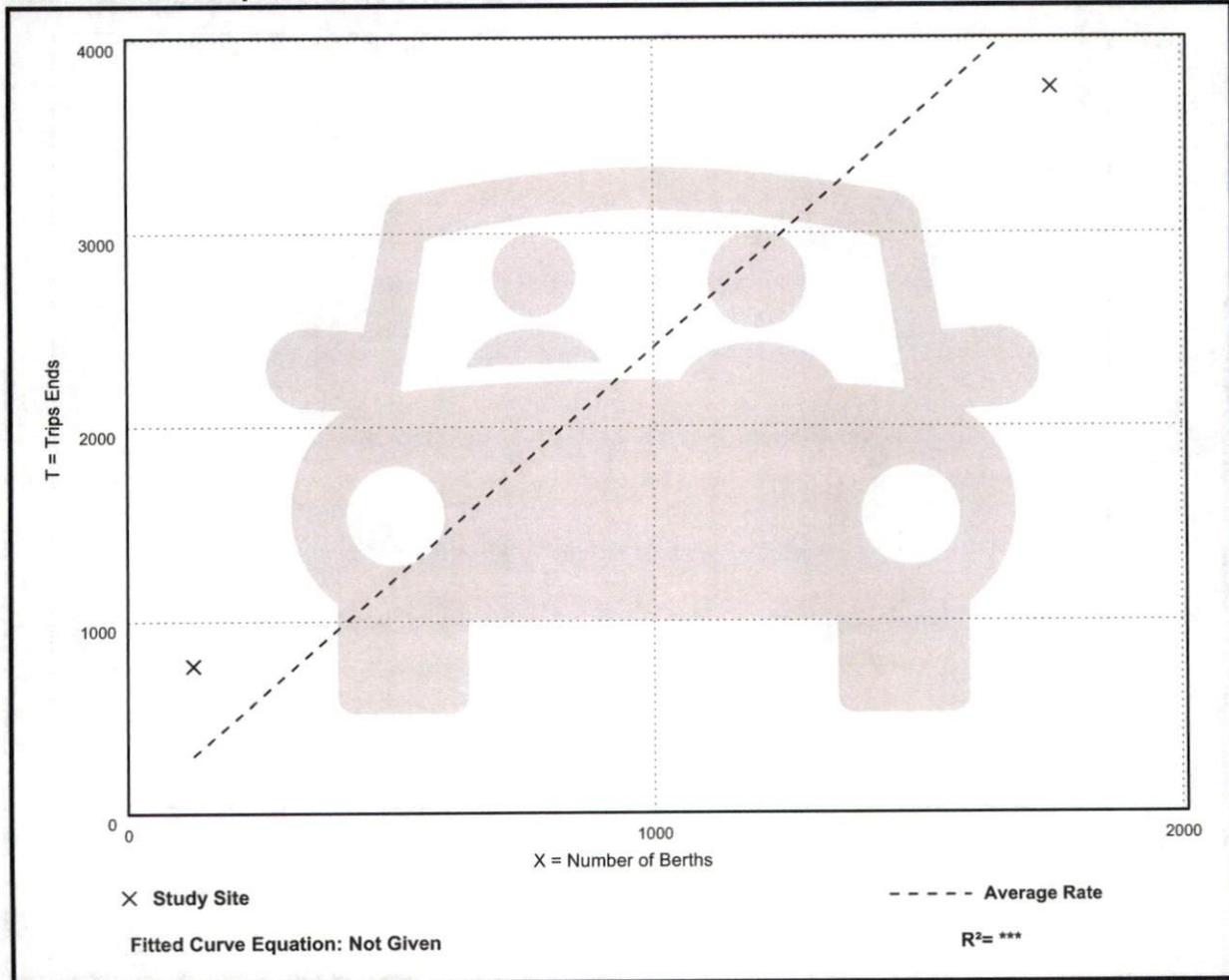
Setting/Location: General Urban/Suburban
Number of Studies: 2
Avg. Num. of Berths: 939
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
2.41	2.14 - 6.21	***

Data Plot and Equation

Caution – Small Sample Size



Marina (420)

Vehicle Trip Ends vs: Berths

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Berths: 300

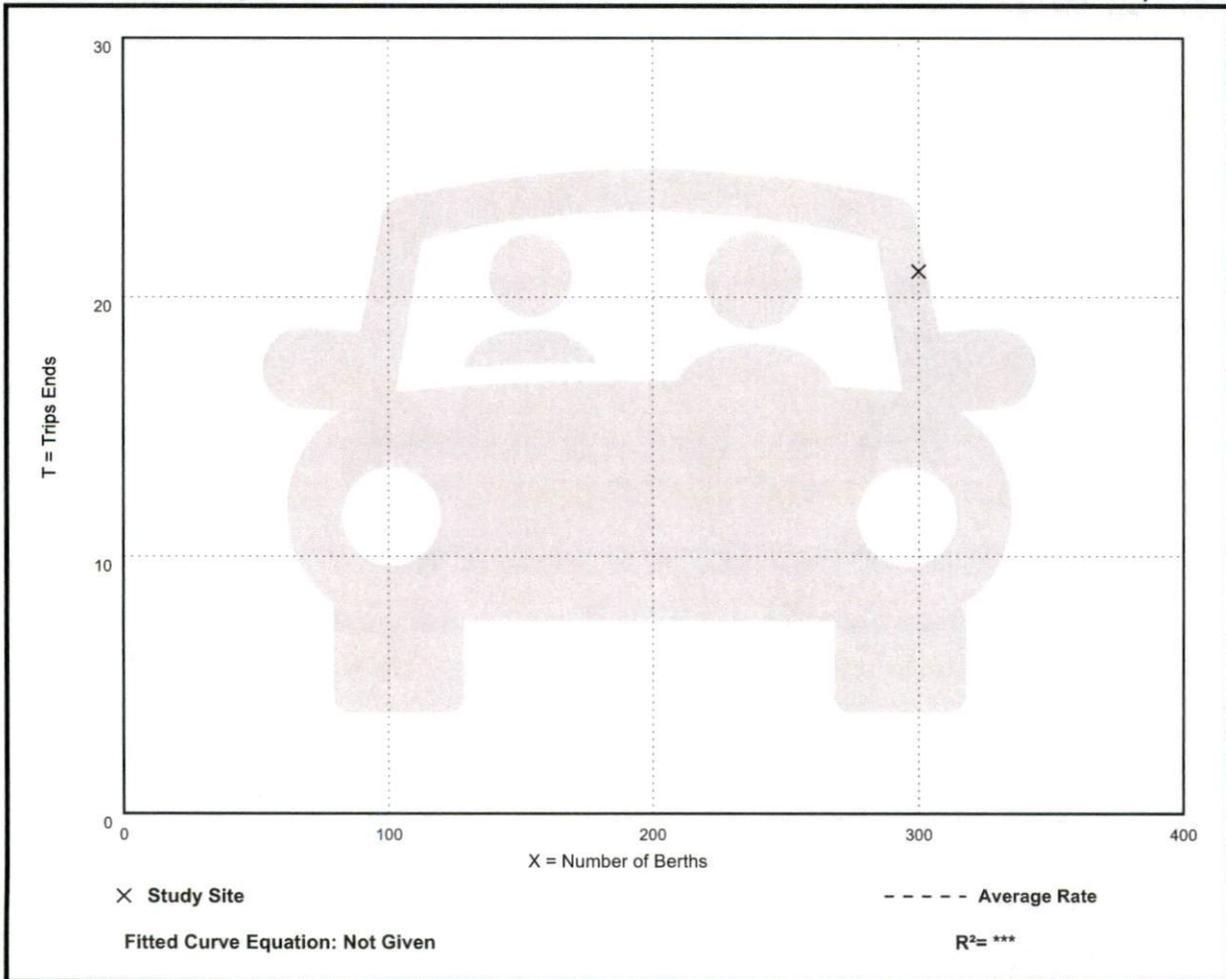
Directional Distribution: 33% entering, 67% exiting

Vehicle Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
0.07	0.07 - 0.07	***

Data Plot and Equation

Caution – Small Sample Size



Marina (420)

Vehicle Trip Ends vs: Berths

On a: **Weekday,**

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Berths: 300

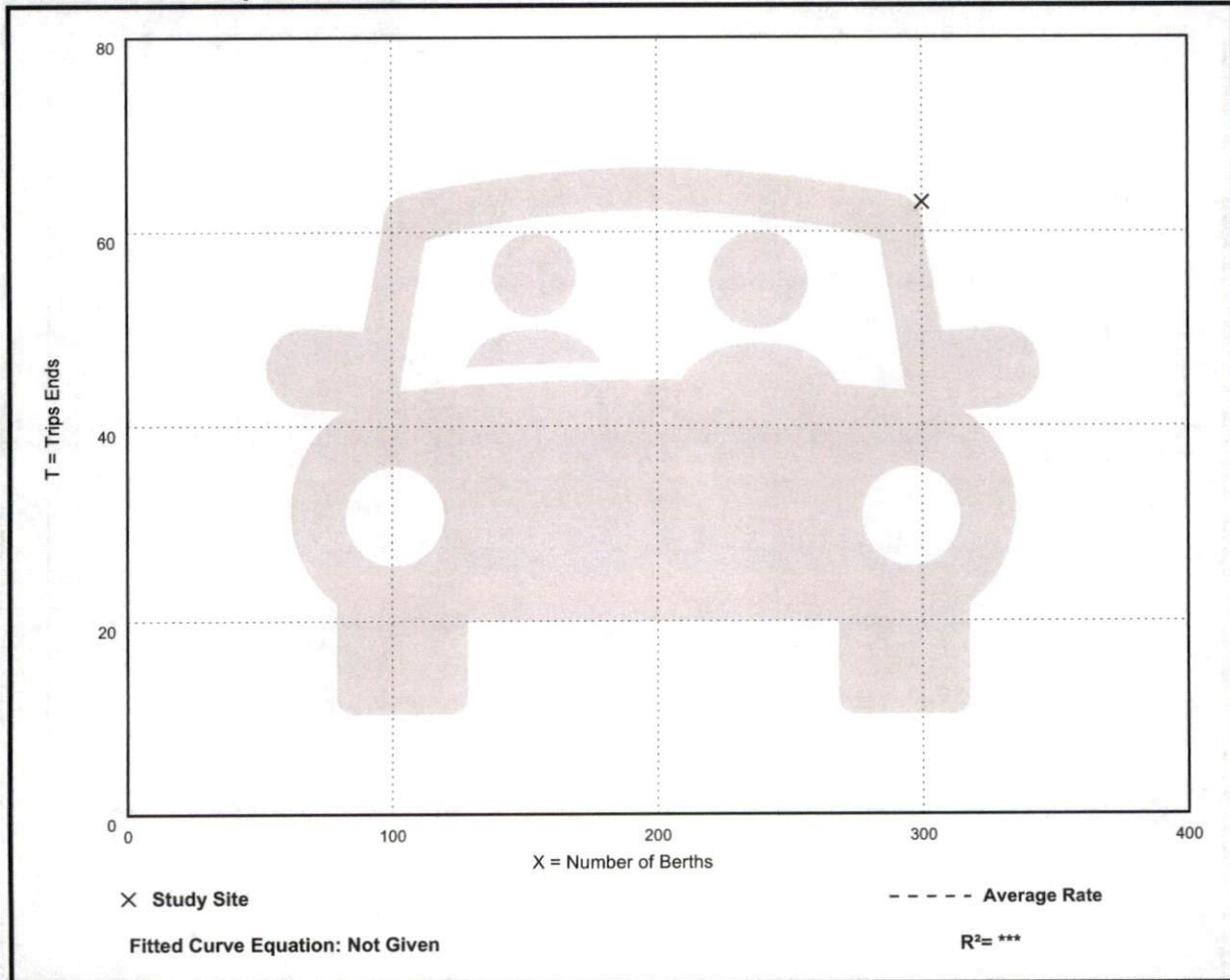
Directional Distribution: 60% entering, 40% exiting

Vehicle Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
0.21	0.21 - 0.21	***

Data Plot and Equation

Caution – Small Sample Size



Marina (420)

Vehicle Trip Ends vs: Berths
On a: Saturday

Setting/Location: General Urban/Suburban

Number of Studies: 2

Avg. Num. of Berths: 1027

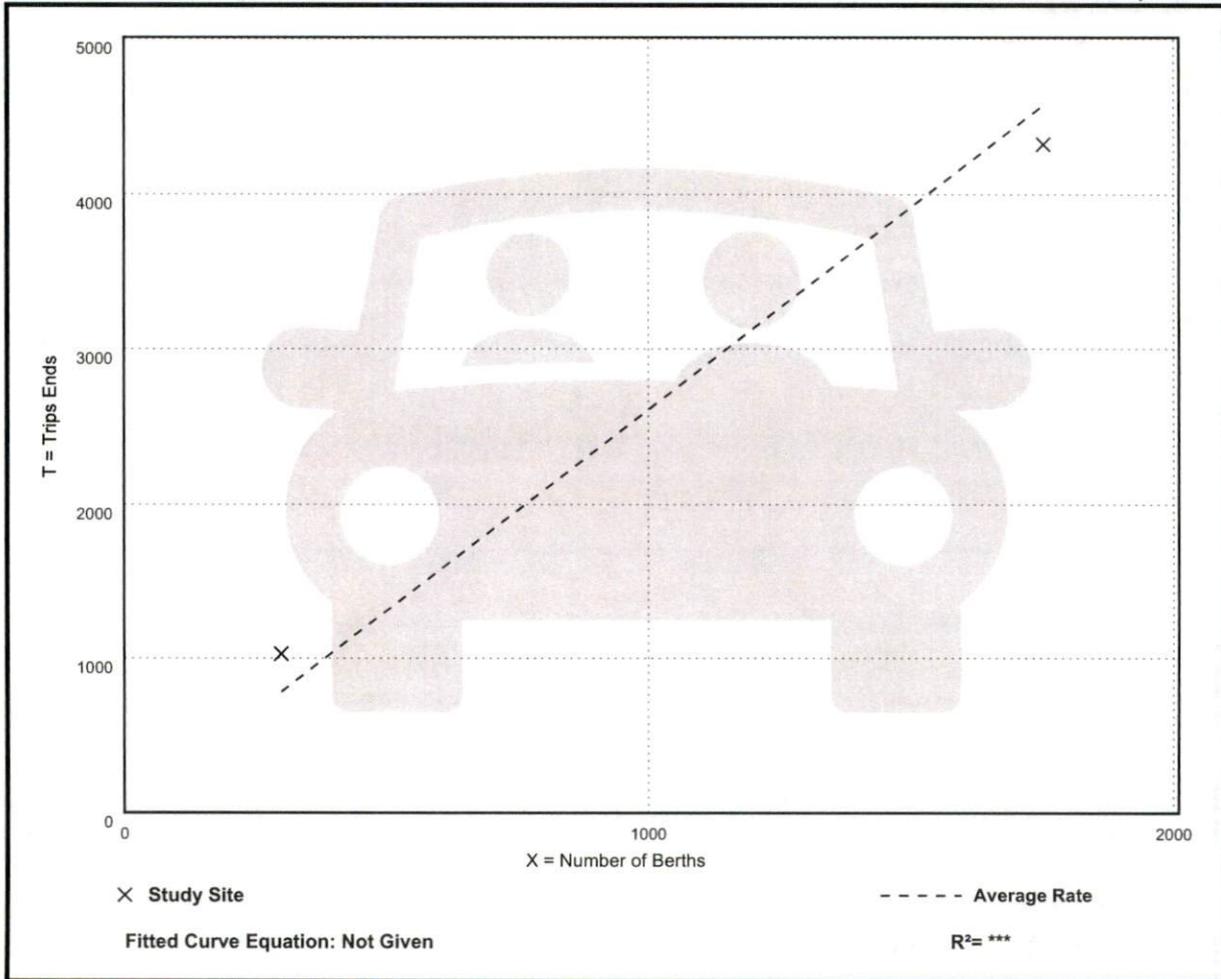
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
2.61	2.47 - 3.43	***

Data Plot and Equation

Caution – Small Sample Size



Marina (420)

Vehicle Trip Ends vs: Berths
On a: Sunday

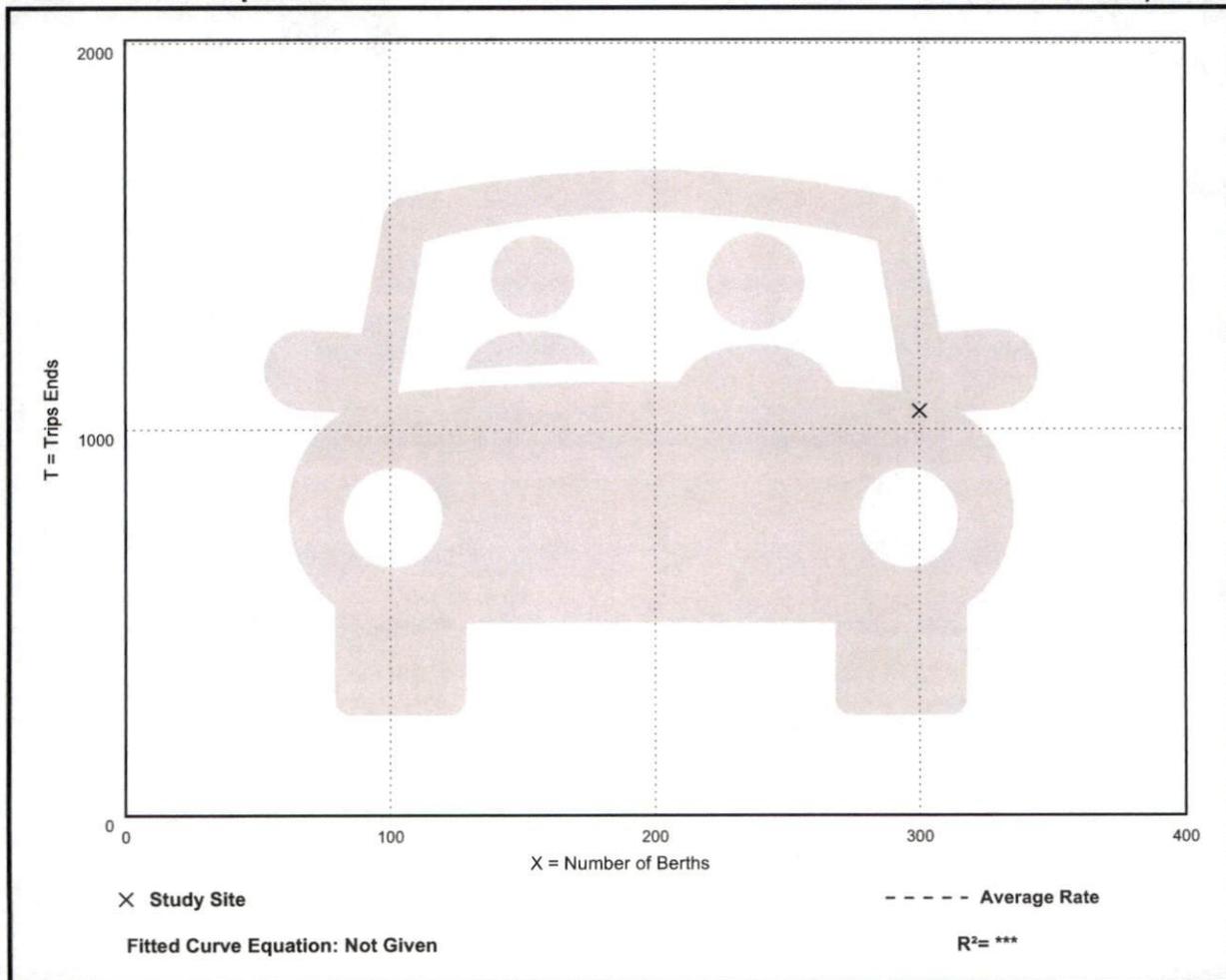
Setting/Location: General Urban/Suburban
Number of Studies: 1
Avg. Num. of Berths: 300
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Berth

Average Rate	Range of Rates	Standard Deviation
3.49	3.49 - 3.49	***

Data Plot and Equation

Caution – Small Sample Size



APPENDIX E

Monroe County Level of Service and Reserve Capacity Tables

2021 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2021		2017 MAXIMUM RESERVE VOLUME (trips)
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)	
1 Stock Island (4.0 - 5.0)	1.10	4-L/D	30/35/45	40.1	N/A	22.0	40.0	A	18.0	3,279	3,474	1,348
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	45/55	54.7	N/A	50.2	59.9	A	9.7	6,265	7,876	6,071
3 Big Coppitt (9.0- 10.5)	1.5	2-L/U	45/55	46.3	N/A	41.8	47.5	B	5.6	1,391	1,921	1,341
4 Saddlebunch (10.5- 16.5)	5.8	2-L/U	45/55	53.6	N/A	49.1	53.5	B	4.3	4,130	6,513	4,034
5 Sugarloaf (16.5- 20.5)	3.9	2-L/U	45	45.0	6.8	33.7	48.8	A	15.1	9,752	10,856	7,944
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	3,064	3,920	3,188
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	46.1	B	5.6	2,040	2,791	1,639
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	46.5	A	6.0	2,285	3,063	2,133
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	48.8	A	8.3	2,886	3,589	2,504
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	5.9	34.6	42.7	A	8.1	4,561	5,511	1,295
11 Bahia Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	54.8	A	6.9	7,998	10,730	6,723
12 7-Mile Bridge (40.0- 47.0)	6.8	2-L/U	45/55	54.4	N/A	49.9	53.2	B	3.3	3,716	6,508	3,603
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.5	N/A	22.0	39.6	A	17.6	21,276	22,590	19,221
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.6	2.1	48.0	51.4	C	3.4	3,603	6,183	3,286
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	53.2	C	2.7	1,207	2,344	1,252
16 Long (63.0- 73.0)	9.9	2-L/U	45/50/55	53.4	N/A	48.9	49.9	C	1.0	1,639	5,619	2,459
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	45/50/55	52.5	N/A	48.0	48.2	C	0.2	149	1,939	224
18 Tea Table (77.5- 79.5)	2.2	2-L/U	45	45.0	N/A	40.5	46.6	A	6.1	2,222	2,965	(692)
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45	45.0	N/A	40.5	35.3	E	-5.2	(3,531)	(2,187)	(883)
20 Windley (84.0- 86.0)	1.9	2-L/U	45	45.0	N/A	40.5	39.3	D	-1.2	(378)	271	157
21 Plantation (86.0- 91.5)	5.8	2-L/U	35/45	43.0	5.9	32.6	34.7	C	2.0	1,921	3,524	3,266
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.2	3.1	39.6	49.4	A	9.8	12,983	15,580	8,876
23 Key Largo (99.5- 106.0)	6.8	4-L/D	45	45.0	5.4	35.1	45.0	A	9.9	11,148	13,095	8,333
24 Cross (106.0- 112.5)	6.2	2-L/U	45/55	51.4	N/A	46.9	49.1	C	2.2	2,259	4,618	5,862
Overall	108.3					45.0	45.5	C	0.5	N/A		



Florida Keys Aqueduct Authority

1100 Kennedy Drive
Key West, Florida 33040
Telephone (305) 296-2454
www.fkaa.com



J. Robert Dean
Chairman
District 3

Richard J. Toppino
Vice-Chairman
District 2

Antoinette M. Appell
Secretary/Treasurer
District 4

Nicholas W. Mulick
District 5

Cara Higgins
District 1

Kerry G. Shelby
Executive Director

October 6, 2021

Jacob McMahan
Smith Hawks, Attorneys at Law
138 Simonton Street
Key West, FL 33040

RE: Dickerson Group Inc.
480 SF Office Building/132 Dry Boat Slips/Marina
Big Coppitt Key, Florida (Rockland)
RE# 00120940-000000

Dear Mr. McMahan;

This letter will serve as preliminary coordination of the above referenced project with the Florida Keys Aqueduct Authority.

The owner/developer for the 480 square foot office building and 132 dry boat slips (Marina) will be required to hire engineer to design, permit and install any new water/wastewater system through FCAA and FDEP to feed the proposed site at their expense.

A complete set of Civil and Architectural/Plumbing plans will need to be submitted to determine sewer and water requirements, along with assessment and system development charges.

Should you have any questions or require any further information please feel free to call me.

Sincerely,
Florida Keys Aqueduct Authority

Marnie
Walterson

Digitally signed by
Marnie Walterson
Date: 2021.10.06 12:50:39
-04'00'

Marnie L. Walterson
Utility Design Supervisor

CC Yusi Bonachea, Customer Service Manager-Marathon
Sue Reich, Customer Service Manager-Tavernier
Danielle Mendez, Customer Service Manager-Key West



(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33040-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

November 3, 2021

Mr. Jacob McMahon
Smith & Hawks Attorneys at Law
138 Simonton Street
Key West, FL 33040

RE: Dickerson Group, Inc.
Marina and Dry Boat Slips, Big Coppitt Key, Florida
Parcel No: 00120940-000000

Dear Mr. McMahon:

This is to acknowledge that the above-mentioned party has begun a coordination process with Keys Energy Services (KEYS).

KEYS' Engineering Section requests that they be provided with a full set of plans and a Project Review Form (separate form for each new meter) for the referenced project. These plans are necessary for us to ensure that there is adequate service for your project, as well as our existing, surrounding customers.

Please return the full set of plans and the Project Review Form to one of our Customer Programs Representatives.

Should you have any questions, please contact me at (305) 295-1080.

Sincerely,

A handwritten signature in blue ink, appearing to read "Nina Delgado", with a long, sweeping flourish extending to the right.

Nina Delgado
Customer Accounts Representative

ND/zg

C:
M. Alfonso, Supervisor of Engineering

County of Monroe
The Florida Keys



**OFFICE OF THE FIRE
MARSHAL**
490 63rd Street Ocean
Marathon, FL 33050
Phone: (305) 289-6020

October 21, 2021

Mr. Jacob McMahan
Smith Hawks Attorneys at Law
138 Simonton Street
Key West, FL 33040

Sent Via Email

RE: Letter of Coordination, Conditional Use Application, Vacant land Big Coppitt Key

Dear Mr. McMahan,

This letter of coordination is being provided to confirm that the Fire Marshal's Office has discussed the proposed project on the vacant parcel no. 00120940-000000, Big Coppitt Key with you, Mr. Jess Goodall, and the project engineer Nick Baltimore, which included a review of the concept site plan dated 09/24/21.

As discussed, the main concerns for Fire Marshal's Office are related to providing fire department access, fire lane, area for a turn-around, the turning radii of the driveways, and weight supported for the roadways, as well as providing water supply for fire suppression. Please note that our requirement for water supply for fire suppression includes providing a "Determination of Needed Fire Flow" report with fire flow calculations for the site and to identify hydrant or well locations on the plans. Additionally, details for the office building and rack structures will also be required. Lastly, you confirmed that the project does not include docking facilities or a gated access.

Attached are the requirements that the Fire Marshal's Office will review during plans examination and inspections. All plans for the project shall comply with the most recent edition of the Florida Fire Prevention Code, including references on the plans. Please note however that depending on details for the project, additional requirements may be applicable. All documents, such as permit applications with plans, reports and any revisions must be submitted through the Building Department.

The Fire Marshal's Office is committed to a fire prevention program that places a high priority on the welfare and safety of the public while minimizing potential fire and life safety hazards. This can be accomplished through preliminary reviews of the plans for this project. Therefore, this office welcomes questions and any coordination meetings required by the engineer to complete plans for the project. We look forward to working with you towards a successful completion of this project.

If you have any questions or require further information, please do not hesitate to contact Zully Hemeyer, Executive Assistant/Fire Safety Inspector at the Fire Marshal's Office at (305) 289-6020.

Sincerely,

R.L. Colina
Fire Marshal

Attachment

c: Ilze Aguila, Planning Commission Supervisor
Craig Marston, Deputy Fire Marshal



Construction Related Fire Department Requirements

The following are the requirements that the Fire Marshal's Office (FMO) will review during plans examination and inspections. All documents, such as permits, reports and revisions referenced herein must be submitted **through** the Building Department. *Please note that private inspection providers are not authorized to perform inspections for fire department requirements.* This document is intended to facilitate the permitting process however is not meant to include every requirement necessary. Additional conditions may be required.

General / Site Plan.

1. Site Plan shall clearly identify the location of the project within the parcel and adjacent roadways.
2. Site Plan shall identify ingress/egress locations, measurements, and protective measures during construction.
3. Site plan must contain and clearly show the locations for all hydrant(s), arterial mains, feeder mains and stub out main sizes, including point of service from FCAA source.
4. Provide reference to current edition of NFPA 241 and Chapter 16 NFPA 1, Standard for Safeguarding Construction, Alteration and Demolition Operations, which shall be maintained for duration of work.
5. No vertical construction or storage of combustible material on site shall be permitted until fire hydrants (fire wells) are installed, inspected, flow tested, and approved for service by the Fire Marshal's office.
Note: Slabs can be poured, non-combustible walls can be erected, no combustible framing or roof assemblies may be on site.
6. Fire hydrants shall have proper clearances provided and maintained in accordance with Chapter 18, NFPA 1, and guidelines provided by the Fire Marshal's office. No poles, signs or other obstructions shall be in this clear space.
7. An in-service hydrant is defined as cleared through letter by the Florida Keys Aqueduct Authority (FCAA) and the Florida Department of Environmental Protection (FDEP). After obtaining the DEP clearance all hydrants shall be flow tested. This will be done by a licensed sprinkler or underground contractor, with certified test results being provided to the Monroe County Fire Marshal's office. Hydrants shall be flowed and plotted on a graph certifying the flow meets ISO (Insurance Services Office) flow calculations @ 20psi. Hydrants shall be painted in accordance with NFPA 291, providing proper bonnet and cap colors for the hydrant flow @ 20psi. A blue reflector shall also be provided in the center of the traffic lane closest to the hydrant. A Deputy Fire Marshal will provide a site inspection to verify the flows and accept the system before combustible material is brought on site. This inspection must be scheduled through the Building Department.
8. Plans shall instruct Contractor to call-in required inspections for the water line, including the Fire Marshal's Office for inspections related to the fire suppression system and fire hydrants.
9. Any structure greater than 3 floors, will have an easily accessible and identifiable fire department connection "FDC" leading to a dry standpipe in a stairwell at 1 floor level below the highest working floor.
10. Prior to final approval of construction, it is the responsibility of the property owner or their designee to ensure 99% radio/cellular communication capabilities for all fire and police personnel in accordance with NFPA 72 paragraph 24.5.2* Two-Way Radio Communications Enhancement Systems. If a failure occurs, a radio/cellular enhancement system will need to be installed.
11. Access shall be provided to fire crews for site and building construction familiarization (new buildings).
12. Separate Permits are required for Fire Sprinkler, Fire Alarm, and Fire Extinguishing Systems. Engineered plans (if required), shall be included in the "SEPARATE" permit application documents.
13. Upon completion of all underground site work, the site should have 360-degree accessibility for emergency apparatus.

Building Design Criteria for New Construction.

1. Identify all applicable Fire and Life Safety Codes, and Standards used for design. As a minimum, the Design criteria shall comply with the Florida Fire Prevention Code (FFPC) 7th edition effective December 31, 2020, consisting of NFPA 1, NFPA 101, F.S. 633, & F.A.C. Chapter 69A.
2. For New Construction provide a Life Safety Plan to include the following:
 - a. Identify the Type of Construction.
 - b. Occupancy classification and Occupant load calculations for each Occupancy Type
 - c. Total square footage information.
 - d. Common paths of travel and distances in LF to exits.
 - e. Corridor widths.
 - f. Identify door widths.
 - g. Locations and type of Fire extinguisher(s) with attachment details, in compliance with NFPA 10, including but not necessarily limited to each residential cooking area.
 - h. Locations for Emergency lighting and illuminated exit signage. * (*May be on the lighting/reflective ceiling plan or the LSP, but if on both, plans must be identical.)
3. Provide address numbers placed in a position to be plainly legible and visible from the street or road fronting the property. Additionally, address numbers shall contrast with their background, in accordance with NFPA 1, 10.11.
4. Provide Wall Types (including its joint assemblies) any shafts and chases shown referenced to detailed drawings on plans, UL or equivalent design details.
5. Identify and include the minimum fire resistance of walls, partitions, and opening protectives. Clearly identify fire resistance separations of Structure members and/or Compartmentation of living spaces.
6. Provide fire stopping details and identify required fire resistance rating for each penetration type (To be inspected on "Rough Fire Inspection – 800"). *Note: If Rough inspection is not called in by Contractor, and this inspection is not performed by the Fire Marshal's Office, Contractor shall be responsible for removing any work covering fire stopping, etc. for the inspection to be completed.*
7. Provide fire stopping details and identify required fire resistance rating between occupancies.
8. Provide a complete Interior finish schedule including wall coverings, floor finishes, furnishings and draperies. Identify and include the minimum interior finish classification(s).
9. Provide Exit access, exit, and exit discharge information that complies with Chapter 7 of NFPA 101.
10. Provide Exit illumination that complies with Chapter 7 of NFPA 101.
11. Provide Emergency lighting and exit signs that comply with Chapter 7 of NFPA 101.
12. Each required exit has to be equipped with exit sign/emergency light combo fixture.
13. Provide Exit corridors that comply with Chapters 7 and 8 of NFPA 101.
14. Provide Stairs with sufficient details including all dimensions such as width, headroom, rise, run, etc. to ensure compliance with Chapter 7 of NFPA 101.
15. Provide Handrail and guard detail including all dimensions-extension, rejections, height, etc.
16. Provide Ramp Detail including all dimensions, show slope in ratio, etc.
17. Provide Doors, locks, latches, and alarm devices with sufficient details such as rating, hardware, width, assembly, etc. on schedule to ensure compliance with Chapter 7 of NFPA 101.
18. Provide a complete Window Schedule including all dimensions, identify egress windows, clear widths, sill height above finished floors, etc.
19. Occupant load and classification shall comply with Chapter 7 of NFPA 101.
20. Accessible means of egress shall comply with Chapter 7 of NFPA 101.
21. If Mechanical Plans, the proper location of Duct Detectors in the supply & return for systems greater than 2000 CFM or 60,000 BTUs and their respective test switches.
22. If Mechanical Plans in a non-sprinklered/non-fire alarm building, the proper location of their respective test switches AND the location of each "Smoke" indicator.
23. If Electrical Plans, the panel schedule needs to indicate which breaker is for the Emergency Lighting and which breaker is for the Fire Alarm Control Panel "FACP" in an alarmed structure.

The Fire Alarm breaker must be locked. Note: Only Fire Alarm Contractor shall install the Fire Alarm Detection System.

24. If Lighting Plans, the location of all illuminated exit signs and emergency lighting must be identical to the LSP.
25. Plans shall identify any hazardous materials to be stored, including type, storage and handling and quantities.
26. Plans for storage facilities shall identify materials to be stored with related quantities and provide the hazard classification types.
27. Identify whether or not the building will contain a fire sprinkler or fire alarm system.
28. Any Fire System related work shall require a "SEPARATE" permit from the specific trade performing the work.

Fire Department Access.

1. Design shall meet the requirements provided in Chapter 18 Fire Department Access and Water Supplies, NFPA 1.
2. Note on plans that "Emergency Access for Fire Apparatus, Emergency Medical Vehicles and Water Supplies shall be maintained unobstructed at all times."
3. Ingress/Egress shall provide inside turning radius of 25 ft. clear and an outside turning radius of 50 ft. clear.
4. The plan for Ingress/Egress during construction for Fire Department Access roads shall have an unobstructed width of not less than 20 ft., an unobstructed vertical clearance of not less than 13 ft., 6 in., and be designed and maintained to support imposed loads of fire apparatus (44 tons which includes Fire Apparatus and EMS Rescue Vehicles), all clearly shown on the plan, and shall be provided with an all-weather driving surface. (NFPA 1 Chapter 18 & NFPA 241 Chapter 7).
5. There shall be no parking on both sides of the street.
6. An approved turnaround for fire apparatus shall be provided where an access road is a dead end and is in excess of 150 feet. The turnaround shall have a minimum centerline radius of 50 ft. The grade, surface and location of the fire lane shall be approved by the Fire Marshal's Office.
7. A Tee or Y turnaround may be accepted, upon review by the Fire Marshal's Office.
8. Secondary paved access or an emergency vehicle access to this site may be required or necessary, Per NFPA 1 Chapter 18, upon review by the Fire Marshal's Office.
9. Provide Automatic access at points of ingress and egress to be activated by "Electronic Siren Welp and Wail Modes" (for gated businesses/developments/communities).
10. Provide for "Red Model 1403 Knox Box," with notation to coordinate installation with Monroe County Fire Marshal's Office. The Knox Box for new buildings shall be mounted and have the following placed inside of the box:
 - a. Keys to the following:
 - 1) Main entrance.
 - 2) All mechanical and electrical rooms.
 - 3) Emergency elevator operations (2 keys).
 - 4) Fire alarm panel.
 - 5) Pull stations.
 - b. Business card of 24/7 emergency point of contact.

Docks, Marinas and Boat Slips.

1. Plan submittals shall confirm with all applicable standards for construction and operation of marinas, boatyards, yacht clubs, boat condominiums, docking facilities associated with residential condominiums, multiple-docking facilities at multiple-family residences, and all associated piers, docks, and floats as identified in NFPA 303, most recent edition.

2. Plans shall also identify any hazardous materials to be stored, including type, storage and handling and associated quantities.

Water Supply for Fire Suppression. The following water supply design requirements, references and notations shall be provided on the Plans:

1. Provide the "Determination of Needed Fire Flow" Calculations/Report which will identify the water supply required for fire suppression for each building, including the fire sprinkler system, with the building Plans Permit submittal. These Calculations/Report may be provided directly on the plans or submitted separately with a reference on Plans to this Report. Separate reports, etc. must be submitted through the Building Department. Guidance to prepare these "Calculations/Report" may be found in NFPA 1, Chapter 18 and/or at the following website:
<https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf>
2. Provide plan for sufficient fire hydrant(s) and/or fire well(s) in accordance with the needed fire flow calculations.
3. Design shall meet the requirements provided in Chapter 18 Fire Department Access and Water Supplies, NFPA 1.
4. Plans shall provide for the installation of Fire hydrant(s) and/or Fire well(s) such that the coverage for each building can be provided by fire suppression apparatus.
5. Provide locations for the point of service from the FKAA water main, and locations of the Backflow preventer, Post indicator valve and fire hydrant(s) and/or fire well(s) on the Site Plan.
6. Provide hydraulic nodal information on plans.
7. Where no reliable water service is within ¼ mile of the site then Chapter 29, NFPA 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting, will apply.
 - a. A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material accumulates. There shall be no delay in the installation of fire protection equipment.
8. **Underground Fireline:** See General and Specialty Inspection Requirements.
9. Provide copy of FKAA permit(s) prior to 800 Rough Inspections to the Fire Marshal through the Building Department.

Fire Sprinkler System. The following design requirements, references and notations shall be provided on the Plans:

1. Provide Separate "Fire Sprinkler System Plans" submittal by state licensed fire sprinkler contractor, pursuant to Chapters 489 and 633, F.S.
2. Design criteria shall meet the requirements of NFPA 13, 14, 24, and 25, as well as, any applicable requirements identified by the Fire Marshal's Office.
3. If this plan is not submitted with the original permit set, provide notation that a follow up permit will be submitted.
4. Provide details for sprinkler heads, hangars, control valve, main drain, auxiliary drain, fire department connection, water flow alarm and system air vent.
5. Clearly identify the location, pipe dimensions and diameter for the fire main point of service from the FKAA water supply.
6. Required inspections include aboveground visual of piping and connections, hangers, heads, and other components under an 800 Rough Fire Inspection, called in through the Building Department. Hydrostatic pressure test, as per NFPA 13, and flow and tamper switch operation required under 891 Final Fire with Acceptance Inspection, called in through the Building Department.
7. Copies of the Contractor's Material and Test Certificates for both the underground and aboveground piping shall be provided to Deputy Fire Marshal/Fire Marshal's Office upon completion of the hydrostatic tests by submission through the Building Department, which is required for the 892 Final Fire Inspection, called in through the Building Department.

8. Fire Sprinkler contractor shall also provide the following upon the 892 Final Inspection by submission through the Building Department:
 - a. Fire Pump testing certificate (new buildings).
 - b. Hydraulic plates.
 - c. Spare Heads and associated wrenches.
 - d. Escutcheons/cover plates.
 - e. Copy of plans – 4” PVC by FACP.
 - f. Copy of Maintenance Contract.
 - g. All signage per Code requirements.

Fire Alarm System. The following design requirements, references and notations shall be provided on the Plans:

1. Provide Separate “Fire Alarm System Plan” submittal by licensed fire alarm contractor.
2. If submitted in full plan set, provide “Fire Alarm System Plans” on separate designated sheets, in compliance with the current adopted NFPA 72: *National Fire Alarm and Signaling Code*.
3. If this plan is not submitted with the original permit set, provide notation that a separate follow up permit application will be submitted.
4. Systems must meet the applicable criteria per NFPA 72, and the occupancy type, as well as any applicable requirements identified by the Fire Marshal’s Office.
5. Provide all manufacturer’s product (cut) sheets.
6. Requires remote annunciator(s) for each building.
7. Clearly identify and locate FACP on plans with smoke detector above it.
8. The Fire Marshal’s Office requires an inspection for a “Fire Alarm System” which includes testing of any and all components of the system, per NFPA 72.
9. Commercial Cooking Fixed Suppression System Plans must be submitted by a Florida licensed contractor for review, permitting, and all associated inspections per NFPA 1, NFPA 17, 17A, and 96.
10. Hood duct inspections require a “liquid” or “light test” of all seams and welds on sections of ductwork being installed. Once ductwork has been installed, a liquid or light test inspection will be required on welds and seams necessary to install ductwork.
11. Final inspections for alarm systems shall include a function test to verify the proper operation of all system components, including fuel shut off, etc.
12. Fire Alarm contractor shall also provide the following upon final inspection:
 - a. Location of electrical panel and breaker associated with the panel.
 - b. Contact number inside of the panel door.
 - c. Account number inside of the panel door.
 - d. All strobes within visual of another shall be in synchronization.
 - e. Record of Completion.
 - f. Monitoring Contract.
 - g. Maintenance Contract.
 - h. Copy of plans – 4” PVC by FACP.

Commercial Cooking Fire Suppression System.

1. Provide separate “Fire Suppression System Plans” submittal by state licensed fire suppression system contractor, pursuant to Chapters 489 and 633, F.S.
2. Design criteria shall meet the requirements of NFPA 10, 13, 17A and 96, as well as, meeting any applicable requirements identified by the Fire Marshal’s Office.
3. If this plan is not submitted with the original permit set, provide notation that a follow up permit will be submitted.
4. Fire Alarm contractor shall also provide the following upon final inspection:
UL-300:

- a. Notification Device.
 - b. Gas company representative.
 - c. Electrical Inspector.
 - d. Representative of the business (owner/manager).
 - e. Chain.
 - f. Shunt Trip test.
 - g. Chocks.
 - h. Pre-Engineered Restaurant Fire Suppression Systems Report.
 - i. Signage.
5. FM-200:
- j. Notification Device.
 - k. Fan test – Enclosure Integrity Report.
 - l. Signage.

Above Ground and Underground Fuel Tanks.

- 1. Plans must be submitted by a Florida licensed contractor for review, permitting, and any associated inspections.
- 2. All tanks and installation(s) shall meet the requirements per NFPA 30, NFPA 30A, or NFPA 30B, as deemed applicable by the Fire Marshal's Office.
- 3. All underground tanks require inspections of slab, anchors, piping, and any associated components.
- 4. All aboveground tanks require inspections of supports, mounting, strapping, other protective requirements, and any associated components.

Propane Tanks.

- 1. Plans must be submitted by a Florida licensed contractor for review, permitting, and any associated inspections.
- 2. All tanks and installation(s) shall meet the requirements per NFPA 10, 54, 55, and 58, and any other standard or Code as deemed applicable by the Fire Marshal's Office.

General Inspection Requirements.

- 1. Rough, Final with Acceptance test and Final without Acceptance tests (800, 891 and 892) inspections shall be required for "Site Plan" work associated with water lines for fire suppression.
- 2. Additionally, Rough, Final with Acceptance test and Final without Acceptance tests (800, 891 and 892) inspections shall be required for "Docks, Marinas and Slips" where work is related to requirements of NFPA 303.
- 3. All fire related inspections are required to be scheduled at least 1 day prior to the inspection and must be called in through the Building Department's Inspection Line (IVR System).
- 4. All inspection time requests are for either morning or afternoon, no specific times will be given.
- 5. Inspections are conducted Monday through Friday 8:00 AM to 4:00 PM.
- 6. "Courtesy or miscellaneous inspections" cannot be performed by the Fire Marshal's Office.
- 7. If a Deputy Fire Marshal is on site and observes work that has not been called in for an inspection, an inspection result will not be filed. Inspections shall be requested through the Building Department inspection line in order for results to be posted to the building permit.
- 8. All ROUGH Inspections are to be called in by the sub-contractor, as applicable.
- 9. All FINAL Inspections are to be scheduled by permit number.
- 10. All FINAL Inspections are to be called in by the General Contractor.
- 11. A representative of each trade shall be on site at the time of their respective inspection.
- 12. The Permit card and a copy of all approved/stamped plans shall be on site for each of the inspections being conducted.

13. Additional inspection requirement details will be provided on the Fire Marshal's Office inspection checklist.

Specialty Inspections Requirements.

1. Fire Main Inspection:

- a. Installation requires Contractor V license, Ch. 633.102, F.S.
- b. Includes 800 Rough Fire inspections for review of bedding, pipe joints, thrust blocks and a flush and flow test shall be included as part of this inspection.
- c. An 891 Final Fire w/Acceptance test will include a hydrostatic test.
- d. Prior to scheduling an 892 Final Fire w/o Acceptance test, Contractor shall submit through the Building Department permit all documentation related to the fire suppression system including but not limited to material and testing certifications, in accordance with NFPA 24, 25 and 72.

2. Fire Hydrant Inspection:

- a. Includes 800 Rough Fire inspections for review of placement and flush and flow test, clear water.
- b. An 891 Final Fire w/Acceptance Inspection, hydrostatic test and submit a water flow summary to the Fire Marshal through the Building Department (permit) and keep copy on job site.
- c. An 892 Final Fire w/o Acceptance Inspection, submit Contractor's Material and Test Certificate for Underground Piping to the Fire Marshal through the Building Department permit (file) and copy on job site.

3. Fire Well Inspection:

- a. Includes 800 Rough Fire inspections for review of placement and flush and flow test, clear water.
- b. An 891 Final Fire w/Acceptance Inspection, flow test with gauge to verify appropriate GPM in accordance with design and submit certification to the Fire Marshal through the Building Department permit (file) and keep copy on job site.
- c. An 892 Final Fire w/o Acceptance Inspection, submit Contractor's Material and Test Certificate for Underground Piping to the Fire Marshal through the Building Department permit (file) and copy on job site.

4. Fire Sprinkler Scheduling Requirements:

- a. Coordinate with Fire Alarm/Fire Suppression System inspections.
- b. All rough inspections are to be scheduled by the sub-contractor performing the work.
- c. Rough inspections to include:
 - 1. All underground.
 - 2. All flushing prior to connection to the fire sprinkler riser.
 - 3. Fire pump acceptance testing.
 - 4. Existing construction - 1 hard-lid inspection per job.
 - 5. New construction, commercial – 1 hard-lid inspection per floor.
 - 6. New construction to including hotels, apartments, residential board and care – 1 hard-lid inspection per wing, each floor.
 - 7. New construction, residential – 1 hard-lid inspection.
- d. Final Inspection called in by the General Contractor.

2. Fire Alarm Scheduling Requirements:

- a. Coordinate with Fire Sprinkler/Fire Suppression System inspections.
- b. The sub-contractor performing the work is not to call for inspection.
- c. Final Inspection called in by the General Contractor to ensure coordination of systems.

3. Fire Suppression Scheduling Requirements:
 - a. Coordinate with Fire Alarm/Fire Sprinkler system inspections.
 - 1) UL-300, Kitchen Suppression Systems:
 - a) The sub-contractor performing the work is not to call for inspection.
 - 2) FM-200, Clean Agent Systems:
 - a) The requirements listed in section 1 above.
 - b) Fan-Pressure Test to be called in by the sub-contractor performing the work.
 - b. Final Inspection must be called in by the General Contractor.
4. Petroleum Fuel Tank Scheduling Requirements:
 - a. The sub-contractor shall call in Underground visualization of mounting.
 - b. The sub-contractor shall call in the pressure test of gas lines.
 - c. Final Inspection called in by the General Contractor.

Note that new development(s) may be required to provide a Fire Department Service Delivery Concurrency Evaluation at the expense of the developer, including the cost of a third-party evaluator, in accordance with Chapter 15, NFPA 1 at the discretion of the Fire Marshal.

Please use this document as a resource. The Fire Marshal's Office can be contacted at (305) 289-6020.



Monroe County Fire Marshal R. L. Colina

County of Monroe
The Florida Keys



BOARD OF COUNTY COMMISSIONERS

Mayor Michelle Coldiron, District 2
Mayor Pro Tem David Rice, District 4
Craig Cates, District 1
Eddie Martinez, District 3
Holly Merrill Raschein, District 5

October 1, 2021

Attn: Jacob McMahon – Smith/Hawks, Attorneys At Law
138 Simonton Street
Key West, FL. 33040

Ref: Dickerson Group, Inc.
Dickerson Project – Marina - Big Coppitt, FL
P.O. Box 5011
Monroe, N.C. 28111

Re: Letter of Coordination – PID #: 00120940-000000, ALK # 1154598

Dear Mr. McMahon,

After review of the proposed plan for your client's project, the proposed site reflects a trash/garbage area for municipal solid waste, as required by Monroe County. The area identified should provide adequate space for a disposal container for the office trash.

While the proposed site reflects a trash/garbage area for municipal solid waste, an opportunity for recyclable material to be collected dockside should be a desirable action. Many marinas and dockside boat slips throughout Monroe County provide receptacles for recycling of aluminum cans and plastic water bottles. Monroe County strongly encourages the business community to support the recycling initiative.

I am in hopes that Dickerson Group, Inc. will support the recycling initiative, with this additional business opportunity. To discuss recycling further, and the do's and don'ts please contact my office at 305-292-4536 or Waste Management, Inc. at 305-296-8297.

Sincerely,

Cheryl Sullivan, Director of Solid Waste Management
Monroe County, Florida

Mission:

To protect, promote & improve the health of all people in Florida through integrated state, county & community efforts.



Ron DeSantis
Governor

Joseph A. Ladapo, M.D., Ph.D.
State Surgeon General

Vision: To be the Healthiest State in the Nation

Jacob McMahon
Smith/Hawks Attorneys at Law
138 Simonton Street
Key West, FL 33040

Letter of Coordination for Monroe County Major Conditional Use Application
Vacant Land, Big Coppitt Key, Florida 33040
Monroe County RE No. 00120940-000000

September 30, 2021

To Whom It May Concern:

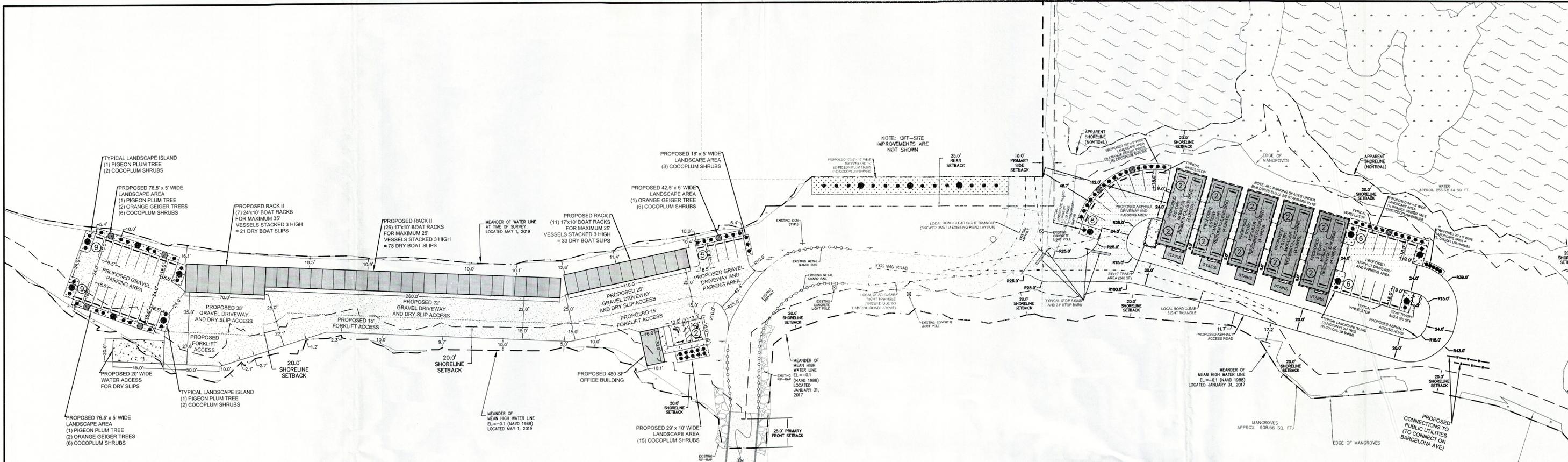
The Florida Department of Health in Monroe County has reviewed the plans for the proposed development at the above-mentioned facility. As this facility is on a central sewer and water system, we have no objections to the proposal.

Should you have any questions or comments, please call the Department of Health at 305.676.3941.

Sincerely,

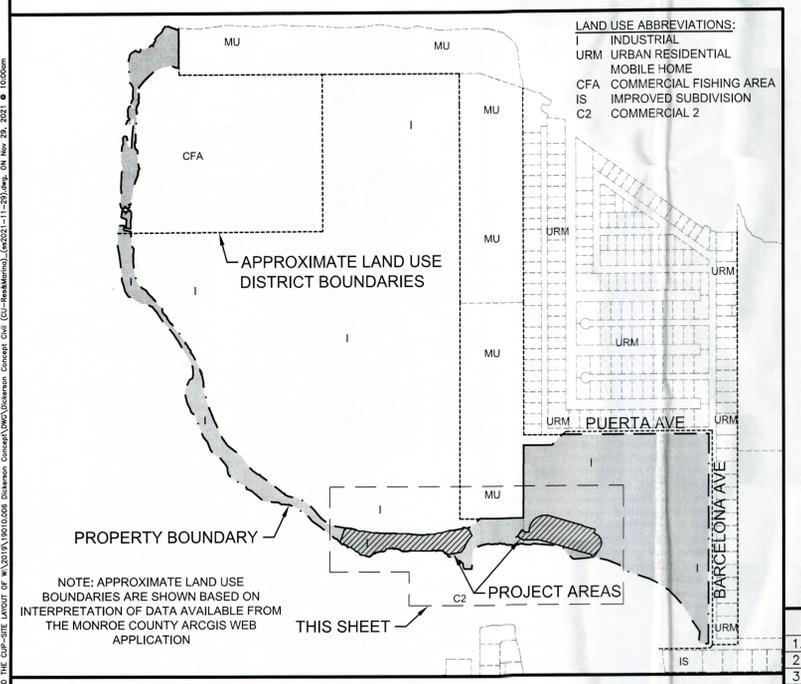
A handwritten signature in black ink, appearing to read "Fitima Garcia".

Fitima Garcia
Environmental Specialist II
Florida Department of Health- Monroe County



DENSITY CALCULATIONS:

ZONING	HABITAT CLASSIFICATION	SUM OF AREAS PER SURVEY (SF)	GROSS ACRES UPLAND (AREA SF/ 43,560 SF)	REQUIRED OPEN SPACE (SF)	NET BUILDALE AREA (SF)	NET BUILDALE ACRE	MAXIMUM DENSITY	MAXIMUM PERMITTED DENSITY
CFA	DISTURBED UPLAND	29,217.0	0.6707	5,843.4	23,373.6	0.5366	12 DU PER BUILDALE ACRE	6.4390
CFA	DISTURBED WETLAND	29,025.01	0.6663	N/A	N/A	N/A	3 DU PER GROSS ACRE	1.9990
CFA	MANGROVE	10,595.66	0.2432	N/A	N/A	N/A	0	0.0
INDUSTRIAL	UPLAND	67,983.98	1.5607	13,596.796	54,387.184	1.2486	2 DU PER BUILDALE ACRE	2.4971
INDUSTRIAL	DISTURBED UPLAND	128,857.93	2.9582	25,771.586	103,086.344	2.3665	2 DU PER BUILDALE ACRE	4.7331
INDUSTRIAL	DISTURBED WETLAND	125,432.83	2.8795	25,086.566	100,346.264	2.3036	2 DU PER BUILDALE ACRE	4.6073
INDUSTRIAL	MANGROVE	142,171.08	3.2638	N/A	N/A	N/A	0	0.0
INDUSTRIAL	SUBMERGED LANDS	298,447.72	6.8514	N/A	N/A	N/A	0	0.0
TOTAL DENSITY:								20.2754



PROJECT INFORMATION:

PROJECT: DICKERSON PROJECT
VACANT LAND, BIG COPPIT KEY

OWNER/DEVELOPER: DICKERSON GROUP INC.
P.O. BOX 5011
MONROE, NC 28111

DATUM: N.A.V.D. 1988

SEWER: BIG COPPIT WASTEWATER

WATER: FLORIDA KEYS AQUEDUCT AUTHORITY

GARBAGE: WASTE MANAGEMENT

ENGINEER: THE WEILER ENGINEERING CORPORATION
MICHAEL J. GIARDULLO, P.E. NO. 70676
201 W. MARION AVE., SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700

SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847)
ERIC A. ISAACS, PSM #6783
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
305.394.3690

PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE

FLOOD ZONE: MULTIPLE ZONES ON SITE: "AE10", "VE12", & "VE14" AS SHOWN ON: F.E.M.A. FLOOD INSURANCE RATE MAP #: 12087C153K COMMUNITY: 125129 (MONROE COUNTY) PANEL NUMBER: 1531 / SUFFIX: K EFFECTIVE DATE: 18 FEBRUARY 2005

EXISTING ZONING: INDUSTRIAL (I) & COMMERCIAL FISHING AREA (CFA)

FUTURE LAND USE: INDUSTRIAL

PROPOSED DWELLING UNITS: 20

PARKING REQUIRED: (SEE SHARED PARKING CALCULATION)

PARKING PROVIDED:

RESIDENTIAL PARKING PROVIDED:
2 X 10 = 20 COVERED SPACES
8 + 6 + 6 = 20 UNCOVERED SPACES
20 COVERED + 20 UNCOVERED = 40 PARKING SPACES

MARINA PARKING PROVIDED:
9 + 9 + 5 + 2 = 25 PARKING SPACES
40 RESIDENTIAL + 25 MARINA = 65 TOTAL PARKING SPACES

PARKING LOT LANDSCAPING SUMMARY:

RESIDENTIAL PARKING LOT LANDSCAPING REQUIRED:
REQUIRED LANDSCAPING PERCENTAGE = 20% OF PARKING AREA
TOTAL PARKING AREA = 8,907.2 SF
8,907.2 * 0.2 = 1,781.44 SF MIN. REQUIRED LANDSCAPING AREA
MIN. 4 CANOPY TREES, 3 UNDERSTORY TREES, & 35 SHRUBS

RESIDENTIAL PARKING LOT LANDSCAPING PROVIDED:
PARKING LOT LANDSCAPE AREA = 1,797.28 SF
5 CANOPY TREES = PIGEON PLUM TREE, COCCOPLUM SHRUB, & 12.0' HEIGHT
3 UNDERSTORY TREES = ORANGE GEIGER TREE, CORDIA SEBESTENA, @ 8.0' HEIGHT
35 SHRUBS = COCCOPLUM SHRUB, CHRYSOBALANUS ICACO, @ 3 GALLON

MARINA PARKING LOT LANDSCAPING REQUIRED:
REQUIRED LANDSCAPING PERCENTAGE = 20% OF PARKING AREA
TOTAL PARKING AREA = 9,697.5 SF
9,697.5 * 0.2 = 1,939.5 SF MIN. REQUIRED LANDSCAPING AREA
MIN. 5 CANOPY TREES, 4 UNDERSTORY TREES, & 39 SHRUBS

MARINA PARKING LOT LANDSCAPING PROVIDED:
PARKING LOT LANDSCAPE AREA = 1,978.8 SF
6 CANOPY TREES = PIGEON PLUM TREE, COCCOPLUM SHRUB, & 12.0' HEIGHT
5 UNDERSTORY TREES = ORANGE GEIGER TREE, CORDIA SEBESTENA, @ 8.0' HEIGHT
39 SHRUBS = COCCOPLUM SHRUB, CHRYSOBALANUS ICACO, @ 3 GALLON

PROPERTY AREA SUMMARY:

UPLAND AREA 67,984.0 SF 1.6 AC
DISTURBED UPLAND AREA 158,075.0 SF 3.7 AC
DISTURBED WETLAND AREA 154,534.0 SF 3.5 AC
MANGROVE AREA 152,442.0 SF 3.5 AC
SUBMERGED AREA 298,447.0 SF 6.8 AC
TOTAL PROPERTY AREA 831,482.0 SF 19.1 AC

LOT COVERAGE SUMMARY:

EXISTING ASPHALT 12,504.9 SF 0.29 AC
PROPOSED MODULAR BUILDINGS 10,259.8 SF 0.24 AC
PROPOSED TRASH AREAS 300.0 SF 0.01 AC
PROPOSED ASPHALT DRIVEWAY AND PARKING 16,711.2 SF 0.38 AC
PROPOSED GRAVEL DRIVEWAY AND PARKING 28,167.1 SF 0.65 AC
PROPOSED BOAT RACKS 7,970.0 SF 0.18 AC
PROPOSED MARINA OFFICE BUILDING 480.0 SF 0.01 AC
PROPOSED CONCRETE 1,712.1 SF 0.04 AC
TOTAL IMPERVIOUS AREA 78,105.1 SF 1.79 AC 9.39 %
TOTAL OPEN SPACE AREA 753,376.9 SF 17.30 AC 90.61 %

SHORELINE SETBACK SUMMARY:

EXISTING ACCESS ROAD 1,063.4 SF 0.02 AC
PROPOSED ACCESS ROAD 483.6 SF 0.01 AC
PROPOSED GRAVEL DRIVEWAY AND PARKING 5,806.2 SF 0.13 AC
PROPOSED MARINA OFFICE BUILDING 141.6 SF 0.00 AC
PROPOSED CONCRETE 350.6 SF 0.01 AC
TOTAL SHORELINE IMPERVIOUS AREA 7,845.4 SF 0.18 AC 7.38 %
TOTAL SHORELINE OPEN SPACE AREA 98,799.3 SF 2.27 AC 92.64 %
TOTAL SHORELINE SETBACK AREA 106,644.7 SF 2.44 AC 100.0 %

FRONT SETBACK SUMMARY:

EXISTING ACCESS ROAD 670.0 SF 0.02 AC
TOTAL FRONT SETBACK IMPERVIOUS AREA 670.0 SF 0.02 AC 65.93 %
TOTAL FRONT SETBACK OPEN SPACE AREA 346.2 SF 0.01 AC 34.07 %
TOTAL FRONT SETBACK AREA 1,016.2 SF 0.02 AC 100.00 %

SHARED PARKING CALCULATION:

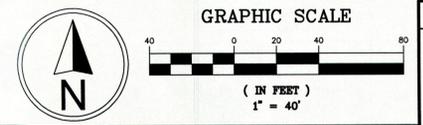
	NIGHT (12-6 AM)	WEEKDAY (9 AM-4 PM)	WEEKDAY (6 PM-12 AM)	WEEKEND (9 AM-4 PM)	WEEKEND (6 PM-12 AM)
MARINA (33 PARKING SPACES)					
MULTIPLIER SPACES	0.05	0.70	0.10	1.00	0.20
	1.65	23.1	3.3	33.0	6.6
RESIDENTIAL (40 PARKING SPACES)					
MULTIPLIER SPACES	1.00	0.60	0.90	0.80	0.90
	40.0	24.0	36.0	32.0	36.0
TOTAL PARKING REQUIRED	41.65	47.1	39.3	65.0	42.6



EXHIBIT ONLY
NOT FOR CONSTRUCTION

LEGEND

PROPERTY BOUNDARY	--- --	PROPOSED BUILDING	[Hatched Box]
SETBACKS	--- --	PROPOSED LANDSCAPE AREA	[Dotted Box]
EXISTING MANGROVES	[Wavy Line]	PROPOSED FENCE	[Dashed Line]
EXISTING WATER (ON-SITE)	[Wavy Line]	PARKING ROW COUNT	(6)
PROPOSED GRAVEL	[Dotted Pattern]		
PROPOSED ASPHALT	[Cross-hatched Pattern]		
PROPOSED CONCRETE	[Solid Grey]		

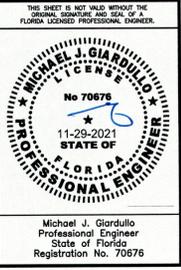


Description	Revisions
1. REVISED PER COUNTY COMMENTS	11-2020 JNB
2. REVISED PER COUNTY COMMENTS	05-2021 JNB
3. REVISED PER COUNTY COMMENTS	06-2021 JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021 JNB
5. FINAL CONDITIONAL USE PLANS	09-2021 JNB

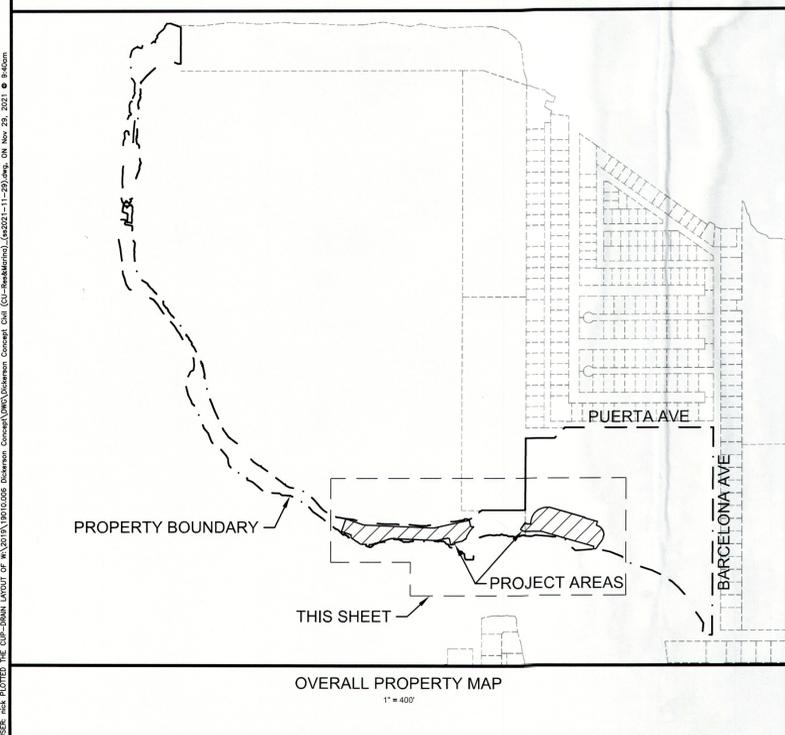
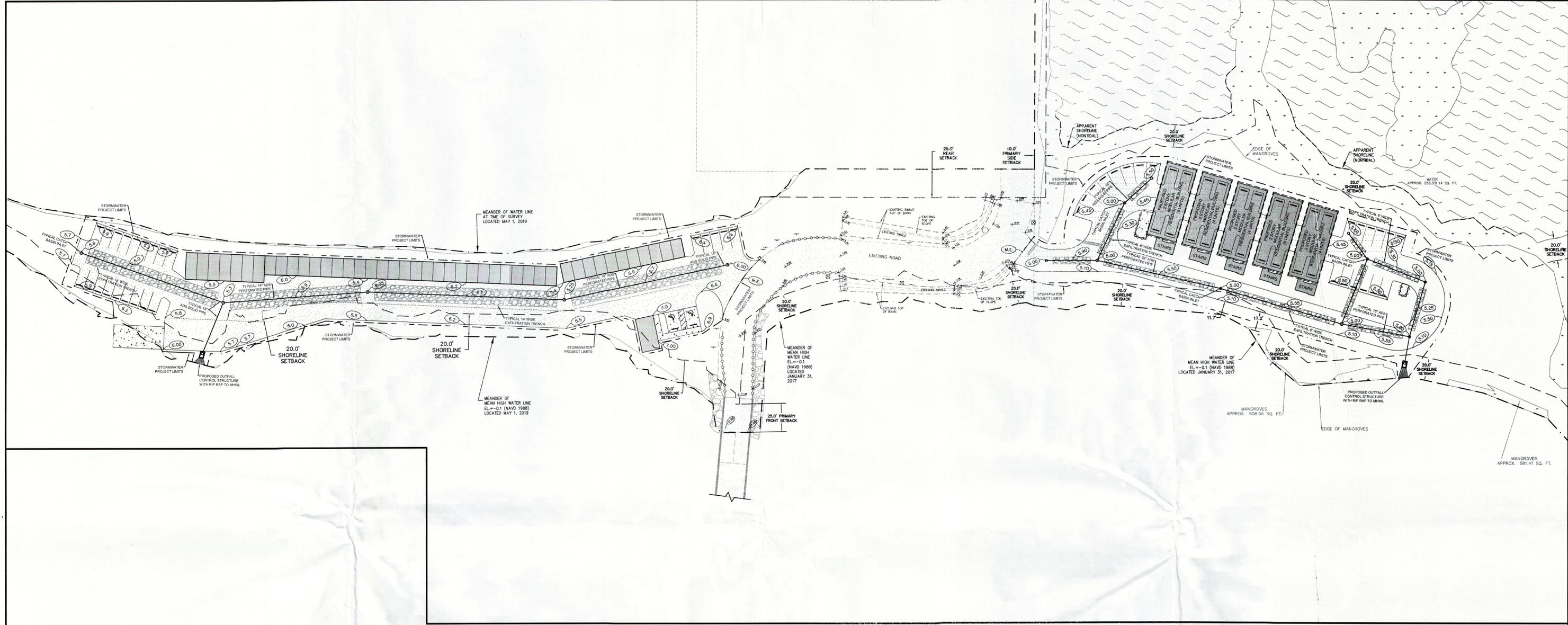
CONCEPT SITE PLAN FOR DICKERSON PROJECT BIG COPPIT KEY, FLORIDA

WEILER ENGINEERING CORPORATION
WEC Excellence in engineering
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
EB #6656

Approved By: MJG Design: JJJ
Scale: 1" = 40' Drawn: JNB
Job No: 19010.006 Checked: JNB
Date Issued: 11-29-2021
Sheet No: C-1.00



DATE: 11-29-2021, 10:00 AM, PROJECT: DICKERSON PROJECT, SHEET: C-1.00, SCALE: 1" = 40', DRAWN BY: JNB, CHECKED BY: JNB, APPROVED BY: MJG, DATE ISSUED: 11-29-2021



PROJECT INFORMATION:

PROJECT: DICKERSON PROJECT VACANT LAND, BIG COPPIT KEY

OWNER/DEVELOPER: DICKERSON GROUP INC. P.O. BOX 5011 MONROE, NC 28111

DATUM: N.A.V.D. 1988

SEWER: BIG COPPIT WASTEWATER

WATER: FLORIDA KEYS AQUEDUCT AUTHORITY

GARBAGE: WASTE MANAGEMENT

ENGINEER: THE WEILER ENGINEERING CORPORATION MICHAEL J. GIARDULLO, P.E. NO. 70676 201 W. MARION AVE, SUITE 1306 PUNTA GORDA, FLORIDA 33950 941.505.1700

SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847) ERIC A. ISAACS, PSM #6783 19950 OVERSEAS HIGHWAY SUGARLOAF KEY, FL 33042 305.394.3690

PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE

FLOOD ZONE: MULTIPLE ZONES ON SITE: "AE10", "VE12", & "VE14" AS SHOWN ON: F.E.M.A. FLOOD INSURANCE RATE MAP #: 120870153K COMMUNITY: 125129 (MONROE COUNTY) PANEL NUMBER: 1531 / SUFFIX: K EFFECTIVE DATE : 18 FEBRUARY 2005

EXISTING ZONING: INDUSTRIAL (I) & COMMERCIAL FISHING AREA (CFA)

FUTURE LAND USE: INDUSTRIAL

PROPOSED DWELLING UNITS: 20

PARKING REQUIRED: (SEE SHARED PARKING CALCULATION)

PARKING PROVIDED:

RESIDENTIAL PROVIDED:
 2 X 10 = 20 COVERED SPACES
 8 + 6 + 6 = 20 UNCOVERED SPACES
 20 COVERED + 20 UNCOVERED = 40 PARKING SPACES

MARINA PARKING PROVIDED
 9 + 9 + 5 + 2 = 25 PARKING SPACES
 40 RESIDENTIAL + 25 MARINA = 65 TOTAL PARKING SPACES

STORMWATER TREATMENT CALCULATIONS:

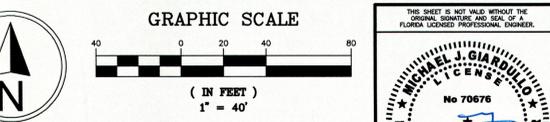
Required Treatment Volume					Required Treatment Volume						
Zone	PerVIOUS Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area	Zone	PerVIOUS Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (sf)	4,245.00	38,236.00	42,481.00	280.00	0.00	Total Site (sf)	13,225.00	27,271.00	40,496.00	10,259.80	0.00
Total Site (ac)	0.097	0.875	0.972	0.006	0.000	Total Site (ac)	0.304	0.625	0.929	0.236	0.000
	0.099	0.877	0.976	0.007	0.000		0.327	0.673	0.999	0.253	0.000
Phase I Development					Phase I Development						
Phase I (sf)	8,000.31	3,550.07	11,550.38	1500	17,008.07	Phase I (sf)	4,746.56	3,374.67	8,121.23	1500	7,119.83
Phase I (ac)	0.184	0.082	0.266	0.004	0.276	Phase I (ac)	0.109	0.077	0.186	0.004	0.163
Length of Exfiltration Trench Required					Length of Exfiltration Trench Required						
L =	$L = \frac{V}{W \times K} \times 1.49 \times 10^{-5} \times (1.49 \times 10^{-5})^{-1} \times W \times K$				L =	$L = \frac{V}{W \times K} \times 1.49 \times 10^{-5} \times (1.49 \times 10^{-5})^{-1} \times W \times K$					
L =	Length of Trench Required (ft)				L =	Length of Trench Required (ft)					
V =	Volume to be Exfiltrated (ac-ft)				V =	Volume to be Exfiltrated (ac-ft)					
W =	Trench Width (ft)				W =	Trench Width (ft)					
K =	Hydraulic Conductivity (cfs/ft head)				K =	Hydraulic Conductivity (cfs/ft head)					
H2 =	Depth to Water Table (ft)				H2 =	Depth to Water Table (ft)					
Ds =	Non-Saturated Trench Depth (ft)				Ds =	Non-Saturated Trench Depth (ft)					
Ds =	Saturated Trench Depth (ft)				Ds =	Saturated Trench Depth (ft)					
Required Length					Required Length						
V =	3.00 ac-ft	Length of Exfiltration Provided =	535 ft	V =	1.961 ac-ft	Length of Exfiltration Provided =	405 ft				
W =	14.00 ft	W =	14.00 ft	W =	6.00 ft	W =	6.00 ft				
K =	0.0000974 cfs/ft head	K =	0.0000974 cfs/ft head	K =	0.0000974 cfs/ft head	K =	0.0000974 cfs/ft head				
H2 =	2.00 ft	H2 =	2.00 ft	H2 =	2.00 ft	H2 =	2.00 ft				
Ds =	2.00 ft	Ds =	2.00 ft	Ds =	2.00 ft	Ds =	2.00 ft				
Ds =	5.00 ft	Ds =	5.00 ft	Ds =	5.00 ft	Ds =	5.00 ft				
L =	331.08 ft	L =	429.76 ft	L =	429.76 ft	L =	335.56 ac-ft				
Total Exfiltration Trench Required = 532 LF					Total Exfiltration Trench Required = 490 LF						
Total Volume Provided by Exfiltration = 0.399 ac-ft					Total Volume Provided by Exfiltration = 0.213 ac-ft						

EXHIBIT ONLY
NOT FOR CONSTRUCTION

RECEIVED
 DEC 27 2021
 2021-255
 MONROE CO. PLANNING DEPT

LEGEND

PROPERTY BOUNDARY	PROPOSED BUILDING
SETBACKS	PROPOSED SPOT ELEVATION (M.E. = MATCH EXISTING)
EXISTING MANGROVES	PROPOSED FENCE
EXISTING WATER (ON-SITE)	PROPOSED EXFILTRATION TRENCH
PROPOSED GRAVEL	PROPOSED STORMWATER PIPE
PROPOSED ASPHALT	PROPOSED STORMWATER INLET
PROPOSED CONCRETE	



Description	Revisions
1. REVISED PER COUNTY COMMENTS	11-2020 JNB
2. REVISED PER COUNTY COMMENTS	05-2021 JNB
3. REVISED PER COUNTY COMMENTS	06-2021 JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021 JNB
5. FINAL CONDITIONAL USE PLANS	09-2021 JNB

CONCEPT DRAINAGE PLAN
 FOR
DICKERSON PROJECT
 BIG COPPIT KEY, FLORIDA

WEILER ENGINEERING CORPORATION
WEC Excellence in engineering
 201 W. MARION AVENUE, SUITE 1306
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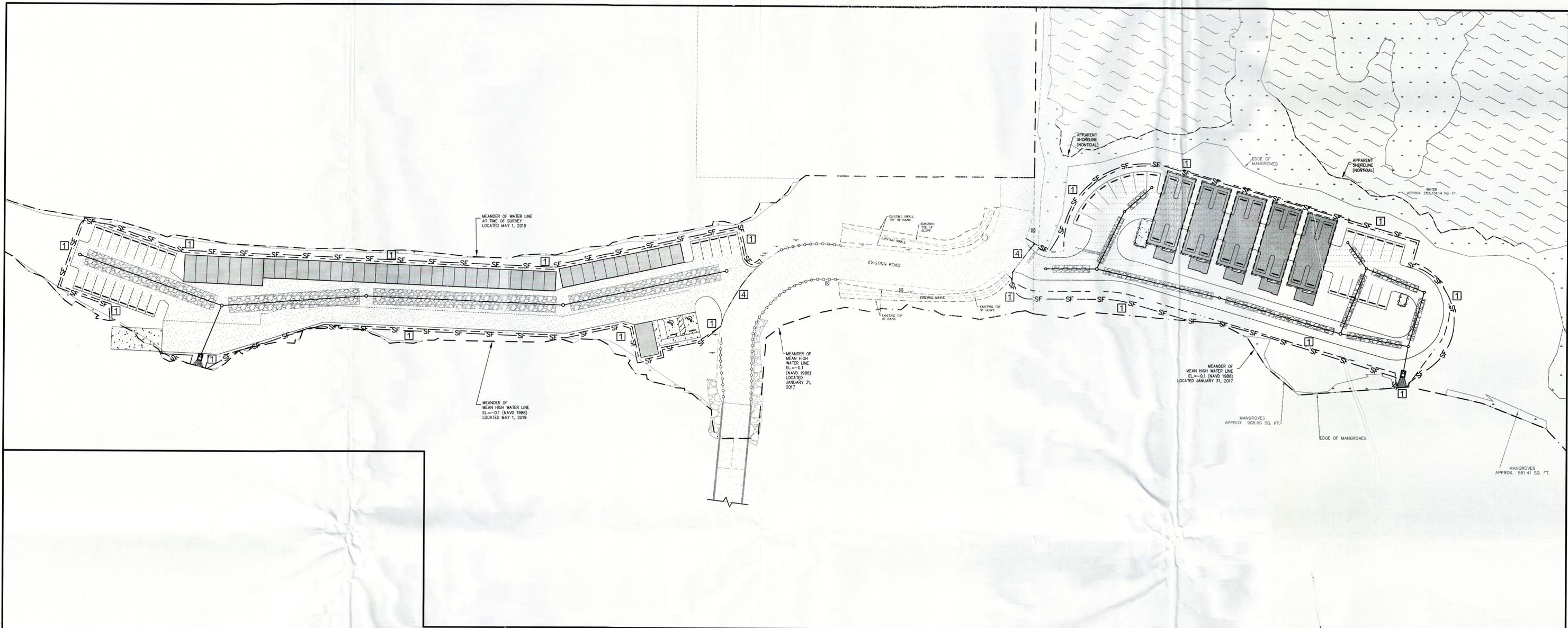
Approved By:	MJG	Design:	JJJ
Scale:	1" = 40'	Drawn:	JNB
Job No.:	19010.006	Checked:	JNB
Date Issued:	11-29-2021	Sheet No.:	C-2.00

THIS SHEET IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF FLORIDA LICENSED PROFESSIONAL ENGINEER.

MICHAEL J. GIARDULLO
 LICENSE
 No 70676
 11-29-2021
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

Michael J. Giardullo
 Professional Engineer
 State of Florida
 Registration No. 70676

USER: rhp; PLOTTED: THE CUP-DRAWN LAYOUT OF DP W: 1201010.006 Dickerson Concept Drainage (Wec) (2021-11-29) Dwg. On: Nov 29, 2021 @ 8:40am



PROJECT INFORMATION:

PROJECT: DICKERSON PROJECT
VACANT LAND, BIG COPPIT KEY

OWNER/DEVELOPER: DICKERSON GROUP INC.
P.O. BOX 5011
MONROE, NC 28111

DATUM: N.A.V.D. 1988

SEWER: BIG COPPIT WASTEWATER

WATER: FLORIDA KEYS AQUEDUCT AUTHORITY

GARBAGE: WASTE MANAGEMENT

ENGINEER: THE WEILER ENGINEERING CORPORATION
MICHAEL J. GIARDULLO, P.E. NO. 70676
201 W. MARION AVE., SUITE 1306
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SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847)
ERIC A. ISAACS, PSM #6783
19960 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
305.394.3690

PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE

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COMMUNITY: 125129 (MONROE COUNTY)
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EFFECTIVE DATE: 18 FEBRUARY 2005

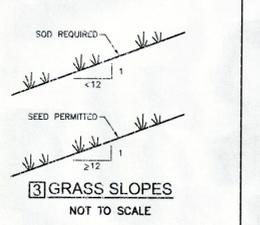
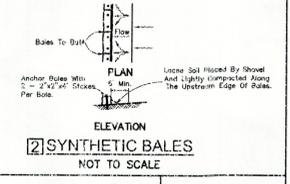
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PARKING REQUIRED: (SEE SHARED PARKING CALCULATION)

PARKING PROVIDED:
RESIDENTIAL PARKING PROVIDED:
2 X 10 = 20 COVERED SPACES
8 + 6 + 6 = 20 UNCOVERED SPACES
20 COVERED + 20 UNCOVERED = 40 PARKING SPACES
MARINA PARKING PROVIDED:
9 + 9 + 5 + 2 = 25 PARKING SPACES
40 RESIDENTIAL + 25 MARINA = 65 TOTAL PARKING SPACES



EROSION CONTROL MAINTENANCE SCHEDULE

THE CONTRACTOR SHALL INSTALL SILT FENCE, SYNTHETIC BALES, AND OTHER EROSION CONTROL DEVICES AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING CONSTRUCTION. THESE INSTALLATIONS AS SHOWN ON THE DRAWINGS SHALL BE CONSIDERED THE MINIMUM EROSION/SEDIMENT PROTECTION REQUIRED FOR THE SITE. IN ADDITION THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY TO INSTALL PROTECTIVE FACILITIES ELSEWHERE ON THE SITE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THE EROSION PROTECTION FACILITIES THROUGHOUT COMPLETION OF CONSTRUCTION. THE CONTRACTOR SHALL PERFORM DAILY INSPECTIONS OF THE FACILITIES TO ENSURE THAT THE EROSION PROTECTION FACILITIES ARE MAINTAINING THEIR PROTECTIVE FUNCTIONS AND INTEGRITY.

IN ADDITION TO THE INSTALLATION OF EROSION PROTECTION FACILITIES, THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE MAY DEEM IT NECESSARY, UPON INSPECTION OF THE SITE, THAT TURBIDITY MONITORING BE PERFORMED DAILY IF BACKGROUND TURBIDITY LEVELS EXCEED 25-29 NTUs. FOR BACKGROUND TURBIDITY LEVELS LESS THAN 25 NTUs, TURBIDITY MONITORING SHALL BE PERFORMED WEEKLY. IF BACKGROUND TURBIDITY LEVELS ARE GREATER THAN 25 NTUs ALL CONSTRUCTION ACTIVITIES SHALL STOP AND THE CONTRACTOR SHALL PROVIDE ADDITIONAL EROSION PROTECTION NECESSARY TO RETURN LEVELS TO 25 NTUs OR LESS. CONSTRUCTION ACTIVITIES SHALL BEGIN AGAIN ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

ALL EROSION PROTECTION FACILITIES SHALL BE REMOVED AFTER CONSTRUCTION COMPLETION, AND WHEN A VEGETATIVE COVER HAS BEEN WELL ESTABLISHED OVER THE CONSTRUCTED AREAS PER THE PLAN. THE CONTRACTOR SHALL FURNISH PROTECTION FACILITIES ONLY UPON APPROVAL BY THE ENGINEER, OWNER, OR OWNER'S REPRESENTATIVE.

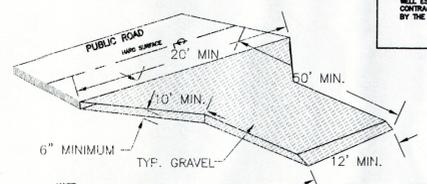
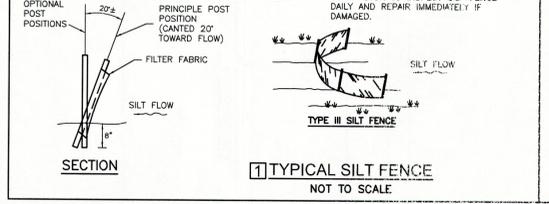
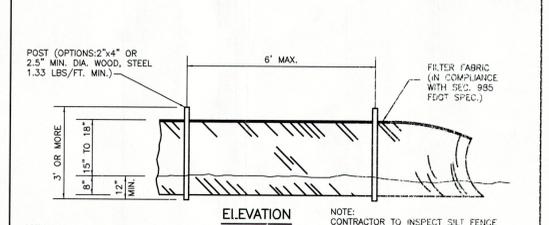
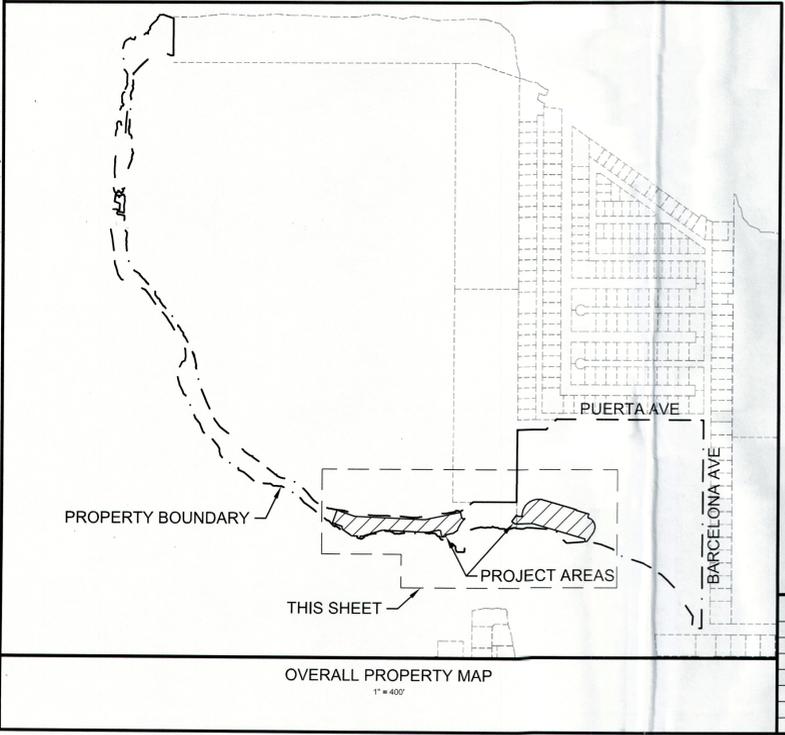
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2021-255

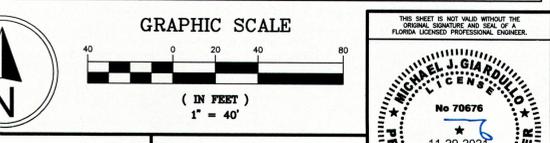
MONROE CO. PLANNING DEPT.

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LEGEND

PROPERTY BOUNDARY	PROPOSED BUILDING
EXISTING MANGROVES	PROPOSED FENCE
EXISTING WATER (ON-SITE)	BEST MANAGEMENT PRACTICE DETAIL NUMBER AND REFERENCE
PROPOSED GRAVEL	TYPICAL SILT FENCE LOCATION
PROPOSED ASPHALT	
PROPOSED CONCRETE	



Description	Revisions	By
1. REVISED PER COUNTY COMMENTS	11-2020	JNB
2. REVISED PER COUNTY COMMENTS	05-2021	JNB
3. REVISED PER COUNTY COMMENTS	06-2021	JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021	JNB
5. FINAL CONDITIONAL USE PLANS	09-2021	JNB

**CONCEPT BMP PLAN
FOR
DICKERSON PROJECT
BIG COPPIT KEY, FLORIDA**

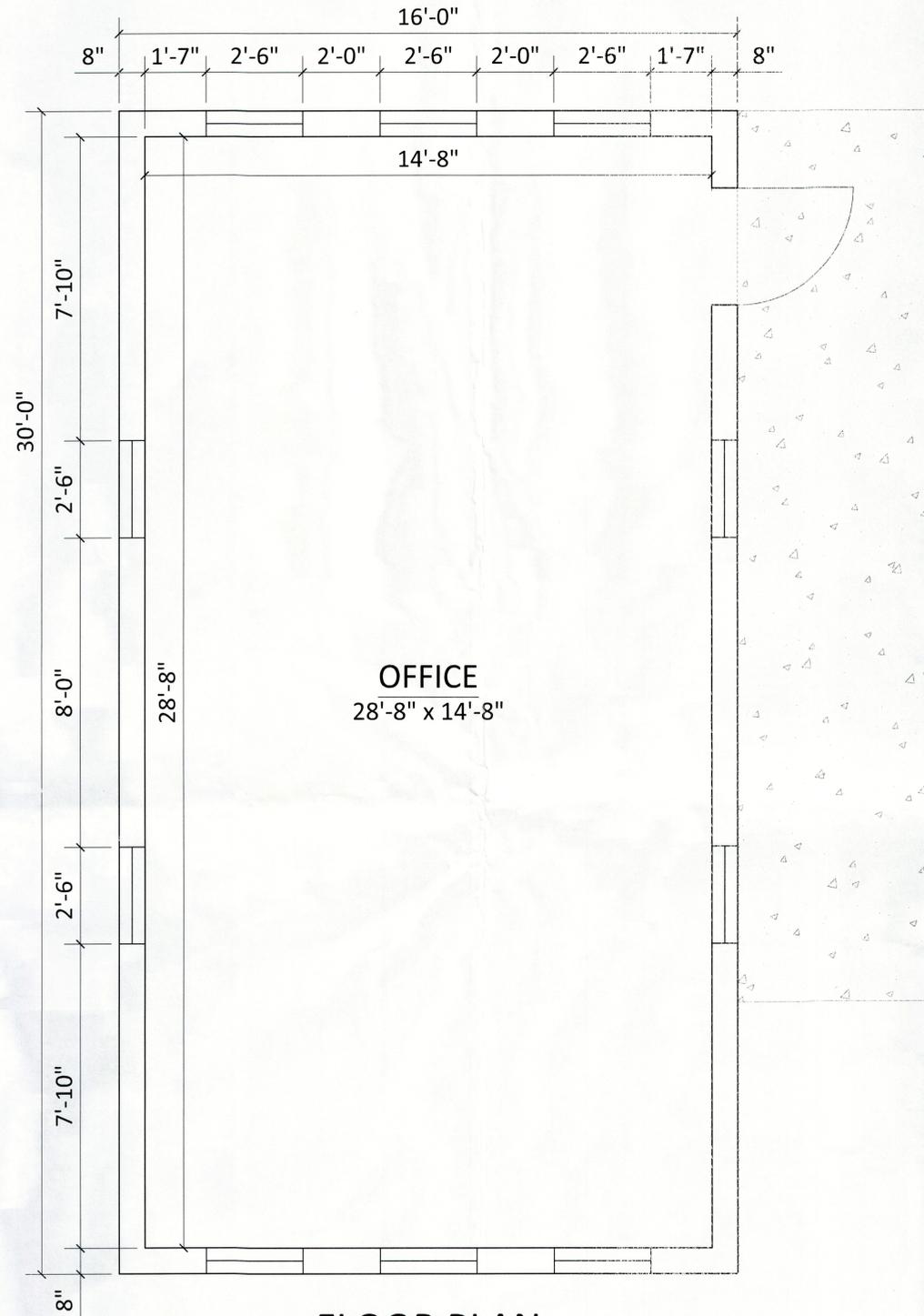
WEILER ENGINEERING CORPORATION
WEC Excellence in engineering
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
EB #8656

Approved By: MJG	Design: JJJ
Scale: 1" = 40'	Drawn: JNB
Job No: 19010.006	Checked: JNB
Date Issued: 11-29-2021	
Sheet No. C-3.00	



USER: rch PLT025 THE CUP-STEP LAYOUT OF 11/23/2019 10:00:00 AM Revision: Concept (User: rch) Location: C:\Users\rch\Documents\Projects\11-29-2021\11-29-2021_01.dwg Date: 11/29/2021 10:00:00 AM

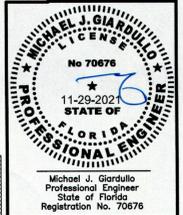
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FLOOR PLAN
1/2" = 1'-0"

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Michael J. Giardullo
Professional Engineer
State of Florida
Registration No. 70676

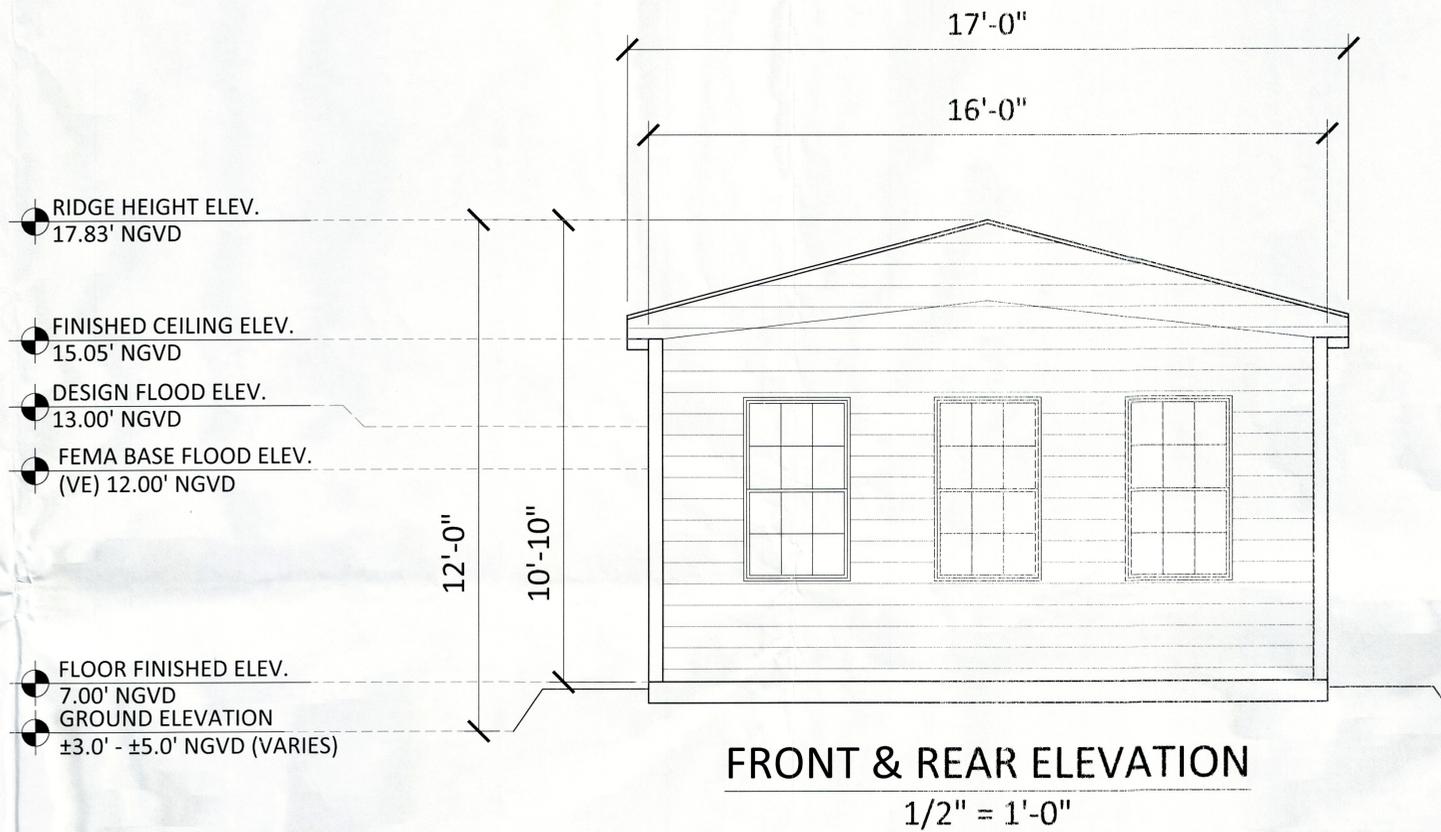
Description	Revisions

OFFICE BUILDING FLOOR PLAN
for
DICKERSON PROJECT

WEC
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excellence in engineering
201 W. MARION AVE., SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
FB #6656

Approved By:	JNB
Scale:	1/2" = 1'
Job No:	19010.006
Date Issued:	11-29-2021
Design:	JNB
Drawn:	JNB
Checked:	M/JG

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Design:	JNB
Drawn:	JNB
Checked:	MJG
Approved By:	1/2" = 1'
Scale:	19010.006
Job No:	11-29-2021
Date Issued:	

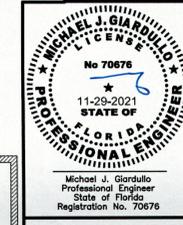
WEC
 WEILER ENGINEERING CORPORATION
 excellence in engineering
 201 W. MARION AVE, SUITE 1306
 PUNTA GORDA, FLORIDA 33950
 941.505.1700 FB #6656

OFFICE BUILDING ELEVATIONS 1
 for
DICKERSON PROJECT

Description	Revisions

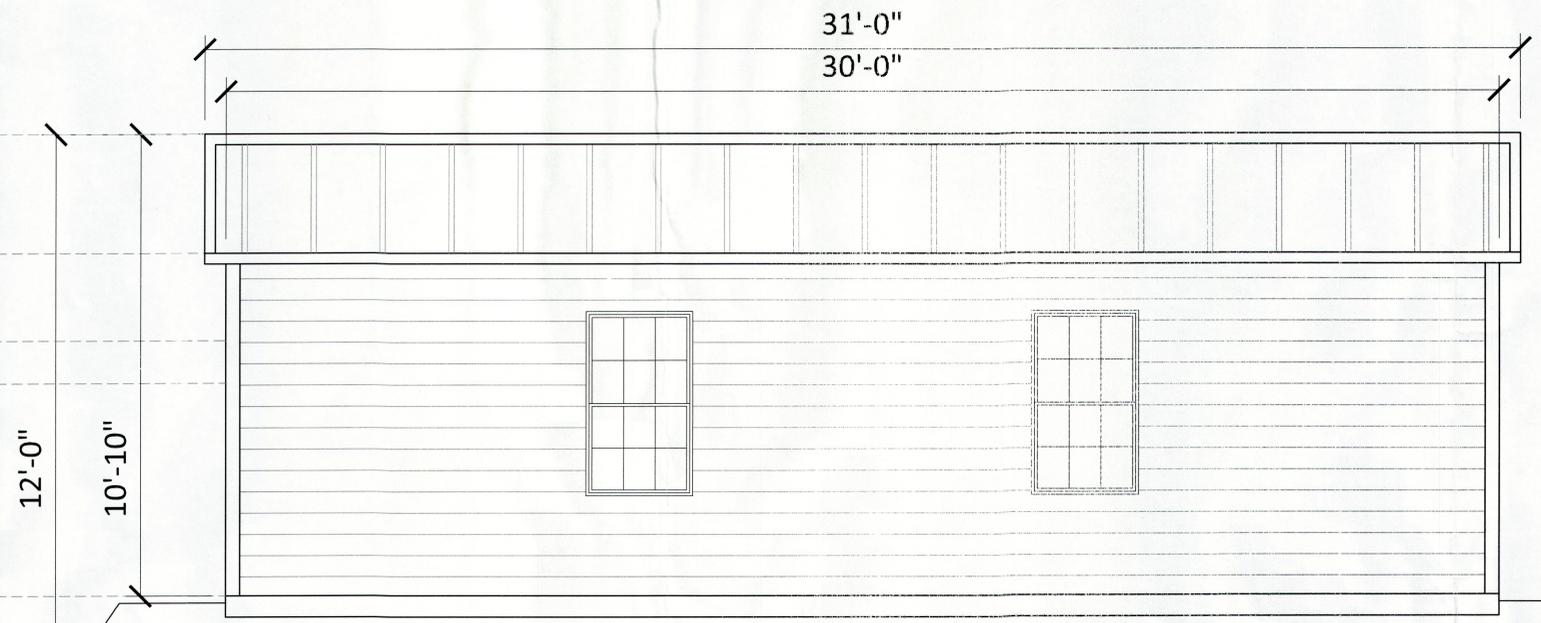
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- RIDGE HEIGHT ELEV.
17.83' NGVD
- FINISHED CEILING ELEV.
15.05' NGVD
- DESIGN FLOOD ELEV.
13.00' NGVD
- FEMA BASE FLOOD ELEV.
(VE) 12.00' NGVD
- FLOOR FINISHED ELEV.
7.00' NGVD
- GROUND ELEVATION
±3.0' - ±5.0' NGVD (VARIES)



TYPICAL LEFT SIDE ELEVATION

1/2" = 1'-0"

- RIDGE HEIGHT ELEV.
17.83' NGVD
- FINISHED CEILING ELEV.
15.05' NGVD
- DESIGN FLOOD ELEV.
13.00' NGVD
- FEMA BASE FLOOD ELEV.
(VE) 12.00' NGVD
- FLOOR FINISHED ELEV.
7.00' NGVD
- GROUND ELEVATION
±3.0' - ±5.0' NGVD (VARIES)



TYPICAL RIGHT SIDE ELEVATION

1/2" = 1'-0"

Design:	JNB
Drawn:	JNB
Checked:	MJG
Job No:	19010.006
Date Issued:	11-29-2021

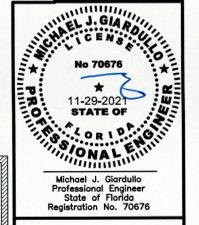
WEG
WELER ENGINEERING CORPORATION
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PUNTA GORDA, FLORIDA 33950
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FB #46658

OFFICE BUILDING ELEVATIONS 2
for
DICKERSON PROJECT

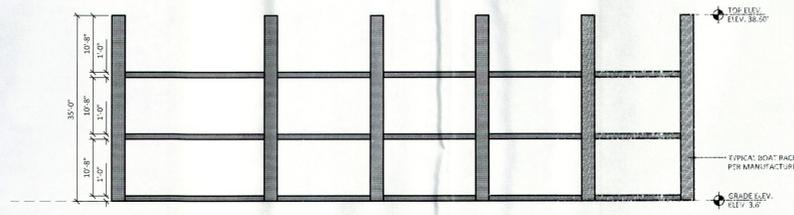
Revisions	Description

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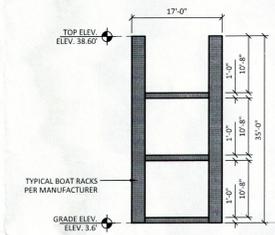
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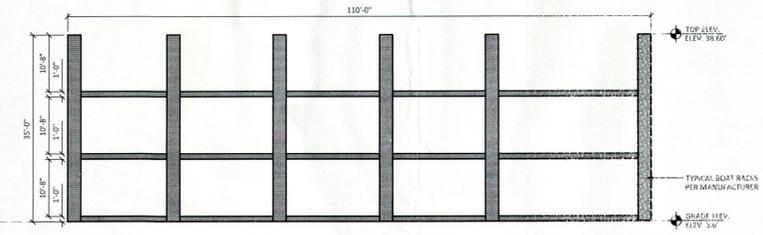
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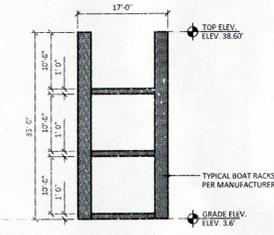
RACK I TYPICAL REAR ELEVATION
1/16" = 1'-0"



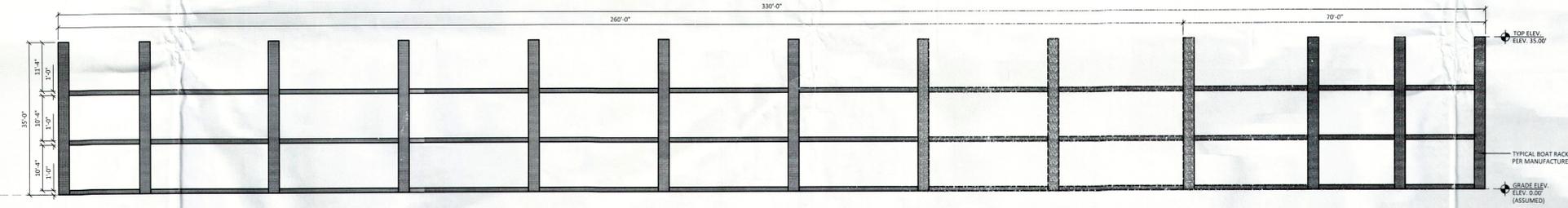
RACK I TYPICAL LEFT SIDE ELEVATION
1/16" = 1'-0"



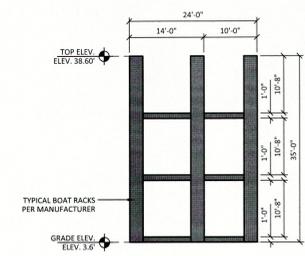
RACK I TYPICAL FRONT ELEVATION
1/16" = 1'-0"



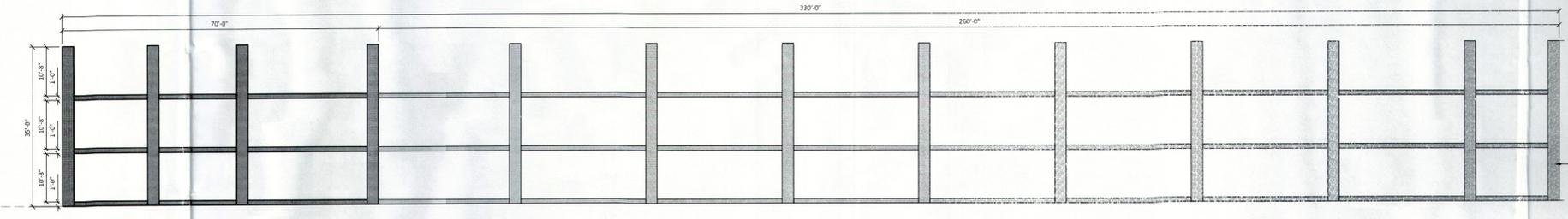
RACK I TYPICAL RIGHT SIDE ELEVATION
1/16" = 1'-0"



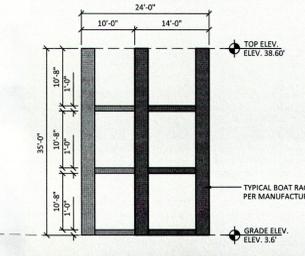
RACK II TYPICAL REAR ELEVATION
1/16" = 1'-0"



RACK II TYPICAL LEFT SIDE ELEVATION
1/16" = 1'-0"



RACK II TYPICAL FRONT ELEVATION
1/16" = 1'-0"



RACK II TYPICAL RIGHT SIDE ELEVATION
1/16" = 1'-0"

Design:	JNB
Drawn:	JNB
Checked:	MIG
Approved By:	1/16" = 1'
Scale:	19010.006
Job No:	11-29-2021
Date Issued:	

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BOAT RACK ELEVATIONS
for
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PROFESSIONAL ENGINEER
MICHAEL J. GIARDULLO
No 70676
11-29-2021
STATE OF FLORIDA
Michael J. Giardullo
Professional Engineer
State of Florida
Registration No. 70676

no.	Parcel ID	Property Owner	Address 1	Address 1	City/State/Zip
1	00157790-000000	17 VENTANA LLC	2516 Linda Ave		Key West, FL 33040
2	00121980-000301	22 CALLE UNO LLC	27 Tamarind Dr		Key West, FL 33040
3	00158510-000100	AGZIGIAN KRISTEN	22 Riviera Dr		Key West, FL 33040
4	00157280-000000	ALEXANDER MARK L	10 Verde Dr		Key West, FL 33040
5	00158170-000000	ALFONSO PHYLLIS	1485 W 31st St		Hialeah, FL 33012
6	00150440-000000	ALVAREZ JANA	43 Split Oak Rd		St Augustine, FL 32092
7	00151090-000000	ANDERSON JACK D	101 Avenue G		Key West, FL 33040
8	00158330-000000	ANNARINO JUSTIN J	1 Riviera Dr		Key West, FL 33040
9	00158070-000000	ANTHONY YSLA F	25 Puerta Dr		Key West, FL 33040
10	00151130-000000	ARCE AARON W	106 Avenue G Ave		Key West, FL 33040
11	00158210-000000	ARCHANGEL DEVELOPMENT LTD	185 Bent Tree Rd		Sunbury, OH 43074
12	00150300-000000	ARENCIBIA JR SANTIAGO	122 Avenue F		Key West, FL 33040
13	00158260-000000	ARNOLD DORIS R	23 Flipper Rd		Key West, FL 33040
14	00157470-000000	ASHLER JR ROBERT P	1 Luna Ln		Key West, FL 33040
15	00157950-000000	BARRERA CHRISTOPHER J	1 Puerta Dr		Key West, FL 33040
16	00157740-000000	BAUMAN HELENE	7 Ventana Ln		Key West, FL 33040
17	00158410-000000	BECINO JOSE CARLOS	44 Riviera Dr		Key West, FL 33040
18	00158380-000000	BELIE STEPHEN	181 Key Deer Blvd		Big Pine Key, FL 33043
19	00158490-000000	BELLOWS MICHAEL A	PO Box 4510		Key West, FL 33041
20	00158120-000000	BIXLER ISAAC P	3713 Flagler Ave		Key West, FL 33040
21	00121690-000000	BOT TIIF	C/O DEP, DIVISION OF STATE LANDS	3900 Commonwealth Blvd Mail Station 108	Tallahassee, FL 32399
22	00157780-000000	BOYD RICHARD SCOTT	15 Ventana Ln		Key West, FL 33040
23	00157860-000000	C-44 LLC	811 Peacock		Key West, FL 33040
24	00150490-000000	CALZADILLA ANTHONY	361 Avenue E		Key West, FL 33040
25	00151100-000000	CARBAJAL EVELYN O	103 Avenue G		Key West, FL 33040
26	00157500-000000	CARRERAS RAFAEL B	7 Luna Ln		Key West, FL 33040
27	00158180-000000	CARTER WILLIAM	21583 Valencia Rd		Summerland Key, FL 33042
28	00158190-000000	CARTER WILLIAM A	21583 Valencia Rd		Summerland Key, FL 33042
29	00158440-000000	CARTER WILLIAM ALAN	21583 Valencia Rd		Summerland Key, FL 33042
30	00150370-000000	CASTALDO KRISTI K	117 Avenue G		Key West, FL 33040
31	00150390-000000	CONDELLA DEBORAH A	121 Avenue G		Key West, FL 33040
32	00150260-000000	CONDELLA KRISTEN ORSAGE	134 Avenue F		Key West, FL 33040
33	00158470-000000	DADE ROBERT E	31524 Avenue F		Big Pine Key, FL 33043
34	00157980-000000	DE POO MARTHA ANNE	PO Box 911		Key West, FL 33041
35	00158530-000000	DELGADO DAGOBERTO	20 Riviera Dr		Key West, FL 33040
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40	00158510-000000	DORNISCH JENNY A	24 Riviera Dr		Key West, FL 33040
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43	00121980-000100	FARALDO CLAUDIA	PO Box 5486		Key West, FL 33045
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54	00157560-000000	FRANKLIN GORDON	PO Box 355		Key West, FL 33041
55	00121980-000400	GAGE RICHARD	21 Calle Uno		Key West, FL 33040
56	00157490-000000	GALLETTI JOSEPH	3103 Lake Arnold Pl		Orlando, FL 32806
57	00157760-000000	GIBSON REBECCA	7002 Chadwick Ct		Midland, TX 79707
58	00150420-000000	GIL JESSICA A	116 Avenue G		Key West, FL 33040

59	00157330-000000	GLADDING PAUL L	16340 Antigua Way				Bokeelia, FL 33922
60	00158000-000000	GNAPP STEVEN	11 Puerta Dr				Key West, FL 33040
61	00157730-000000	GUYNN JAMES PHILIP	5 Ventana Ln				Key West, FL 33040
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65	00158750-000000	HATTON CAROL ANDERSON	2996 Whittier Ct				Ann Arbor, MI 48104
66	00158270-000000	HELLIESEN DOUGLAS AND CAROLYN REVOCABLE TRUST	1221 Laird St				Key West, FL 33040
67	00151120-000000	HILL LUKE	107 Avenue G				Key West, FL 33040
68	00157630-000000	HILLEARY CHRISTOPHER JON	16 Luna Ln				Key West, FL 33040
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76	00157660-000000	JONES VICTORIA	49 Brown St				Mineola, NY 11501
77	00158430-000000	KEYS SUNSHINE LLC	1245 Court St				Clearwater, FL 33756
78	00150330-000000	KILBURN LORRAINE W	109 Avenue G				Key West, FL 33040
79	00151150-000000	KIMBLER JOHNNIE B TRUST 9/25/2007	101 Shore Ave				Key West, FL 33040
80	00151050-000000	KOPPAL CRYSTAL M	114 Avenue F				Key West, FL 33040
81	00157680-000000	L PROPERTIES OF THE KEYS LLC	15 Cormorant Ln				Key West, FL 33040
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83	00150360-000000	LARA MARGRET M	115 Avenue G				Key West, FL 33040
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85	00157770-000000	LAURITZEN VALERIE	13 Ventana Ln				Key West, FL 33040
86	00158110-000000	LEVINE-SOUTHCORBE DIANNA C	886 Murray Dr				Honolulu, HI 96818
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91	00151060-000000	MAJCHROWICZ KAREN M	110 Avenue F				Key West, FL 33040
92	00157270-000000	MARQUESS RAYMOND C LIVING TRUST 6/6/2007	2832 Cherokee Cir S				Jacksonville, FL 32205
93	00158160-000000	MARTINEZ ALBERTO ESTATE	C/O ARACELY GONZALEZ P/R	35 Riviera Dr			Key West, FL 33040
94	00158420-000000	MARTINEZ YORDY	42 Riviera Dr				Key West, FL 33040
95	00157510-000000	MILLER JASON DAVID	10 Del Mar Blvd				Key West, FL 33040
96	00121980-000200	MILLS CYNTHIA A	16 Calle Dos				Key West, FL 33040
97	00157800-000000	MOBLEY GORDON C	17735 Fort St				Riverview, MI 48193
98	00150280-000000	MOISE JOSEPH	126 Avenue F				Key West, FL 33040
99	00157640-000000	MONZON JOSE A	C/O MARGRET LARA	115 Avenue G			Key West, FL 33040
100	00157540-000000	MOORE CHARLES NICHOLAS	15 Luna Ln				Key West, FL 33040
101	00158770-000000	MOORE JOHN ANDREW	714 Emma St				Key West, FL 33040
102	00157300-000000	NEILSON DANIEL MARCUS	1330 Duncan St				Key West, FL 33040
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105	00158600-000000	NUNEZ ANDREW VINCENT	6 Riviera Dr				Key West, FL 33040
106	00151140-000000	O'NEILL FRANCES OWL	39 B 9th Ave				Key West, FL 33040
107	00121980-000300	O'NEILL MADELEINE R	23 Calle Uno				Key West, FL 33040
108	00157700-000000	OWENS DEBORAH	2 Luna Ln				Key West, FL 33040
109	Parcelld	OwnerName	OwnerAddress1	OwnerAddress2	OwnerAddress3	OwnerCityStZip	Country
110	00157650-000000	PARDEE DEBORAH M	12 Luna Ln				Key West, FL 33040
111	00158390-000000	PARKER JAMES	880 Cherokee Cir				Summerland Key, FL 33042
112	00158720-000000	PERRY DIANA L	21 Del Mar Blvd				Key West, FL 33040
113	00157710-000000	PERRY DIANA L	8 Del Mar Blvd				Key West, FL 33040
114	00157720-000000	PERRY DIANA L	1 Ventana Ln				Key West, FL 33040
115	00157190-000000	PERRY DONALD C	28 Verde Dr				Key West, FL 33040
116	00158820-000000	PERRY JACOB E	1 Ventana Ln				Key West, FL 33040
117	00157820-000000	PERRY JACOB E	21 Del Mar Blvd				Key West, FL 33040

118	00150340-000000	PIERCE LAWRENCE F	111 Avenue G		Key West, FL 33040
119	00158480-000000	POSTETTER MICHELE M	30 Riviera Dr		Key West, FL 33040
120	00120940-000100	QUARRY BIG COPPITT II, LTD	3030 Hartley Rd	STE 310	Jacksonville, FL 32257
121	00120940-000201	QUARRY BIG COPPITT LTD	3030 Hartley Rd		Jacksonville, FL 32257
122	00120940-000101	QUARRY PARTNERS LLC	3030 Hartley Rd		Jacksonville, FL 32257
123	00158050-000000	RALEY DARREN L	21 Puerta Dr		Key West, FL 33040
124	00158090-000000	RAMIREZ JR FRANK	49 Riviera Dr		Key West, FL 33040
125	00150410-000000	REED PHILLIP	118 Avenue G		Key West, FL 33040
126	00158670-000000	REGUEIRA LUIS	23 Barcelona Dr		Key West, FL 33040
127	00157690-000000	RIVIERE VICTORIA	4 Luna Ln		Key West, FL 33040
128	00157520-000000	ROBERTS JESSE	11 Luna Ln		Key West, FL 33040
129	00158200-000000	ROCA CORALIA ROSA	27 Riviera Dr		Key West, FL 33040
130	00122080-000000	ROCKLAND OPERATIONS LLC	PO Box 787		Key West, FL 33041
131	00158150-000000	ROTHMAN REBECCA NAOMI	37 Riviera Dr		Key West, FL 33040
132	00157900-000000	ROUBIK JULIE A	10 Ventana Ln		Key West, FL 33040
133	00150310-000000	RUBLE STACI L	120 Avenue F		Key West, FL 33040
134	00158290-000000	SATTELMEIER DEBORAH	9 Riviera Dr		Key West, FL 33040
135	00157620-000000	SAWYER CINDY	18 Luna Ln		Key West, FL 33040
136	00157810-000000	SEAWISE LLC	401 Secession Ave		Abbeville, SC 29620
137	00157920-000000	SERMONS NANCY R	2485 PROSPECTOR WAY		VICTORIA, BRITISH COLUMBIA V9B 5X6 CA
138	00157230-000000	SHAW ROBBIE D	20 Verde Dr		Key West, FL 33040
139	00157880-000000	SHORT SUSAN	PO Box 806		Red Oak, TX 75154
140	00158080-000000	SIMPSON DAVID E	51 Riviera Dr		Key West, FL 33040
141	00158320-000000	SIMPSON SHARON E	3 Riviera Dr		Key West, FL 33040
142	00157930-000000	SITTER MARK D	2056 E Lakeshore Dr		Twin Lakes, WI 53181
143	00151040-000000	SMITH NICHOLAS HAIG	116 Avenue F		Key West, FL 33040
144	00150290-000000	SOCA CARMEN	6451 6th St		Key West, FL 33040
145	00121950-001900	SOO ROBERT	17190 Amberjack Ln		Sugarloaf Key, FL 33042
146	00157850-000000	SPARKMAN MERLE LANE REVOCABLE TRUST 2/20/2018	20 Ventana Ln		Key West, FL 33040
147	00158220-000000	SPINNEY DONALD L	300 Prospect St		Woodstock, CT 06281
148	00158230-000000	SPINNEY DONALD M	300 Prospect St		Woodstock, CT 06281
149	00157310-000000	STABILE PAUL A	4 Verde Dr		Key West, FL 33040
150	00121700-000000	STATE OF FLA DEPT OF TRANSPORTATION	1000 NW 111th Ave		Miami, FL 33172
151	00158400-000000	STEINMEYER DAVID	8 Sapphire Dr		Key West, FL 33040
152	00157610-000000	SWEETING FRANCENA AIMEE	62 Lobstertail Rd		Big Pine Key, FL 33043
153	00158710-000000	T & D MART PROPERTIES LLC	15 Cormorant Ln		Key West, FL 33040
154	00158560-000000	TEAL JOSEPH V	14 Riviera Dr		Key West, FL 33040
155	00157910-000000	TECHMER MICHAEL ANTHONY	8 Ventana Ln		Key West, FL 33040
156	00157590-000000	TENZEL DAVID	3841 N 38th Ave		Hollywood, FL 33021
157	00158370-000000	THAMES KENDALL J	52 Riviera Dr		Key West, FL 33040
158	00158920-000000	TLPB PROPERTIES LLC	15 Cormorant Ln		Key West, FL 33040
159	00121950-001800	TOPPINO JOHN P	18 Calle Uno		Key West, FL 33040
160	00150450-000000	TRUMAN 2016 SC6 TITLE TRUST	PO Box 830		Armonk, NY 10504
161	00157840-000000	UBEDA FANNY ELIZABETH	24 Ventana Ln		Key West, FL 33040
162	00157830-000000	UBEDA RAFAEL JUAN	24 Ventana Ln		Key West, FL 33040
163	00157550-000000	VANSE VALARIE J	17 Luna Ln		Key West, FL 33040
164	00157580-000000	WARE JR JERRY ALLEN	23 Luna Ln		Key West, FL 33040
165	00150380-000000	WASSON JOHN	201 4th St		Key West, FL 33040
166	00150430-000000	WICKERS III WILLIAM O	114 Avenue G		Key West, FL 33040
167	00158340-000000	WILBUR WRIGHT 725 LLC	PO Box 121		New York, NY 10014
168	00157210-000000	WILCOX DENISE	24 Verde Dr		Key West, FL 33040
169	00157240-000000	WILKINS ROBERT E	18 Verde Dr		Key West, FL 33040
170	00158060-000000	WINKO BARBARA L	23 Puerta Dr		Key West, FL 33040
171	00158540-000000	WRIGHT ERIC	18 Riviera Dr		Key West, FL 33040
172	00158460-000000	ZUNIGA ASENCION	34 Riviera Dr		Key West, FL 33040

17 VENTANA LLC
2516 Linda Ave
Key West, FL 33040

22 CALLE UNO LLC
27 Tamarind Dr
Key West, FL 33040

AGZIGIAN KRISTEN
22 Riviera Dr
Key West, FL 33040

ALEXANDER MARK L
10 Verde Dr
Key West, FL 33040

ALFONSO PHYLLIS
1485 W 31st St
Hialeah, FL 33012

ALVAREZ JANA
43 Split Oak Rd
St Augustine, FL 32092

ANDERSON JACK D
101 Avenue G
Key West, FL 33040

ANNARINO JUSTIN J
1 Riviera Dr
Key West, FL 33040

ANTHONY YSLA F
25 Puerta Dr
Key West, FL 33040

ARCE AARON W
106 Avenue G Ave
Key West, FL 33040

ARCHANGEL DEVELOPMENT LTD
185 Bent Tree Rd
Sunbury, OH 43074

ARENCIBIA JR SANTIAGO
122 Avenue F
Key West, FL 33040

ARNOLD DORIS R
23 Flipper Rd
Key West, FL 33040

ASHLER JR ROBERT P
1 Luna Ln
Key West, FL 33040

BARRERA CHRISTOPHER J
1 Puerta Dr
Key West, FL 33040

BAUMAN HELENE
7 Ventana Ln
Key West, FL 33040

BECINO JOSE CARLOS
44 Riviera Dr
Key West, FL 33040

BELIE STEPHEN
181 Key Deer Blvd
Big Pine Key, FL 33043

BELLOWS MICHAEL A
PO Box 4510
Key West, FL 33041

BIXLER ISAAC P
3713 Flagler Ave
Key West, FL 33040

BOT TIIIF
C/O DEP, DIVISION OF STATE LANDS
3900 Commonwealth Blvd Mail Station 108
Tallahassee, FL 32399

BOYD RICHARD SCOTT
15 Ventana Ln
Key West, FL 33040

C-44 LLC
811 Peacock
Key West, FL 33040

CALZADILLA ANTHONY
361 Avenue E
Key West, FL 33040

CARBAJAL EVELYN O
103 Avenue G
Key West, FL 33040

CARRERAS RAFAEL B
7 Luna Ln
Key West, FL 33040

CARTER WILLIAM A
21583 Valencia Rd
Summerland Key, FL 33042

CARTER WILLIAM ALAN
21583 Valencia Rd
Summerland Key, FL 33042

CARTER WILLIAM
21583 Valencia Rd
Summerland Key, FL 33042

CASTALDO KRISTI K
117 Avenue G
Key West, FL 33040

CONDELLA DEBORAH A
121 Avenue G
Key West, FL 33040

CONDELLA KRISTEN ORSAGE
134 Avenue F
Key West, FL 33040

DADE ROBERT E
31524 Avenue F
Big Pine Key, FL 33043

DE POO MARTHA ANNE
PO Box 911
Key West, FL 33041

DELGADO DAGOBERTO
20 Riviera Dr
Key West, FL 33040

DELOSTRINOS JR RODRIGO G
9 Ventana Ln
Key West, FL 33040

DIAZ BEATRIZ
113 Avenue G
Key West, FL 33040

DIAZ SARAH
118 Avenue F
Key West, FL 33040

DICKERSON GROUP INC
1501 N Charlotte Ave
Monroe, NC 28110

DICKERSON GROUP INC
PO Box 5011
Monroe, NC 28111

DOEBLEY MATTHEW C
182 4th Ave
Estell Manor, NJ 08319

DORNISCH JENNY A
24 Riviera Dr
Key West, FL 33040

DURYEA SHANE
16 VERDE DR
Key West, FL 33040

ELOMINA DONATO B
108 Avenue G
Key West, FL 33040

FARALDO CLAUDIA
PO Box 5486
Key West, FL 33045

FAVELLI GEORGEANN ESTATE
C/O THOMAS FAVELLI P/R
1523 Patricia St
Key West, FL 33040

FKLC REALTY LLC
7 Beechwood Dr
Key West, FL 33040

FLETCHER JASON H
102 Shore Ave
Key West, FL 33040

FLOWERS KIMBERLY K
4 Calle Uno
Key West, FL 33040

FLOWERS ROLAND
4 Calle Uno
Key West, FL 33040

FOREMAN DIANE MARIE
8 Luna Ln
Key West, FL 33040

FORSYTH AMANDA LEE
10 Riviera Dr
Key West, FL 33040

FRANCIS JOHN GREGORY
2 Ventana Ln
Key West, FL 33040

FRANCIS JOHN GREGORY
3 Ventana Ln
Key West, FL 33040

FRANCIS JOHN GREGORY
9 Barcelona Dr
Key West, FL 33040

FRANKLIN GORDON
PO Box 355
Key West, FL 33041

GAGE RICHARD
21 Calle Uno
Key West, FL 33040

GALLETTI JOSEPH
3103 Lake Arnold Pl
Orlando, FL 32806

GIBSON REBECCA
7002 Chadwick Ct
Midland, TX 79707

GIL JESSICA A
116 Avenue G
Key West, FL 33040

GLADDING PAUL L
16340 Antigua Way
Bokeelia, FL 33922

GNAPP STEVEN
11 Puerta Dr
Key West, FL 33040

GUYNN JAMES PHILIP
5 Ventana Ln
Key West, FL 33040

HAMILTON KEISA JOAN
8 Verde Dr
Key West, FL 33040

HANCOCK JAMES JOHN
2 Riviera Dr
Key West, FL 33040

HARRIS ANDY JOE
103 Shore Ave
Key West, FL 33040

HATTON CAROL ANDERSON
2996 Whittier Ct
Ann Arbor, MI 48104

HELLIESEN DOUGLAS AND CAROLYN RE
1221 Laird St
Key West, FL 33040

HILL LUKE
107 Avenue G
Key West, FL 33040

HILLEARY CHRISTOPHER JON
16 Luna Ln
Key West, FL 33040

HOGSED CHARLENE W
4 Riviera Dr
Key West, FL 33040

HOLTZERMANN JORG
25 Barcelona Dr
Key West, FL 33040

IZQUIERDO MARCOS
21 Barcelona Dr
Key West, FL 33040

JAEGER JEANNE CATHERINE
17 Calle Uno
Key West, FL 33040

JOAQUIN LEONOR
11 Riviera Dr
Key West, FL 33040

JOHNSON JERRY LEE
21 Luna Ln
Key West, FL 33040

JONES JANET
5 Riviera Dr
Key West, FL 33040

JONES VICTORIA
49 Brown St
Mineola, NY 11501

KEYS SUNSHINE LLC
1245 Court St
Clearwater, FL 33756

KILBURN LORRAINE W
109 Avenue G
Key West, FL 33040

KIMBLER JOHNNIE B TRUST 9/25/2007
101 Shore Ave
Key West, FL 33040

KOPPAL CRYSTAL M
114 Avenue F
Key West, FL 33040

L PROPERTIES OF THE KEYS LLC
15 Cormorant Ln
Key West, FL 33040

LAPP THOMAS P
41 Riviera Dr
Key West, FL 33040

LARA MARGRET M
115 Avenue G
Key West, FL 33040

LATORRE DONNA F DEC TR 8/1/2006
765 Shore Ave
Key West, FL 33040

LAURITZEN VALERIE
13 Ventana Ln
Key West, FL 33040

LEVINE-SOUTHCOMBE DIANNA C
886 Murray Dr
Honolulu, HI 96818

LINARES JOSEPH ANTHONY
109 Shore Ave
Key West, FL 33040

LIZ II ERNEST
103 B Shore Ave
Key West, FL 33040

LIZ II MIGUEL MARIANO
54 Riviera Dr
Key West, FL 33040

LIZ MIGUEL
54 Riviera Dr
Key West, FL 33040

MAJCHROWICZ KAREN M
110 Avenue F
Key West, FL 33040

MARQUESS RAYMOND C LIVING TRUST
2832 Cherokee Cir S
Jacksonville, FL 32205

MARTINEZ ALBERTO ESTATE
C/O ARACELY GONZALEZ P/R
35 Riviera Dr
Key West, FL 33040

MARTINEZ YORDY
42 Riviera Dr
Key West, FL 33040

MILLER JASON DAVID
10 Del Mar Blvd
Key West, FL 33040

MILLS CYNTHIA A
16 Calle Dos
Key West, FL 33040

MOBLEY GORDON C
17735 Fort St
Riverview, MI 48193

MOISE JOSEPH
126 Avenue F
Key West, FL 33040

MONZON JOSE A
C/O MARGRET LARA
115 Avenue G
Key West, FL 33040

MOORE CHARLES NICHOLAS
15 Luna Ln
Key West, FL 33040

MOORE JOHN ANDREW
714 Emma St
Key West, FL 33040

NEILSON DANIEL MARCUS
1330 Duncan St
Key West, FL 33040

NGO HONG P
16 Ventana Ln
Key West, FL 33040

NOWOCIEN WAYNE F
5 Barcelona Dr
Key West, FL 33040

NUNEZ ANDREW VINCENT
6 Riviera Dr
Key West, FL 33040

O'NEILL FRANCES OWL
39 B 9th Ave
Key West, FL 33040

O'NEILL MADELEINE R
23 Calle Uno
Key West, FL 33040

OWENS DEBORAH
2 Luna Ln
Key West, FL 33040

PARDEE DEBORAH M
12 Luna Ln
Key West, FL 33040

PARKER JAMES
880 Cherokee St
Summerland Key, FL 33042

PERRY DIANA L
1 Ventana Ln
Key West, FL 33040

PERRY DIANA L
21 Del Mar Blvd
Key West, FL 33040

PERRY DIANA L
8 Del Mar Blvd
Key West, FL 33040

PERRY DIANA
21 Del Mar Blvd
Key West, FL 33040

PERRY DONALD C
28 Verde Dr
Key West, FL 33040

PERRY JACOB E
1 Ventana Ln
Key West, FL 33040

PERRY JACOB E
21 Del Mar Blvd
Key West, FL 33040

PERRY JACOB
1 Ventana Ln
Key West, FL 33040

PIERCE LAWRENCE F
111 Avenue G
Key West, FL 33040

POSTETTER MICHELE M
30 Riviera Dr
Key West, FL 33040

QUARRY BIG COPPITT II, LTD
3030 Hartley Rd
STE 310
Jacksonville, FL 32257

QUARRY BIG COPPITT LTD
3030 Hartley Rd
Jacksonville, FL 32257

QUARRY PARTNERS LLC
3030 Hartley Rd
Jacksonville, FL 32257

RALEY DARREN L
21 Puerta Dr
Key West, FL 33040

RAMIREZ JR FRANK
49 Riviera Dr
Key West, FL 33040

REED PHILLIP
118 Avenue G
Key West, FL 33040

REGUEIRA LUIS
23 Barcelona Dr
Key West, FL 33040

RIVIERE VICTORIA
4 Luna Ln
Key West, FL 33040

ROBERTS JESSE
11 Luna Ln
Key West, FL 33040

ROCA CORALIA ROSA
27 Riviera Dr
Key West, FL 33040

ROCKLAND OPERATIONS LLC
PO Box 787
Key West, FL 33041

ROTHMAN REBECCA NAOMI
37 Riviera Dr
Key West, FL 33040

ROUBIK JULIE A
10 Ventana Ln
Key West, FL 33040

RUBLE STACI L
120 Avenue F
Key West, FL 33040

SATTELMEIER DEBORAH
9 Riviera Dr
Key West, FL 33040

SAWYER CINDY
18 Luna Ln
Key West, FL 33040

SEAWISE LLC
401 Secession Ave
Abbeville, SC 29620

SERMONS NANCY R
2485 PROSPECTOR WAY
VICTORIA, BRITISH COLUMBIA V9B 5X6 C

SHAW ROBBIE D
20 Verde Dr
Key West, FL 33040

SHORT SUSAN
PO Box 806
Red Oak, TX 75154

SIMPSON DAVID E
51 Riviera Dr
Key West, FL 33040

SIMPSON SHARON E
3 Riviera Dr
Key West, FL 33040

SITTER MARK D
2056 E Lakeshore Dr
Twin Lakes, WI 53181

SMITH NICHOLAS HAIG
116 Avenue F
Key West, FL 33040

SOCA CARMEN
6451 6th St
Key West, FL 33040

SOO ROBERT
17190 Amberjack Ln
Sugarloaf Key, FL 33042

SPARKMAN MERLE LANE REVOCABLE
20 Ventana Ln
Key West, FL 33040

SPINNEY DONALD L
300 Prospect St
Woodstock, CT 06281

SPINNEY DONALD M
300 Prospect St
Woodstock, CT 06281

STABILE PAUL A
4 Verde Dr
Key West, FL 33040

STATE OF FLA DEPT OF TRANSPORTATI
1000 NW 111th Ave
Miami, FL 33172

STEINMEYER DAVID
8 Sapphire Dr
Key West, FL 33040

SWEETING FRANCENA AIMEE
62 Lobstertail Rd
Big Pine Key, FL 33043

T & D MART PROPERTIES LLC
15 Cormorant Ln
Key West, FL 33040

TEAL JOSEPH V
14 Riviera Dr
Key West, FL 33040

TECHMER MICHAEL ANTHONY
8 Ventana Ln
Key West, FL 33040

TENZEL DAVID
3841 N 38th Ave
Hollywood, FL 33021

THAMES KENDALL J
52 Riviera Dr
Key West, FL 33040

TLPB PROPERTIES LLC
15 Cormorant Ln
Key West, FL 33040

TOPPINO JOHN P
18 Calle Uno
Key West, FL 33040

TRUMAN 2016 SC6 TITLE TRUST
PO Box 830
Armonk, NY 10504

UBEDA FANNY ELIZABETH
24 Ventana Ln
Key West, FL 33040

UBEDA RAFAEL JUAN
24 Ventana Ln
Key West, FL 33040

VANSE VALARIE J
17 Luna Ln
Key West, FL 33040

WARE JR JERRY ALLEN
23 Luna Ln
Key West, FL 33040

WASSON JOHN
201 4th St
Key West, FL 33040

WICKERS III WILLIAM O
114 Avenue G
Key West, FL 33040

WILBUR WRIGHT 725 LLC
PO Box 121
New York, NY 10014

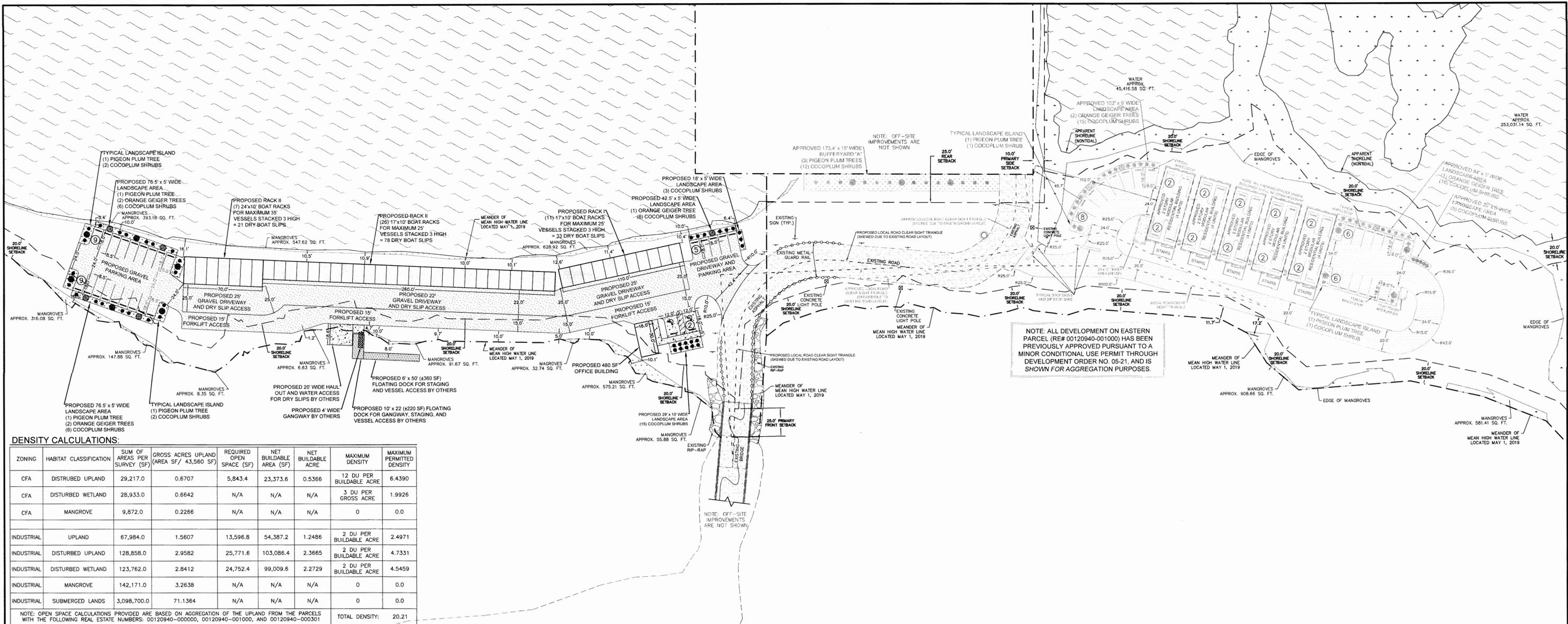
WILCOX DENISE
24 Verde Dr
Key West, FL 33040

WILKINS ROBERT E
18 Verde Dr
Key West, FL 33040

WINKO BARBARA L
23 Puerta Dr
Key West, FL 33040

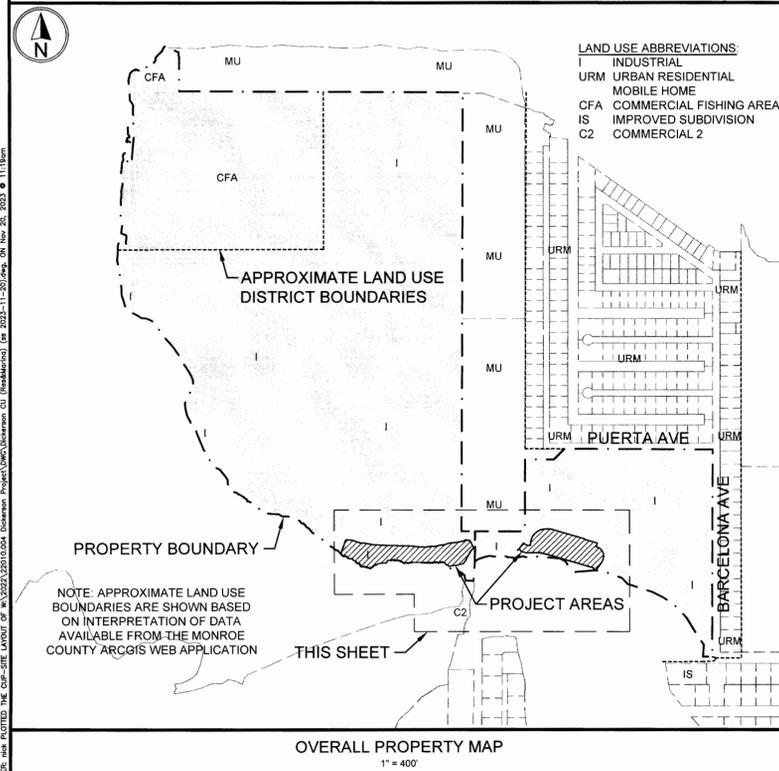
WRIGHT ERIC
18 Riviera Dr
Key West, FL 33040

ZUNIGA ASENCION
34 Riviera Dr
Key West, FL 33040



DENSITY CALCULATIONS:

ZONING	HABITAT CLASSIFICATION	SUM OF AREAS PER SURVEY (SF)	GROSS ACRES UPLAND (AREA SF / 43,560 SF)	REQUIRED OPEN SPACE (SF)	NET BUILDABLE AREA (SF)	NET BUILDABLE ACRE	MAXIMUM DENSITY	MAXIMUM PERMITTED DENSITY
CFA	DISTURBED UPLAND	29,217.0	0.6707	5,843.4	23,373.6	0.5366	12 DU PER BUILDABLE ACRE	6.4390
CFA	DISTURBED WETLAND	28,933.0	0.6642	N/A	N/A	N/A	3 DU PER GROSS ACRE	1.9926
CFA	MANGROVE	9,872.0	0.2286	N/A	N/A	N/A	0	0.0
INDUSTRIAL	UPLAND	67,984.0	1.5607	13,596.8	54,387.2	1.2486	2 DU PER BUILDABLE ACRE	2.4971
INDUSTRIAL	DISTURBED UPLAND	128,858.0	2.9582	25,771.6	103,086.4	2.3665	2 DU PER BUILDABLE ACRE	4.7331
INDUSTRIAL	DISTURBED WETLAND	123,762.0	2.8412	24,752.4	99,009.6	2.2729	2 DU PER BUILDABLE ACRE	4.5459
INDUSTRIAL	MANGROVE	142,171.0	3.2638	N/A	N/A	N/A	0	0.0
INDUSTRIAL	SUBMERGED LANDS	3,098,700.0	71.1364	N/A	N/A	N/A	0	0.0
NOTE: OPEN SPACE CALCULATIONS PROVIDED ARE BASED ON AGGREGATION OF THE UPLAND FROM THE PARCELS WITH THE FOLLOWING REAL ESTATE NUMBERS: 00120940-000000, 00120940-001000, AND 00120940-000301								TOTAL DENSITY: 20.21



PROJECT INFORMATION:

PROJECT: DICKERSON PROJECT VACANT LAND, BIG COPPIT KEY

OWNER/DEVELOPER: DICKERSON COPPITT MARINA, LLC 138 SIMONTON STREET KEY WEST, FLORIDA 33040

DICKERSON COPPITT HOUSING, LLC 138 SIMONTON STREET KEY WEST, FLORIDA 33040

DATUM: N.G.V.D. 1929

SEWER: BIG COPPIT WASTEWATER

WATER: FLORIDA KEYS AQUEDUCT AUTHORITY

GARBAGE: WASTE MANAGEMENT

ENGINEER: THE WEILER ENGINEERING CORPORATION JOSHUA J. JENNINGS, P.E. NO. 90677 201 W. MARION AVE, SUITE 1306 PUNTA GORDA, FLORIDA 33950 941.505.1700

SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847) ERIC A. ISAACS, PSM #6783 19960 OVERSEAS HIGHWAY SUGARDAF KEY, FL 33042 305.394.3690

PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE

FLOOD ZONE: MULTIPLE ZONES ON SITE: "AE10", "VE12", & "VE14" AS SHOWN ON: F.E.M.A. FLOOD INSURANCE RATE MAP # 12087C153K COMMUNITY: 125129 (MONROE COUNTY) PANEL NUMBER: 1531 / SUFFIX: K EFFECTIVE DATE: 18 FEBRUARY 2005

EXISTING ZONING: INDUSTRIAL (I) & COMMERCIAL FISHING AREA (CFA)

FUTURE LAND USE: INDUSTRIAL

PROPOSED DWELLING UNITS: 20

PARKING REQUIRED: (SEE SHARED PARKING CALCULATION)

PARKING PROVIDED: RESIDENTIAL PARKING PROVIDED: 2 X 10 = 20 COVERED SPACES 8 + 6 + 6 = 20 UNCOVERED SPACES 20 COVERED + 20 UNCOVERED = 40 PARKING SPACES

MARINA PARKING PROVIDED: 9 + 9 + 5 + 2 = 25 PARKING SPACES 40 RESIDENTIAL + 25 MARINA = 65 TOTAL PARKING SPACES

PARKING LOT LANDSCAPING SUMMARY:

RESIDENTIAL PARKING LOT LANDSCAPING REQUIRED: REQUIRED LANDSCAPING PERCENTAGE = 20% OF PARKING AREA TOTAL PARKING AREA = 8,907.2 SF 8,907.2 * 0.2 = 1,781.44 SF MIN. REQUIRED LANDSCAPING AREA MIN. 4 CANOPY TREES, 3 UNDERSTORY TREES, & 35 SHRUBS

RESIDENTIAL PARKING LOT LANDSCAPING PROVIDED: PARKING LOT LANDSCAPE AREA = 1,797.28 SF 5 CANOPY TREES = PIGEON PLUM TREE, COCCOLOBA DIVERSIFOLIA, @ 12'0" HEIGHT 3 UNDERSTORY TREES = ORANGE GEIGER TREE, CORDIA SEBESTENA, @ 8'0" HEIGHT 35 SHRUBS = COCCOPLUM SHRUB, CHRYSOBALANUS ICACO, @ 3 GALLON

MARINA PARKING LOT LANDSCAPING REQUIRED: REQUIRED LANDSCAPING PERCENTAGE = 20% OF PARKING AREA TOTAL PARKING AREA = 9,697.5 SF 9,697.5 * 0.2 = 1,939.5 SF MIN. REQUIRED LANDSCAPING AREA MIN. 5 CANOPY TREES, 4 UNDERSTORY TREES, & 39 SHRUBS

MARINA PARKING LOT LANDSCAPING PROVIDED: PARKING LOT LANDSCAPE AREA = 1,978.8 SF 6 CANOPY TREES = PIGEON PLUM TREE, COCCOLOBA DIVERSIFOLIA, @ 12'0" HEIGHT 5 UNDERSTORY TREES = ORANGE GEIGER TREE, CORDIA SEBESTENA, @ 8'0" HEIGHT 39 SHRUBS = COCCOPLUM SHRUB, CHRYSOBALANUS ICACO, @ 3 GALLON

PROPERTY AREA SUMMARY:

UPLAND AREA	67,984.0 SF	1.6 AC
DISTURBED UPLAND AREA	158,075.0 SF	3.6 AC
DISTURBED WETLAND AREA	152,695.0 SF	3.5 AC
MANGROVE AREA	152,043.0 SF	3.5 AC
SUBMERGED AREA	3,098,700.0 SF	71.1 AC
TOTAL PROPERTY AREA	3,629,497.0 SF	83.3 AC

LOT COVERAGE SUMMARY:

EXISTING ASPHALT	13,339.5 SF
PROPOSED MODULAR BUILDINGS	9,680.2 SF
PROPOSED TRASH AREAS	300.0 SF
PROPOSED ASPHALT DRIVEWAY AND PARKING	16,866.9 SF
PROPOSED FENCE	44.0 SF
PROPOSED MARINA OFFICE BUILDING	480.0 SF
PROPOSED BOAT RACKS	7,970.0 SF
PROPOSED GRAVEL DRIVEWAY AND PARKING	26,033.7 SF
PROPOSED CONCRETE	952.4 SF
TOTAL IMPERVIOUS AREA	75,666.7 SF 1.74 AC 19.98 %
TOTAL OPEN SPACE AREA	303,087.3 SF 6.96 AC 80.02 %
TOTAL UPLAND & WETLAND AREA	378,754.0 SF 8.69 AC 100.0 %

SHORELINE SETBACK SUMMARY:

EXISTING SUBMERGED AREA	1,801.6 SF
EXISTING MANGROVE AREA	20,699.9 SF
EXISTING ASPHALT	1,184.5 SF
PROPOSED ASPHALT DRIVEWAY	371.4 SF
PROPOSED GRAVEL DRIVEWAY AND PARKING	4,460.8 SF
PROPOSED MARINA OFFICE BUILDING	141.6 SF
PROPOSED CONCRETE	140.3 SF
TOTAL SHORELINE IMPERVIOUS AREA	28,800.1 SF 0.66 AC 26.35 %
TOTAL SHORELINE OPEN SPACE AREA	80,484.6 SF 1.85 AC 73.65 %
TOTAL SHORELINE SETBACK AREA	109,284.7 SF 2.36 AC 100.0 %

FRONT SETBACK SUMMARY:

EXISTING ASPHALT	670.0 SF 0.015 AC
TOTAL FRONT SETBACK IMPERVIOUS AREA	670.0 SF 0.015 AC 65.93 %
TOTAL FRONT SETBACK OPEN SPACE AREA	346.2 SF 0.008 AC 34.07 %
TOTAL FRONT SETBACK AREA	1,016.2 SF 0.023 AC 100.00 %

LEGEND:

- PROPERTY BOUNDARY
- SETBACKS
- EXISTING MANGROVES
- EXISTING SUBMERGED LAND (ON-SITE)
- PROPOSED GRAVEL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED LANDSCAPE AREA
- PROPOSED FENCE
- PROPOSED PARKING SPACE ROW COUNT

GRAPHIC SCALE
1" = 40'

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SHARED PARKING CALCULATION:

	NIGHT (12-6 AM)	WEEKDAY (9 AM-4 PM)	WEEKDAY (6 PM-12 AM)	WEEKEND (9 AM-4 PM)	WEEKEND (6 PM-12 AM)
MARINA (33 PARKING SPACES) MULTIPLIER	0.05	0.70	0.10	1.00	0.20
SPACES	1.65	23.1	3.3	33.0	6.6
RESIDENTIAL (40 PARKING SPACES) MULTIPLIER	1.00	0.60	0.90	0.80	0.90
SPACES	40.0	24.0	36.0	32.0	36.0
TOTAL PARKING REQUIRED	41.65	47.1	39.3	65.0	42.6

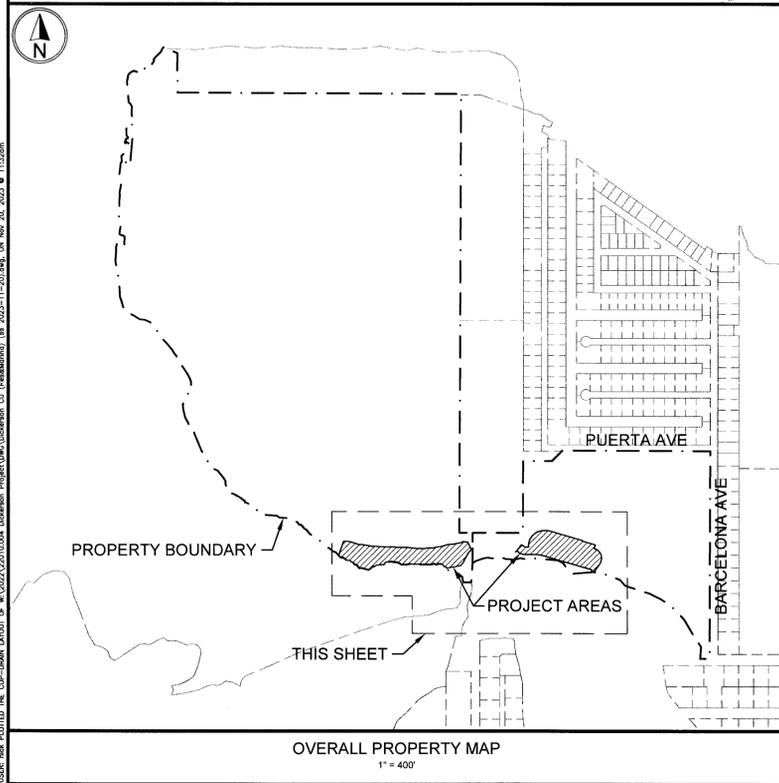
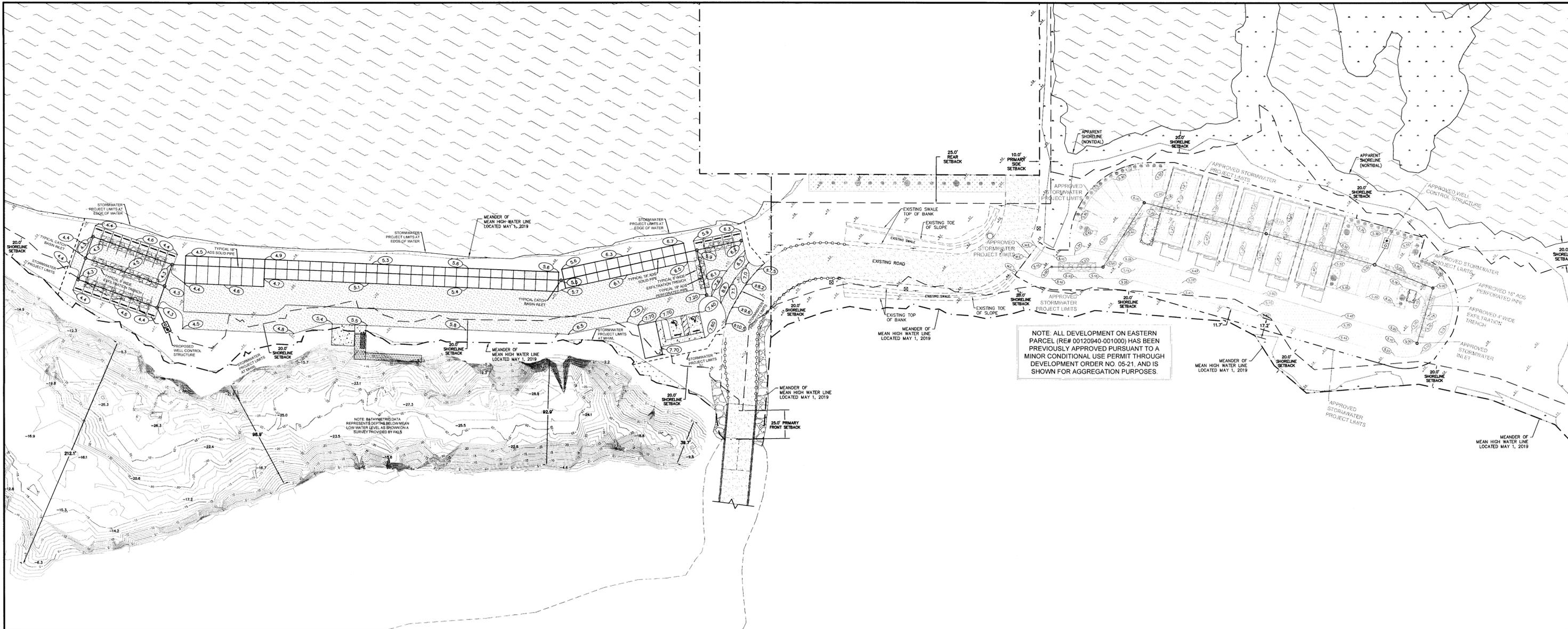
EXHIBIT ONLY NOT FOR CONSTRUCTION

WEC WELLER ENGINEERING CORPORATION
201 W. MARION AVENUE, SUITE 1306
PUNTA GORDA, FLORIDA 33950
941.505.1700
EB #6656

Approved By: JJJ Design: DH/JJJ
Scale: 1" = 40' Drawn: JNB
Job No: 22010.004 Checked: JNB/JJJ
Date Issued: 11-20-2023
Sheet No: C-1.00

Professional Engineer
No. 99677
11-20-2023
STATE OF FLORIDA
PROFESSIONAL ENGINEER
Joshua J. Jennings
Professional Engineer
State of Florida
Registration No. 90677

USER: s1410010 THE COPY-LEFT LAND USE OF 11/20/2023 09:04:04 AM - Project: WEC\Projects\22010.004 - 11/20/2023 09:04:04 AM - 11/20/2023 09:04:04 AM



PROJECT INFORMATION:

PROJECT: DICKERSON PROJECT
VACANT LAND, BIG COPPIT KEY

OWNER/DEVELOPER: DICKERSON COPPITT MARINA, LLC
138 SIMONTON STREET
KEY WEST, FLORIDA 33040

DICKERSON COPPITT HOUSING, LLC
138 SIMONTON STREET
KEY WEST, FLORIDA 33040

DATUM: N.G.V.D. 1929

SEWER: BIG COPPIT WASTEWATER

WATER: FLORIDA KEYS AQUEDUCT AUTHORITY

CARBARGE: WASTE MANAGEMENT

ENGINEER: THE WEILER ENGINEERING CORPORATION
JOSHUA J. JENNINGS, P.E. NO. 90677
201 W. MARION AVE., SUITE 1308
PUNTA GORDA, FLORIDA 33950
941.505.1700

SURVEYOR: FLORIDA KEYS LAND SURVEYING (LB#7847)
ERIC A. ISAACS, PSM #6783
19060 OVERSEAS HIGHWAY
SUGARLOAF KEY, FL 33042
305.394.3690

PHASING: PROJECT TO BE CONSTRUCTED IN 1 PHASE

FLOOD ZONE: MULTIPLE ZONES ON SITE: "AE10", "VE12", & "VE14" AS SHOWN ON: F.E.M.A. FLOOD INSURANCE RATE MAP # 12087C153K
COMMUNITY: 125129 (MONROE COUNTY)
PANEL NUMBER: 1531 / SUFFIX: K
EFFECTIVE DATE: 18 FEBRUARY 2005

EXISTING ZONING: INDUSTRIAL (I) & COMMERCIAL FISHING AREA (CFA)

FUTURE LAND USE: INDUSTRIAL

PROPOSED DWELLING UNITS: 20

STORMWATER TREATMENT CALCULATIONS:

MARINA

Zone	Pervious Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	57,290.80	35,436.10	92,726.90	480.00	
Total Site (ac)	0.397	0.814	1.210	0.011	
	0.328	0.672		0.009	

RESIDENTIAL

Zone	Pervious Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	13,519.80	26,655.60	40,175.40	9,448.70	
Total Site (ac)	0.310	0.612	0.922	0.217	
	0.386	0.101	0.369	0.169	

Length of Exfiltration Trench Required

$$L = \frac{V}{K \cdot W} = \frac{K_1 \cdot H_1^2 \cdot Du + 2 \cdot H_2^2 \cdot Ds + (1.39 \cdot 10^{-4}) \cdot W \cdot Du}{K}$$

Length of Exfiltration Trench Required

$$L = \frac{V}{K \cdot W} = \frac{K_1 \cdot H_1^2 \cdot Du + 2 \cdot H_2^2 \cdot Ds + (1.39 \cdot 10^{-4}) \cdot W \cdot Du}{K}$$

Required Length	Volume Provided
V = 2,075 ac-in	Length of Exfiltration Provided = 240 ft
W = 8.00 ft	W = 8.00 ft
K = 0.0002870 cfs/ft head	K = 0.0002870 cfs/ft head
H1 = 2.00 ft	H2 = 2.00 ft
Du = 2.00 ft	Ds = 2.00 ft
Ds = 4.50 ft	Ds = 7.00 ft
L = 237.31 ft	V = 399.81 ft

Total Exfiltration Trench Required = 238 LF Total Volume Provided by Exfiltration = 0.283 ac-ft

STORMWATER TREATMENT CALCULATIONS:

MARINA

Zone	Pervious Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	57,290.80	35,436.10	92,726.90	480.00	
Total Site (ac)	0.397	0.814	1.210	0.011	
	0.328	0.672		0.009	

RESIDENTIAL

Zone	Pervious Area	Impervious Area	Total Zone Area	Roof Area	Water Surface Area
Total Site (SF)	13,519.80	26,655.60	40,175.40	9,448.70	
Total Site (ac)	0.310	0.612	0.922	0.217	
	0.386	0.101	0.369	0.169	

Length of Exfiltration Trench Required

$$L = \frac{V}{K \cdot W} = \frac{K_1 \cdot H_1^2 \cdot Du + 2 \cdot H_2^2 \cdot Ds + (1.39 \cdot 10^{-4}) \cdot W \cdot Du}{K}$$

Length of Exfiltration Trench Required

$$L = \frac{V}{K \cdot W} = \frac{K_1 \cdot H_1^2 \cdot Du + 2 \cdot H_2^2 \cdot Ds + (1.39 \cdot 10^{-4}) \cdot W \cdot Du}{K}$$

Required Length	Volume Provided
V = 1,937 ac-in	Length of Exfiltration Provided = 355 ft
W = 8.00 ft	W = 8.00 ft
K = 0.0002870 cfs/ft head	K = 0.0002870 cfs/ft head
H1 = 2.00 ft	H2 = 2.00 ft
Du = 2.00 ft	Ds = 2.00 ft
Ds = 7.00 ft	Ds = 7.00 ft
L = 399.81 ft	V = 405 ac-in

Total Exfiltration Trench Required = 170 LF Total Volume Provided by Exfiltration = 0.337 ac-ft

PROJECT AREA IMPERVIOUS/PERVIOUS SUMMARY:

RESIDENTIAL

PROPOSED MODULAR BUILDINGS	9,680.2 SF		
PROPOSED TRASH AREAS	300.0 SF		
PROPOSED ASPHALT DRIVEWAY AND PARKING	16,866.9 SF		
PROPOSED FENCE	44.0 SF		
TOTAL RESIDENTIAL IMPERVIOUS AREA	26,891.1 SF	0.62 AC	66.93 %
TOTAL RESIDENTIAL PERVIOUS AREA	13,288.3 SF	0.31 AC	33.07 %
TOTAL RESIDENTIAL PROJECT AREA	40,179.4 SF	0.92 AC	100.0 %

MARINA

PROPOSED MARINA OFFICE BUILDING	480.0 SF		
PROPOSED BOAT RACKS	7,970.0 SF		
PROPOSED GRAVEL DRIVEWAY AND PARKING	26,033.7 SF		
PROPOSED CONCRETE	952.4 SF		
TOTAL MARINA IMPERVIOUS AREA	35,436.1 SF	0.81 AC	67.21 %
TOTAL MARINA PERVIOUS AREA	17,290.4 SF	0.40 AC	32.79 %
TOTAL MARINA PROJECT AREA	52,726.5 SF	1.21 AC	100.0 %

LEGEND:

- PROPERTY BOUNDARY
- SETBACKS
- EXISTING MANGROVES
- EXISTING WATER (ON-SITE)
- PROPOSED GRAVEL
- PROPOSED ASPHALT
- PROPOSED CONCRETE
- PROPOSED BUILDING
- PROPOSED SPOT ELEVATION (M.E. = MATCH EXISTING)
- PROPOSED STORMWATER PIPE
- PROPOSED EXFILTRATION TRENCH

GRAPHIC SCALE
1" = 40'

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JOSHUA J. JENNINGS
LICENSE No. 90677
11-20-2023
STATE OF FLORIDA
PROFESSIONAL ENGINEER

Approved By: JJJ Design: DH/JJJ
Scale: 1" = 40' Drawn: JNB
Job No: 22010.004 Checked: JNB/JJJ
Date Issued: 11-20-2023
Sheet No. C-2.00

WEILER ENGINEERING CORPORATION
WEC *of Service*
excellence in engineering
201 W. MARION AVENUE, SUITE 1308
PUNTA GORDA, FLORIDA 33950
941.505.1700 **EB #6656**

Description	Revisions
1. REVISED PER COUNTY COMMENTS	11-2020 JNB
2. REVISED PER COUNTY COMMENTS	05-2021 JNB
3. REVISED PER COUNTY COMMENTS	06-2021 JNB
4. COMBINED RESIDENTIAL AND MARINA	07-2021 JNB
5. FINAL CONDITIONAL USE PLANS	09-2021 JNB
6. REVISIONS PER COUNTY COMMENTS	11-2022 JNB
7. REVISED PER COUNTY COMMENTS	11-2023 JNB

CONCEPT DRAINAGE PLAN
FOR
DICKERSON PROJECT
BIG COPPITT KEY, FLORIDA

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Date Issued: 11-20-2023
Sheet No. C-2.00

Joshua J. Jennings
Professional Engineer
State of Florida
Registration No. 90677

MAP OF BOUNDARY SURVEY

LOCATION MAP - NTS
SEC. 21-T675-R26E

East Rockland Key

LEGAL DESCRIPTION

1" = 60'

0 30 60 120

*VERIFY ORIGINAL SCALE OF 2"

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2021-205
MONROE CO. PLANNING DEPT.

TOTAL AREAS

- UPLAND: 67,984 SQFT ± (1.6 ACRES ±)
- DISTURBED UPLAND: 28,284 SQFT ± (0.7 ACRES ±)
- DISTURBED WETLAND: 67,957 SQFT ± (1.5 ACRES ±)
- MANGROVES: 130,503 SQFT ± (3.0 ACRES ±)
- WATER: 298,447 SQFT ± (6.8 ACRES ±)

TOTAL: 593,175 SQFT ± (13.6 ACRES ±)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

SURVEY NOTES

- NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.
- NO TITLE OPINION OR ABSTRACT TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. IT IS POSSIBLE THAT THERE ARE DEEDS, EASEMENTS, OR OTHER INSTRUMENTS RECORDED OR UNRECORDED WHICH MAY AFFECT THE SUBJECT PROPERTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.
- BEARINGS SHOWN HEREON ARE REFERENCED TO N89°00'00"E ALONG THE SOUTH LINE OF GULFREST PARK PLAT NO. 2, PLAT BOOK 4 AT PAGE 157, MONROE COUNTY, FLORIDA, PER SUBJECT PROPERTY LEGAL DESCRIPTION.
- COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NGS) GEODETIC CONTROL NETWORK. METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (TRIMBLE VRS), WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK: DESIGNATION 872.4459 E TIDAL, P.I.D. AN0909, ELEVATION 16.10 (NGVD 1929).
- THIS MAP OR COPIES OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.
- NO UNDERGROUND IMPROVEMENTS WERE LOCATED.
- ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
- WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.11. THE ELEVATIONS ON IMPROVED SURFACES WERE FIELD MEASURED TO 0.03 AND ON GROUND SURFACES TO 0.11.
- ALL HABITAT AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAKAM ENVIRONMENTAL SERVICES, INC.
- STREET ADDRESSES: VACANT; BARCELONA DRIVE, KEY WEST, FL 33040.
- WATERWARD LIMITS OF MANGROVE VEGETATION WERE DIGITIZED FROM A 2017 GEOREFERENCED AERIAL IMAGE. NO FIELD LOCATIONS OF THESE LIMITS HAVE BEEN COMPLETED.
- TOTAL AREA = 13.62 ACRES ±
- FEMA FLOOD DATA: COMMUNITY NO.: 125129, MAP NO.: 12087C-153-K, MAP DATE: 02-18-2005, FLOOD ZONE: AE, BASE FLOOD ELEVATION: 10

CERTIFIED TO -
DICKERSON GROUP, INC.:

SYMBOL LEGEND:
*X.X = SPOT GRADE ELEVATION (TYPICAL)

FLORIDA KEYS
LAND SURVEYING
21460 OVERSEAS HWY, SUITE 4
CUDJOE KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FKLSman@gmail.com

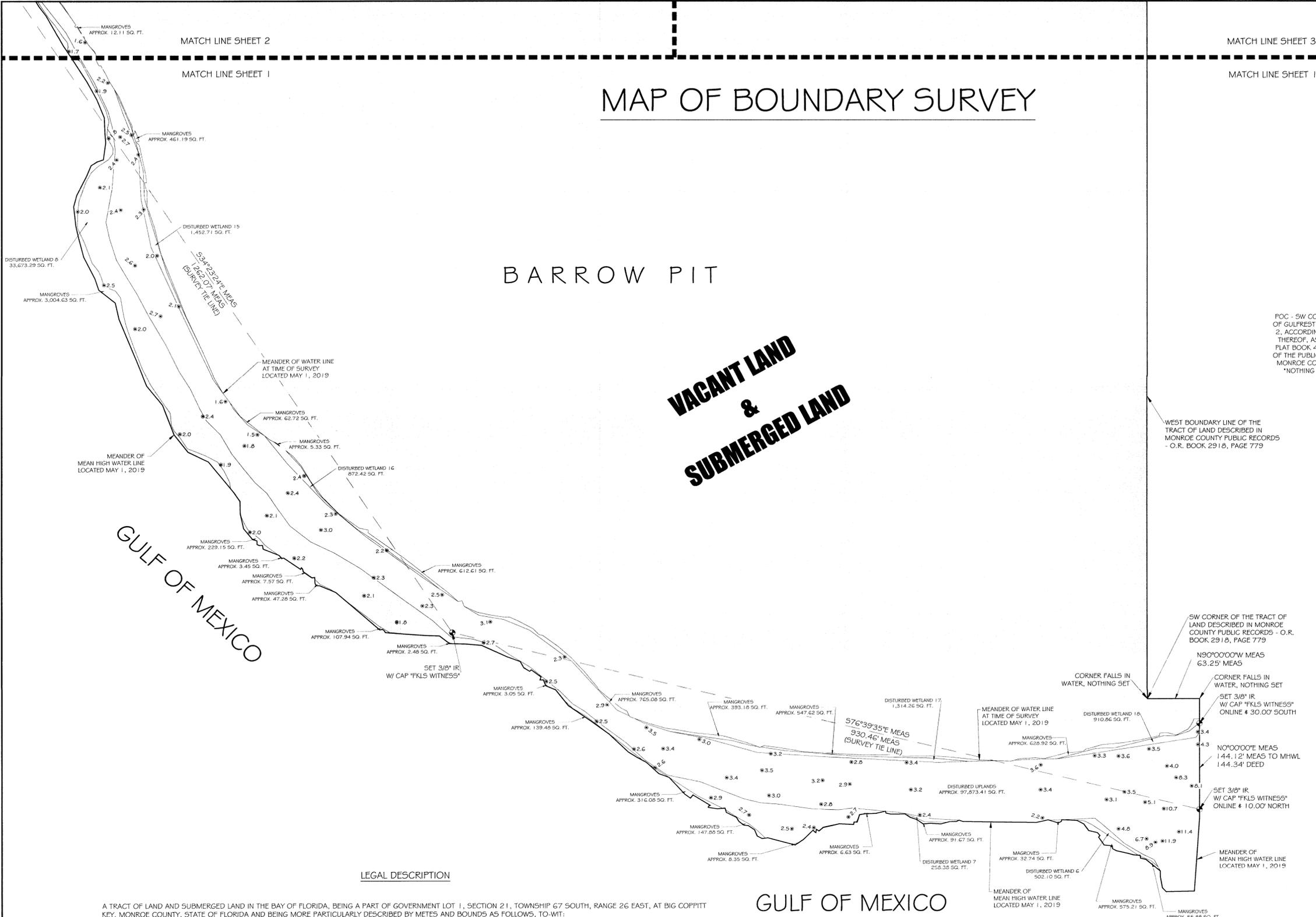
NOTE: FORMATIONS BENEATH THE SURFACE ARE NOT SHOWN UNLESS INDICATED OTHERWISE. THE FOLLOWING IS A LIST OF ABBREVIATIONS THAT MAY BE FOUND ON THIS SHEET.

AC	ACRES	AS	ASBESTOS
AD	ADULT	BL	BLIND
AG	AGRICULTURE	BR	BROWN
AL	ALUMINUM	BU	BURIED
AM	AMPHIBIOUS	CA	CALCAREOUS
AN	ANNEALING	CB	CORNER BENCH
AO	ANODIZED	CC	CORNER CEMENT
AP	APPROXIMATE	CD	CORNER DIRT
AQ	AQUACULTURE	CE	CORNER EMBLEM
AR	ARCHITECTURE	CF	CORNER FINISH
AS	ASBESTOS	CG	CORNER GRADE
AT	ATMOSPHERE	CH	CORNER HOLE
AV	AVALANCH	CI	CORNER IRON
AW	AIRWAY	CJ	CORNER JEWEL
AX	AXON	CK	CORNER KNOT
AY	AYR	CL	CORNER LAMP
AZ	AZULE	CM	CORNER MARK
BA	BALANCE	CN	CORNER NAIL
BB	BALANCE BEAM	CO	CORNER OIL
BC	BALANCE CANTILEVER	CP	CORNER PLASTER
BD	BALANCE DIAL	CQ	CORNER QUARTZ
BE	BALANCE ELECTRIC	CR	CORNER RAIL
BF	BALANCE FINGER	CS	CORNER SIGN
BG	BALANCE GRAVITY	CT	CORNER TIE
BH	BALANCE HORIZONTAL	CU	CORNER UG
BI	BALANCE INCLINED	CV	CORNER VERTICAL
BJ	BALANCE JAW	CW	CORNER WIRE
BK	BALANCE KNOB	CX	CORNER X
BL	BALANCE LEVER	CA	CORNER ANGLE
BM	BALANCE MEASUREMENT	CB	CORNER BENCH
BN	BALANCE NETWORK	CC	CORNER CEMENT
BO	BALANCE OBJECT	CD	CORNER DIRT
BP	BALANCE POINT	CE	CORNER EMBLEM
BQ	BALANCE PLATE	CF	CORNER FINISH
BR	BALANCE RANGE	CG	CORNER GRADE
BS	BALANCE SCALE	CH	CORNER HOLE
BT	BALANCE SET	CI	CORNER IRON
BU	BALANCE UNIT	CJ	CORNER JEWEL
BV	BALANCE VALUE	CK	CORNER KNOT
BW	BALANCE WEIGHT	CL	CORNER LAMP
BX	BALANCE WORK	CM	CORNER MARK
BY	BALANCE YIELD	CN	CORNER NAIL
BZ	BALANCE ZERO	CO	CORNER OIL
CA	CALCAREOUS	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
CD	CORNER DIRT	CS	CORNER SIGN
CE	CORNER EMBLEM	CT	CORNER TIE
CF	CORNER FINISH	CU	CORNER UG
CG	CORNER GRADE	CV	CORNER VERTICAL
CH	CORNER HOLE	CW	CORNER WIRE
CI	CORNER IRON	CX	CORNER X
CJ	CORNER JEWEL	CA	CORNER ANGLE
CK	CORNER KNOT	CB	CORNER BENCH
CL	CORNER LAMP	CC	CORNER CEMENT
CM	CORNER MARK	CD	CORNER DIRT
CN	CORNER NAIL	CE	CORNER EMBLEM
CO	CORNER OIL	CF	CORNER FINISH
CP	CORNER PLASTER	CG	CORNER GRADE
CQ	CORNER QUARTZ	CH	CORNER HOLE
CR	CORNER RAIL	CI	CORNER IRON
CS	CORNER SIGN	CJ	CORNER JEWEL
CT	CORNER TIE	CK	CORNER KNOT
CU	CORNER UG	CL	CORNER LAMP
CV	CORNER VERTICAL	CM	CORNER MARK
CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
CD	CORNER DIRT	CS	CORNER SIGN
CE	CORNER EMBLEM	CT	CORNER TIE
CF	CORNER FINISH	CU	CORNER UG
CG	CORNER GRADE	CV	CORNER VERTICAL
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CO	CORNER OIL	CF	CORNER FINISH
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CO	CORNER OIL	CF	CORNER FINISH
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CS	CORNER SIGN	CJ	CORNER JEWEL
CT	CORNER TIE	CK	CORNER KNOT
CU	CORNER UG	CL	CORNER LAMP
CV	CORNER VERTICAL	CM	CORNER MARK
CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
CD	CORNER DIRT	CS	CORNER SIGN
CE	CORNER EMBLEM	CT	CORNER TIE
CF	CORNER FINISH	CU	CORNER UG
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CN	CORNER NAIL	CE	CORNER EMBLEM
CO	CORNER OIL	CF	CORNER FINISH
CP	CORNER PLASTER	CG	CORNER GRADE
CQ	CORNER QUARTZ	CH	CORNER HOLE
CR	CORNER RAIL	CI	CORNER IRON
CS	CORNER SIGN	CJ	CORNER JEWEL
CT	CORNER TIE	CK	CORNER KNOT
CU	CORNER UG	CL	CORNER LAMP
CV	CORNER VERTICAL	CM	CORNER MARK
CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
CD	CORNER DIRT	CS	CORNER SIGN
CE	CORNER EMBLEM	CT	CORNER TIE
CF	CORNER FINISH	CU	CORNER UG
CG	CORNER GRADE	CV	CORNER VERTICAL
CH	CORNER HOLE	CW	CORNER WIRE
CI	CORNER IRON	CX	CORNER X
CJ	CORNER JEWEL	CA	CORNER ANGLE
CK	CORNER KNOT	CB	CORNER BENCH
CL	CORNER LAMP	CC	CORNER CEMENT
CM	CORNER MARK	CD	CORNER DIRT
CN	CORNER NAIL	CE	CORNER EMBLEM
CO	CORNER OIL	CF	CORNER FINISH
CP	CORNER PLASTER	CG	CORNER GRADE
CQ	CORNER QUARTZ	CH	CORNER HOLE
CR	CORNER RAIL	CI	CORNER IRON
CS	CORNER SIGN	CJ	CORNER JEWEL
CT	CORNER TIE	CK	CORNER KNOT
CU	CORNER UG	CL	CORNER LAMP
CV	CORNER VERTICAL	CM	CORNER MARK
CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
CD	CORNER DIRT	CS	CORNER SIGN
CE	CORNER EMBLEM	CT	CORNER TIE
CF	CORNER FINISH	CU	CORNER UG
CG	CORNER GRADE	CV	CORNER VERTICAL
CH	CORNER HOLE	CW	CORNER WIRE
CI	CORNER IRON	CX	CORNER X
CJ	CORNER JEWEL	CA	CORNER ANGLE
CK	CORNER KNOT	CB	CORNER BENCH
CL	CORNER LAMP	CC	CORNER CEMENT
CM	CORNER MARK	CD	CORNER DIRT
CN	CORNER NAIL	CE	CORNER EMBLEM
CO	CORNER OIL	CF	CORNER FINISH
CP	CORNER PLASTER	CG	CORNER GRADE
CQ	CORNER QUARTZ	CH	CORNER HOLE
CR	CORNER RAIL	CI	CORNER IRON
CS	CORNER SIGN	CJ	CORNER JEWEL
CT	CORNER TIE	CK	CORNER KNOT
CU	CORNER UG	CL	CORNER LAMP
CV	CORNER VERTICAL	CM	CORNER MARK
CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL
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CW	CORNER WIRE	CN	CORNER NAIL
CX	CORNER X	CO	CORNER OIL
CA	CORNER ANGLE	CP	CORNER PLASTER
CB	CORNER BENCH	CQ	CORNER QUARTZ
CC	CORNER CEMENT	CR	CORNER RAIL

MAP OF BOUNDARY SURVEY

BARROW PIT

**VACANT LAND
&
SUBMERGED LAND**



MATCH LINE SHEET 3
MATCH LINE SHEET 1

MATCH LINE SHEET 2
MATCH LINE SHEET 1

PROJECT SITE

LOCATION MAP - NTS
SEC. 21-T675-R26E

LEGAL DESCRIPTION

1" = 60'

0 30 60 120

*VERIFY ORIGINAL SCALE OF 2"

POC - SW CORNER BLOCK 9 OF GULFREST PARK PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, AT PAGE 157 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA
*NOTHING FOUND OR SET

WEST BOUNDARY LINE OF THE TRACT OF LAND DESCRIBED IN MONROE COUNTY PUBLIC RECORDS - O.R. BOOK 2918, PAGE 779

SW CORNER OF THE TRACT OF LAND DESCRIBED IN MONROE COUNTY PUBLIC RECORDS - O.R. BOOK 2918, PAGE 779

CORNER FALLS IN WATER, NOTHING SET

CORNER FALLS IN WATER, NOTHING SET

SET 3/8" IR W/ CAP "FKLS WITNESS" ONLINE ± 30.00' SOUTH

SET 3/8" IR W/ CAP "FKLS WITNESS" ONLINE ± 10.00' NORTH

MEANDER OF MEAN HIGH WATER LINE LOCATED MAY 1, 2019

RECEIVED
NOV 30 2023
2021-205
MONROE CO. PLANNING DEPT.

SURVEY NOTES

- NO ATTEMPT WAS MADE TO RESOLVE CONFLICTS BETWEEN THE RECOVERED BOUNDARY INFORMATION AND THE OCCUPATIONAL LINES.
- NO TITLE OPINION OR ABSTRACT TO THE SUBJECT PROPERTY HAS BEEN PROVIDED. IT IS POSSIBLE THAT THERE ARE DEEDS, ENCUMBRANCES, OR OTHER INSTRUMENTS (RECORDED OR UNRECORDED) WHICH MAY AFFECT THE SUBJECT PROPERTY. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THE SURVEYOR.
- BEARINGS SHOWN HEREON ARE REFERENCED TO NAD83 ALONG THE WEST LINE OF BLOCK 9 OF GULFREST PARK PLAT NO. 2, PLAT BOOK 4 AT PAGE 157, MONROE COUNTY, FLORIDA SUBJECT PROPERTY LEGAL DESCRIPTION.
- COORDINATES WERE ESTABLISHED BY A REAL-TIME KINEMATIC (RTK) GNSS CONTROL SURVEY WHICH IS CERTIFIED TO A 2 CENTIMETER LOCAL ACCURACY, RELATIVE TO THE NEAREST CONTROL POINT WITHIN THE NATIONAL GEODETIC SURVEY (NAD83) GEODETIC CONTROL NETWORK. METHOD: WIDE AREA CONTINUOUSLY OPERATING GPS REFERENCE STATION NETWORK (DYNAMIC WRS), WITH TIES TO NATIONAL GEODETIC SURVEY CONTROL NETWORK.
- ELEVATIONS SHOWN HEREON ARE IN FEET AND BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD 1929).
- BENCHMARK DESCRIPTION: NATIONAL GEODETIC SURVEY BENCHMARK DESIGNATION 872.4453 E. TIDAL, P.I.D. ANKORS, ELEVATION 16.18 (NGVD 1929)
- THIS MAP OR COPIES OF THIS MAP ARE NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS MAP ARE PROHIBITED WITHOUT WRITTEN CONSENT OF THE SURVEYOR AND MAPPER IN RESPONSIBLE CHARGE.
- NO UNDERGROUND IMPROVEMENTS WERE LOCATED.
- ALL UNITS ARE SHOWN IN U.S. SURVEY FEET.
- WELL IDENTIFIED FEATURES IN THIS SURVEY WERE FIELD MEASURED TO A HORIZONTAL POSITIONAL ACCURACY OF 0.1'. THE ELEVATIONS ON IMPERVIOUS SURFACES WERE FIELD MEASURED TO 0.03' AND ON GROUND SURFACES TO 0.1'.
- ALL HABITAT AREAS WERE MARKED AND IDENTIFIED IN THE FIELD BY TERRAMAR ENVIRONMENTAL SERVICES, INC.
- STREET ADDRESS: VACANT, BETTY ROSE DRIVE, KEY WEST, FL 33040.
- WATERWARD LIMITS OF MANGROVE VEGETATION WERE DIGITIZED FROM A 2017 GEOREFERENCED AERIAL IMAGE. NO FIELD LOCATIONS OF THESE LIMITS HAVE BEEN COMPLETED.
- TOTAL AREA = 69.75 ACRES =
- FEMA FLOOD DATA: COMMUNITY NO.: 125129, MAP NO.: 12067C-1531K, MAP DATE: 02-16-2005, FLOOD ZONE: AE, VE1, VE4, VE1C

LEGAL DESCRIPTION

A TRACT OF LAND AND SUBMERGED LAND IN THE BAY OF FLORIDA, BEING A PART OF GOVERNMENT LOT 1, SECTION 21, TOWNSHIP 67 SOUTH, RANGE 26 EAST, AT BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, TO-WIT: COMMENCING AT THE SOUTHWEST CORNER OF BLOCK 9 OF GULFREST PARK PLAT NO. 2, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 4, AT PAGE 157 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA, THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID BLOCK 9 AND THE NORTHERLY EXTENSION THEREOF FOR A DISTANCE OF 1676.91 FEET TO A POINT ON THE NORTH BOUNDARY LINE OF T.I.I.F. DEED NO. 24002 AS DESCRIBED IN OFFICIAL RECORDS BOOK 346 AT PAGE 580 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N90°00'00"W ALONG SAID NORTH BOUNDARY LINE OF T.I.I.F. DEED NO. 24002 FOR A DISTANCE OF 300.00 FEET TO A POINT, SAID POINT BEING THE POINT OF BEGINNING; THENCE N89°58'38"W CONTINUING ALONG SAID NORTH BOUNDARY LINE OF T.I.I.F. DEED 24002 FOR A DISTANCE OF 1331.95 FEET TO A POINT; THENCE N00°00'00"E AND LEAVING SAID NORTH LINE OF T.I.I.F. DEED NO. 24002 FOR A DISTANCE OF 186.00 FEET TO A POINT ON THE HISTORIC MEAN HIGH WATER LINE OF THE BAY OF FLORIDA, AS LOCATED ON FEBRUARY 12, 1974, PER THE DEED RECORDED IN THE OFFICIAL RECORDS BOOK 2587 AT PAGE 1724 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE MEANDERING SAID MEAN HIGH WATERLINE IN A NORTHWESTERLY, SOUTHWESTERLY, SOUTHERLY, SOUTHEASTERLY AND NORTHEASTERLY DIRECTION TO A POINT; THENCE N00°00'00"E AND LEAVING SAID MEAN HIGH WATER LINE FOR A DISTANCE OF 144.34 FEET TO A POINT ON THE SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N80°00'00"W ALONG SAID SOUTH BOUNDARY LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 63.25 FEET TO THE SOUTHWEST CORNER OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA; THENCE N00°00'00"E ALONG THE WEST BOUNDARY LINE OF SAID TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 779 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA AND THE WEST LINE OF THE TRACT OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 2918 AT PAGE 785 OF THE PUBLIC RECORDS OF MONROE COUNTY, STATE OF FLORIDA FOR A DISTANCE OF 2066.91 FEET BACK TO THE POINT OF BEGINNING. SAID TRACT OF LAND AND SUBMERGED LAND CONTAINS 69.93 ACRES, MORE OR LESS.

GULF OF MEXICO

TOTAL AREAS
DISTURBED UPLAND: 129,791 SQFT ± (3.0 ACRES ±)
DISTURBED WETLAND: 84,738 SQFT ± (2.0 ACRES ±)
MANGROVES: 21,540 SQFT ± (0.5 ACRES ±)
WATER: 2,800,253 SQFT ± (64.3 ACRES ±)
TOTAL: 3,036,322 SQFT ± (69.8 ACRES ±)

*ALL AREA CALCULATIONS ARE BASED ON EXISTING LAND MASS AND DO NOT PURPORT TO SHOW OWNERSHIP

CERTIFIED TO -
DICKERSON GROUP, INC.;

SYMBOL LEGEND:
*X.X = SPOT GRADE ELEVATION (TYPICAL)

DATE: 07/25/2022
DRAWN BY: MPB
CHECKED BY:

FLORIDA KEYS LAND SURVEYING
21460 OVERSEAS HWY, SUITE 4
CUDJOE KEY, FL 33042
PHONE: (305) 394-3690
EMAIL: FK5@mail@gmail.com

MAP OF BOUNDARY SURVEY
DICKERSON GROUP PROPERTY
BIG COPPITT KEY, MONROE COUNTY, STATE OF FLORIDA

DATE: 07/25/2022
REVISION DATE: XX/XX/XXXX
BOOK:

SURVEY BY: EAI
DRAWN BY: MPB
CHECKED BY:

PROJECT: DICKERSON - BOK
H. SCALE: 1"=60'
SHEET 1 OF 3



