

File #: 2024-178

Owner's Name: Magnum Construction & A/C
Inc (Felix Perez)

Applicant: Keys Permitting LLC

Agent/Contact: Eric Parker

Type of Application: Admin Variance

Key: Key Largo

RE #: 00455780-000000

Additional Information added to File 2024-178

**APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED
2024-178
SEP 03 2025

MONROE COUNTY
PLANNING DEPT.

Variance Application to the Monroe County Planning Commission

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review.

Planning Commission Variance Application Fee: \$1,610.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Date of Application: 8 / 28 / 25
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

Keys Permitting LLC

Eric Parker

Applicant (Name of Person, Business or Organization)

Name of Person Submitting this Application

PO Box 9505, Tavernier FL 33070

Mailing Address (Street, City, State and Zip Code)

305-619-0423

keyspermitting.ep@gmail.com

Work Phone

Home Phone

Cell Phone

Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

Magnum Construction and A/C Inc

Felix Perez

(Name/Entity)

Contact Person

101875 Overseas Highway, Key Largo, FL 33037

Mailing Address (Street, City, State and Zip Code)

1-786-302-9862

magnumcconstructionac@hotmail.com

Work Phone

Home Phone

Cell Phone

Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

1

1

Largo Gardens

Largo

Block

Lot

Subdivision

Key

00455780-000000

1559342

Real Estate (RE) Number

Alternate Key Number

101875 Overseas Highway, Key Largo, FL 33037

101

Street Address (Street, City, State & Zip Code)

Approximate Mile Marker

APPLICATION

Land Use District Designation(s): Suburban Commercial (SC)

Present Land Use of the Property: Office Building

Proposed Land Use of the Property: Expansion of Office Use

Total Land Area: 6758 sf

Provide the standards required by the land development regulations: Setbacks as required by LDC Section 131-1 and LDC Section 131-3 (i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: Reduction of primary front yard setback by 15 ft. reduce secondary front yard setback by 10 ft (i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance: The applicant is expanding the existing use. The proposed work creates a substantial improvement which requires parking to come into compliance. Parking has historically been in the front yard setback along US-1 as is common with properties neighboring this.

2. Failure to grant the variance would result in exceptional hardship to the applicant: The failure to grant the variance prevents the full use of the property for a growing business.

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners. Financial difficulty/hardship does not qualify as exceptional hardship..

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

The variance will not result in increased expenses to the public, nor create a threat to public health, safety, and welfare. The variance will not create a public nuisance, cause fraud, or victimization of the public.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

The property is a three-sided corner lot located in the SC district with one side along US1.

APPLICATION

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

The variance request is based on the needs of the business to continue using the property as they have, despite a substantial improvement.

There are several businesses using their property in the way this variance would allow.

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

This variance is not based on disabilities, handicaps, nor health concerns.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

The variance is not based on domestic difficulties.

8. The variance is the minimum necessary to provide relief to the applicant:

The variance requested is the minimum necessary to provide the required relief.

APPLICATION

All of the following items must be included in order to have a complete application submission:
(Please check the box as each required item is attached to the application.)

- Complete variance application (unaltered and unbound)
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Location map
- Photograph(s) of site from adjacent roadway(s)
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor- three (3) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect- three (3) sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water line
 - Land use district of site and any adjacent land use districts
 - Locations and dimensions of all existing and proposed structures and drives
 - Type of ground cover (i.e., concrete, asphalt, grass, rock)
 - Adjacent roadways
 - Setbacks as required by the land development regulations
 - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones
- List of names and addresses of all real property owners within a 600 foot radius of the subject property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included.

If applicable, the following item must be included in order to have a complete application submission:

- Notarized Agent Authorization Letter

Is there a pending code enforcement proceeding involving all or a portion of this property?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the administrative variance application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review.

APPLICATION

Pursuant to Section 102-186 (i) of Monroe County Code, the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature] Date: 08/28/25

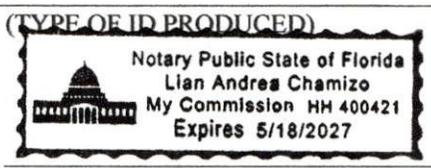
STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 28 day of August, 2025, by Felix Perez
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as identification.

[Handwritten Signature]
SIGNATURE OF NOTARY PUBLIC



(TYPE OF ID PRODUCED)
PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES: 5/18/2027

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050

**MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED
2024-178
MAY 28 2025

MONROE COUNTY
PLANNING DEPT.

Administrative Variance

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Administrative Variance Application Fee: \$1,250.00

In addition to the application fee, the following fees also apply:

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed
A signed Affidavit is required with this application

Date of Application: ____/____/____
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

KEYS PERMITTING LLC

ERIC PARKER

Applicant (Name of Person, Business or Organization)

Name of Person Submitting this Application

PO Box 9505 TAVERNIER FL 33070

Mailing Address (Street, City, State and Zip Code)

305-619-0423

KEYPERMITTING.EP@GMAIL.COM

Work Phone

Home Phone

Cell Phone

Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

MAGNUM CONSTRUCTION AND A/C INC

FELIX PEREZ / ^{Yomari Rios}YAMRI PEREZ

(Name/Entity)

Contact Person

101875 OVERSEAS HIGHWAY KEY LARGO FL 33037

Mailing Address (Street, City, State and Zip Code)

786-302-9862

MAGNUMCONSTRUCTIONAC@HOTMAIL.COM

Work Phone

Home Phone

Cell Phone

Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

1 1 LARGO GARDENS KEY LARGO

Block

Lot

Subdivision

Key

00455780-000000

Real Estate (RE) Number

Alternate Key Number

101875 OVERSEAS HIGHWAY KEY LARGO FL 33037

102

Street Address (Street, City, State & Zip Code)

Approximate Mile Marker

Land Use District Designation(s): SUBURBAN COMMERCIAL

Present Land Use of the Property: OFFICE BUILDING

Proposed Land Use of the Property: _____

Total Land Area: 6595

Pursuant to Section 102-186(b) of the Monroe County Land Development Code (LDC), the Director of Planning & Environmental Resources is authorized to grant the following variances:

- (1) Reduction of front or rear yard non-shoreline setback requirements, as provided in LDC Chapter 131, by up to ten (10) feet; and reduction of non-shoreline side yard setback requirements, as provided in LDC Chapter 131, by up to five (5) feet;
- (2) Reduction in the off-street parking requirements in LDC Chapter 114, Article III, by no more than 20%;
- (3) Reduction in the bufferyard width requirements for Class C, D, E, and F district boundaries, major streets, and scenic corridors in LDC Chapter 114, Article III, by no more than 10%;
- (4) Reduction in the total area of landscaping required for off-street parking and loading in LDC Chapter 114, Article III, by no more than 10%; and
- (5) Reduction in the loading/unloading space dimensional requirements in LDC Chapter 114, Article III.

Provide the standards required by the land development regulations: Front yard set back of 25'. Secondary yard set back 15'. Street buffer C 10'
 (i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: Request reduction of 15ft of front yard set back to allow bicycle rack and parking. New truss roof over existing office. Request reduction of Street Buffer C of 5 feet. Request reduction of 10 of secondary front yard set back for parking. Request for off street parking from secondary front yard set back. Request of Reduction in the loading/unloading space dimensional requirements (i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:
The variance is required as the parcel is an unique shape with two front yard setbacks, which if developed to the code removes space for our office and warehousing.
The scope of work on our permit creates a substantial improvement, and in order to protect the business, a variance for parking allows us to comply with the LDC.

2. Failure to grant the variance would result in exceptional hardship to the applicant:
Failure to grant this variance would require a local Upper Keys business to require the demolition of our office building, and the application of additional permits to rebuild. The new construction would disrupt the operation of the company

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners. Financial difficulty/hardship does not qualify as exceptional hardship.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

Granting the variance allows the property to operate as it has been and will not create any threats to public health and safety, nor will it create a nuisance or cause fraud.

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

The property is located in the SC land use district and has two front yard setbacks (25 feet from US1 and 15 from Janet Place).

The property is a three-sided lot with the majority of the property along both street frontages.

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

The variance allows our business to continue to operate as it has prior to the substantial improvement. Neighboring business,

including Nations Best Boats, Keys Roofing, and The Yellow Bait House all utilizing their US1 frontage for parking

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

The variance is not based on disabilities, handicaps, or health of the applicant.

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

The variance is not being requested for domestic difficulties

8. The variance is the minimum necessary to provide relief to the applicant:

The variance requested is only the minimum required to satisfy the required parking as outlined in the Land Development Code.

Pursuant to LDC Section 102-186 (i), the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

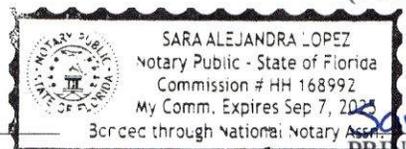
I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant:  Date: 5/23rd 2025

STATE OF Florida
COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 23rd day of May, 2025, by Yumari Rios
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as
(TYPE OF ID PRODUCED)
identification.




SIGNATURE OF NOTARY PUBLIC Sara Lopez
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES: Sept. 7, 2025

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, Florida 33050

**MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED
2024-178
OCT 25 2024

MONROE COUNTY
PLANNING DEPT.

Administrative Variance

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Administrative Variance Application Fee: \$1,250.00

In addition to the application fee, the following fees also apply:

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed
A signed Affidavit is required with this application

Date of Application: 10 / 22 / 2024
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

KEYS PERMITTING LLC ERIC PARKER
Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application

P.O. BOX 9505 TAVERNIER FL 33070
Mailing Address (Street, City, State and Zip Code)

305-619-0423 KEYSPERMITTING.EP@GMAIL.COM
Work Phone Home Phone Cell Phone Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

MAGNUM CONSTRUCTION AND A/C INC Felix Perez and Yumari Perez
(Name/Entity) Contact Person

101875 OVERSEAS HIGHWAY KEY LARGO FL 33037
Mailing Address (Street, City, State and Zip Code)

1-786-302-9862 magnumconstructionac@hotmail.com
Work Phone Home Phone Cell Phone Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

1 1 Largo Gardens Key Largo
Block Lot Subdivision Key

00455780-000000
Real Estate (RE) Number Alternate Key Number

101875 OVERSEAS HIGHWAY KEY LARGO, Florida 33037 102
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Land Use District Designation(s): Suburban Commercial (SC)

Present Land Use of the Property: RETAIL-SINGLE TENANT

Proposed Land Use of the Property: _____

Total Land Area: 6595 SQ FT

Pursuant to Section 102-186(b) of the Monroe County Land Development Code (LDC), the Director of Planning & Environmental Resources is authorized to grant the following variances:

- (1) Reduction of front or rear yard non-shoreline setback requirements, as provided in LDC Chapter 131, by up to ten (10) feet; and reduction of non-shoreline side yard setback requirements, as provided in LDC Chapter 131, by up to five (5) feet;
- (2) Reduction in the off-street parking requirements in LDC Chapter 114, Article III, by no more than 20%;
- (3) Reduction in the bufferyard width requirements for Class C, D, E, and F district boundaries, major streets, and scenic corridors in LDC Chapter 114, Article III, by no more than 10%;
- (4) Reduction in the total area of landscaping required for off-street parking and loading in LDC Chapter 114, Article III, by no more than 10%; and
- (5) Reduction in the loading/unloading space dimensional requirements in LDC Chapter 114, Article III.

Provide the standards required by the land development regulations: Front yard setbacks 25 ft & Secondary front yard 15 ft
(i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: reduction front yard 15 ft & reduction Sec front yard 10 ft
(i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:
With the granting of the reduction of front yard set back and secondary set back, the applicant will be able to meet planning conditions for parking.
2. Failure to grant the variance would result in exceptional hardship to the applicant:
Will not be able to fulfill planning requirements and thereby then unable to obtain permit

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners. Financial difficulty/hardship does not qualify as exceptional hardship.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

By granting the variance all safety conditions will be met per requirements set by Planning & Building

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:

Yes 2 front yard setbacks

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

Granting the variance will not give the applicant any special privilege

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

No it is not

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

No it is not

8. The variance is the minimum necessary to provide relief to the applicant:

Yes the variance is the minimum necessary

Pursuant to LDC Section 102-186 (i), the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature]

Date: 10-15-24

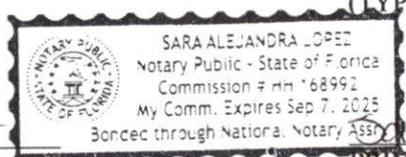
STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 15th day of October, 2024, by Felix Perez
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as identification.
(TYPE OF ID PRODUCED)

[Handwritten Signature]
SIGNATURE OF NOTARY PUBLIC



SARA LOPEZ
PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES: Sept. 7, 2025

Send complete application package to:

**Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, Florida 33050**

End of Additional File 2024-178

MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



RECEIVED
2024-178
SEP 12 2024

MONROE COUNTY
PLANNING DEPT.

Administrative Variance

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review

Administrative Variance Application Fee: \$1,250.00

In addition to the application fee, the following fees also apply:

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

A signed Affidavit is required with this application

Date of Application: 9 / 3 / 24
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

KEYS PERMITTING LLC ERIC PARKER
Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application

P.O. BOX 9505 TAVERNIER FL 33070
Mailing Address (Street, City, State and Zip Code)

305-619-0423 KEYSERMITTING.EP@GMAIL.COM
Work Phone Home Phone Cell Phone Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

MAGNUM CONSTRUCTION AND A/C INC FELIX PEREZ / [REDACTED]
(Name/Entity) Contact Person

101875 OVERSEAS HIGHWAY KEY LARGO FL 33037
Mailing Address (Street, City, State and Zip Code)

1-786-302-9862 magnumconstructionac@hotmail.com
Work Phone Home Phone Cell Phone Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

1 1 Largo Gardens Key Largo
Block Lot Subdivision Key

00455780-000000
Real Estate (RE) Number Alternate Key Number

101875 OVERSEAS HIGHWAY KEY LARGO, Florida 33037 102
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Land Use District Designation(s): Suburban Commercial (SC)

Present Land Use of the Property: RETAIL-SINGLE TENANT

Proposed Land Use of the Property: _____

Total Land Area: 6595 SQ FT

Pursuant to Section 102-186(b) of the Monroe County Land Development Code (LDC), the Director of Planning & Environmental Resources is authorized to grant the following variances:

- (1) Reduction of front or rear yard non-shoreline setback requirements, as provided in LDC Chapter 131, by up to ten (10) feet; and reduction of non-shoreline side yard setback requirements, as provided in LDC Chapter 131, by up to five (5) feet;
- (2) Reduction in the off-street parking requirements in LDC Chapter 114, Article III, by no more than 20%;
- (3) Reduction in the bufferyard width requirements for Class C, D, E, and F district boundaries, major streets, and scenic corridors in LDC Chapter 114, Article III, by no more than 10%;
- (4) Reduction in the total area of landscaping required for off-street parking and loading in LDC Chapter 114, Article III, by no more than 10%; and
- (5) Reduction in the loading/unloading space dimensional requirements in LDC Chapter 114, Article III.

Provide the standards required by the land development regulations: required setbacks per LDC Sec. 131-1 and 131-3
(i.e., front yard setback of 25 feet, 100 off-street parking spaces, etc.)

Provide requested variance: Reduction of required setbacks to allow the required use of parking spaces
(i.e., reduction of 5ft for a front yard setback of 20 feet; reduction to 90 off-street parking spaces, etc.)

All of the following standards must be met in order to receive variance approval. Please describe how each standard will be met (as it relates to the property):

1. The applicant shall demonstrate a showing of good and sufficient cause for granting the variance:

2. Failure to grant the variance would result in exceptional hardship to the applicant:

Exceptional hardship means a burden on a property owner that substantially differs in kind or magnitude from the burden imposed on other similarly situated property owners. Financial difficulty/hardship does not qualify as exceptional hardship.

3. Granting the variance will not result in increased public expenses, create a threat to public health and safety, create a public nuisance or cause fraud or victimization of the public:

4. Property has unique or peculiar circumstances, which apply to this property, but which do not apply to other properties in the same zoning district:
IRREGULAR SHAPE OF PROPERTY

5. Granting the variance will not give the applicant any special privilege denied other properties in the immediate neighborhood in terms of the provisions of the code or established development patterns:

6. Granting the variance is not based on disabilities, handicaps or health of the applicant or members of his family:

7. Granting the variance is not based on the domestic difficulties of the applicant or his family:

8. The variance is the minimum necessary to provide relief to the applicant:

To allow parking

Pursuant to LDC Section 102-186 (i), the applicant shall post the property of the proposed variance with a waterproof sign at least four (4) square feet in front surface area, which is so lettered as to be easily visible from all public streets and public ways abutting the property. The property shall remain posted for no less than thirty (30) calendar days beginning within five (5) working days of the date that the application is deemed to be in compliance by the Planning Director. For your convenience, the Department will provide you with a sample of the sign.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

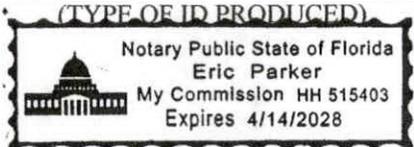
Signature of Applicant: [Handwritten Signature] Date: 08/08/24

STATE OF FL
COUNTY OF Monroe

Sword to and subscribed before me, by means of either physical presence OR online notarization, on 8 day of Aug, 2024, by Felix Perez
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as identification.

[Handwritten Signature]
SIGNATURE OF NOTARY PUBLIC



PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC MY COMMISSION EXPIRES:

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, Florida 33050

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Complete administrative variance application (unaltered and unbound) **X**
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*) **X**
- Proof of ownership (i.e., Warranty Deed) **X**
- Current Property Record Card(s) from the Monroe County Property Appraiser **X**
- Location map
- Photograph(s) of site from adjacent roadway(s) **X**
- Boundary Survey, prepared by a Florida registered surveyor-three (3) sets (at a minimum, survey should include elevations; location and dimensions of all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage by land use district; and total acreage by habitat) **X**
- Site Plan, prepared by a Florida registered architect, engineer or landscape architect- three (3) sets (drawn to a scale of 1 inch equals 20 feet, except where impractical and the Director of Planning authorizes a different scale). At a minimum, the site plan should include the following: **X**
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water line
 - Land use district of site and any adjacent land use districts
 - Locations and dimensions of all existing and proposed structures and drives
 - Type of ground cover (i.e. concrete, asphalt, grass, rock)
 - Adjacent roadways
 - Setbacks as required by the land development regulations
 - Location and dimensions of all parking spaces (including handicap accessible, bicycle and scooter) and loading zones
- A list of names and mailing addresses of real property owners within a 600-foot radius of the subject property(ies). This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600-foot radius, each unit owner must be included.

If applicable, the following items must be included in order to have a complete application submission:

- Notarized Agent Authorization Letter

Is there a pending code enforcement proceeding involving all or a portion of this property?

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

If for any reason the administrative variance application requires review and consideration by the Monroe County Planning Commission, additional fees, mailing labels and copies of all plans shall be required prior to item being scheduled for commission review.

* * * * *

AGENT AUTHORIZATION FORM

Date of Authorization: 8 / 8 / 24
Month Day Year

I hereby authorize Eric Parker be listed as authorized agent
(Print Name of Agent)

representing Felix Perez for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Administrative Variance
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

Lot Block Subdivision Key (Island)
Largo Gardens Key Largo

Real Estate (RE) / Parcel ID Number Alternate Key Number
00455780-000000

Street Address (Street, City, State & Zip Code) Approximate Mile Marker
101875 Overseas Hwy FL 33070 102

Authorized Agent Contact Information:

Mailing Address (Street, City, State and Zip Code)
P.O. Box 9505 Tavernier FL 33070

Work Phone Home Phone Cell Phone Email Address
305619-0423 KeysPermitting.Fp@gmail.com

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature] Date: 8/8/24

STATE OF Florida COUNTY OF Monroe

Sword to and subscribed before me, by means of either [X] physical presence OR [] online notarization, on 8 day of August, 2024, by Felix Perez
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is [X] personally known to me OR [] produced as identification.
(TYPE OF ID PROVIDED)

SIGNATURE OF NOTARY PUBLIC
[Signature]

Notary Public State of Florida
Lian Andrea Chamizo
My Commission HH 400421
Expires 5/18/2027
PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC MY COMMISSION EXPIRES: 5/18/2027

After Recording Return to:
Giselle Breto
Best Practices Title, LLC
2100 Ponce de Leon Blvd
Suite 1180
Coral Gables, FL 33134

Doc# 2169346 05/16/2018 11:43AM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

This Instrument Prepared by:
Giselle Breto
Best Practices Title, LLC
2100 Ponce de Leon Blvd
Suite 1180
Coral Gables, FL 33134
as a necessary incident to the fulfillment of conditions
contained in a title insurance commitment issued by it.

05/16/2018 11:43AM
DEED DOC STAMP CL: Krys \$0.70

Doc# 2169346
Blk# 2306 Pg# 2496

Property Appraisers Parcel I.D. (Folio) Number(s):
00455780-000000
File No.: 20181178

WARRANTY DEED

This Warranty Deed, Made the 8th day of May, 2018, by Felix A. Perez, an unmarried man, whose post office address is: 45 Bonefish Avenue, Key Largo, Florida 33037, hereinafter called the "Grantor", to MAGNUM CONSTRUCTION AND A/C INC., a Florida corporation, whose post office address is: 101875 Overseas Highway, Key Largo, FL 33037, hereinafter called the "Grantee".

WITNESSETH: That said Grantor, for and in consideration of the sum of Ten Dollars and No Cents (\$10.00) and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the Grantee, all that certain land situate in Monroe County, Florida, to wit:

Lot 1, Block 1, Largo Gardens, according to the plat thereof, as recorded in Plat Book 4, Page 38, of the Public Records of Monroe County, Florida, and all that portion of Lot 17, Section 22, Township 61 South, Range 39 East, Key Largo, Monroe County, Florida, according to the Model Land Company Plat recorded in Plat Book 1, Page 68, Public Records of Monroe County, Florida, lying East of the Right-of-Way of Dixie Highway (Old State Road 4-A), Monroe County, Florida.

The property is not the homestead of the Grantor(s) under the laws and constitution of the state of Florida in that neither Grantor(s) or any member of the household of Grantor(s) reside thereon.

Unencumbered Property, minimum Documentary Stamps, attached.
TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2017, reservations, restrictions and easements of record, if any.

(The terms "Grantor" and "Grantee" herein shall be construed to include all genders and singular or plural as the context indicates.)

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

SIGNED IN THE PRESENCE OF THE FOLLOWING WITNESSES
TWO SEPARATE DISINTERESTED WITNESSES REQUIRED

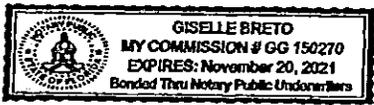
Witness Signature: [Signature]
Printed Name: Giselle Breto
Witness Signature: [Signature]
Printed Name: Felix A. Perez

Witness Signature: [Signature]
Printed Name: Luis J. Rodriguez

State of Florida
County of Miami-Dade

The foregoing instrument was acknowledged before me this 8th day of May, 2018 by Felix A. Perez, who is/are personally known to me or has/have produced driver license(s) as identification.

[Signature] My Commission Expires: _____
Notary Public Signature (SEAL)
Printed Name: Giselle Breto



MONROE COUNTY
OFFICIAL RECORDS



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation

MAGNUM CONSTRUCTION AND A/C INC.

Filing Information

Document Number	P01000019659
FEI/EIN Number	65-1087749
Date Filed	02/22/2001
State	FL
Status	ACTIVE
Last Event	AMENDMENT
Event Date Filed	03/16/2012
Event Effective Date	NONE

Principal Address

101875 Overseas Highway
Key Largo, FL 33037

Changed: 03/31/2016

101875 Overseas Highway
KEY LARGO, FL 33037

Changed: 03/16/2017

Registered Agent Name & Address

PEREZ, FELIX
45 BONEFISH AVE
KEY LARGO, FL 33037

Name Changed: 02/13/2010

Address Changed: 02/09/2012

Officer/Director Detail

Name & Address

Title P

PEREZ, FELIX A
45 BONEFISH AVE
KEY LARGO, FL 33037

Title VP

Rios, Yumari C
45 Bonefish Ave
Key Largo, FL 33037

Annual Reports

Report Year	Filed Date
2022	05/01/2022
2023	04/27/2023
2024	04/30/2024

Document Images

<u>04/30/2024 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/27/2023 -- ANNUAL REPORT</u>	View image in PDF format
<u>05/01/2022 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/29/2021 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/30/2020 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/30/2019 -- ANNUAL REPORT</u>	View image in PDF format
<u>04/30/2018 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/16/2017 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/31/2016 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/28/2015 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/21/2014 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/20/2013 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/16/2012 -- Amendment</u>	View image in PDF format
<u>02/09/2012 -- ANNUAL REPORT</u>	View image in PDF format
<u>03/03/2011 -- ANNUAL REPORT</u>	View image in PDF format
<u>02/13/2010 -- ANNUAL REPORT</u>	View image in PDF format
<u>06/09/2009 -- Amendment</u>	View image in PDF format
<u>02/04/2009 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/15/2008 -- ANNUAL REPORT</u>	View image in PDF format
<u>05/01/2007 -- ANNUAL REPORT</u>	View image in PDF format
<u>01/04/2006 -- ANNUAL REPORT</u>	View image in PDF format

01/16/2005 -- ANNUAL REPORT

[view image in PDF format](#)

05/03/2004 -- ANNUAL REPORT

[View image in PDF format](#)

10/30/2003 -- REINSTATEMENT

[View image in PDF format](#)

02/22/2001 -- Domestic Profit

[View image in PDF format](#)

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00455780-000000
 Account# 1559342
 Property ID 1559342
 Millage Group 500K
 Location 101875 OVERSEAS Hwy, KEY LARGO
 Address
 Legal BK 1 LT 1 LARGO GARDENS PB4-38 KEY LARGO AND PT
 Description LOT 17 PB1-68 EAST OF R/W OLD ST RD 4-A KEY LARGO
 OR373-823 OR463-586 OR896-1553 OR896-1552
 OR903-1991 OR2198-649D/C OR2198-650/51
 OR2421-1083 OR2765-144 OR2906-2496
 (Note: Not to be used on legal documents.)
 Neighborhood 10020
 Property Class RETAIL-SINGLE TENANT (1100)
 Subdivision LARGO GARDENS
 Sec/Twp/Rng 22/61/39
 Affordable No
 Housing



Owner

MAGNUM CONSTRUCTION AND A/C INC
 101875 Overseas Hwy
 Key Largo FL 33037

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$59,076	\$58,103	\$63,913	\$73,499
+ Market Misc Value	\$1,736	\$1,736	\$1,736	\$1,736
+ Market Land Value	\$544,723	\$416,108	\$226,968	\$226,968
= Just Market Value	\$605,535	\$475,947	\$292,617	\$302,203
= Total Assessed Value	\$354,065	\$321,878	\$292,617	\$302,203
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$605,535	\$475,947	\$292,617	\$302,203

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2023	\$416,108	\$58,103	\$1,736	\$475,947	\$321,878	\$0	\$475,947	\$0
2022	\$226,968	\$63,913	\$1,736	\$292,617	\$292,617	\$0	\$292,617	\$0
2021	\$226,968	\$73,499	\$1,736	\$302,203	\$302,203	\$0	\$302,203	\$0
2020	\$226,968	\$73,499	\$1,736	\$302,203	\$282,944	\$0	\$302,203	\$0
2019	\$185,763	\$69,723	\$1,736	\$257,222	\$257,222	\$0	\$257,222	\$0
2018	\$199,273	\$65,827	\$1,736	\$266,836	\$266,836	\$0	\$266,836	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1100)	6.755.00	Square Foot	0	0

Buildings

Building ID	43296	Exterior Walls	CONC BLOCK	
Style	GROUND LEVEL	Year Built	1950	
Building Type	1 STORY STORES / 11C	EffectiveYearBuilt	1985	
Building Name		Foundation		
Gross Sq Ft	1830	Roof Type		
Finished Sq Ft	768	Roof Coverage		
Stories	1 Floor	Flooring Type		
Condition	FAIR	Heating Type		
Perimeter	112	Bedrooms	0	
Functional Obs	0	Full Bathrooms	0	
Economic Obs	0	Half Bathrooms	0	
Depreciation %	50	Grade	300	
Interior Walls		Number of Fire Pt	0	
Code	Description	Sketch Area	Finished Area	Perimeter
CPF	COVERED PARKING FIN	280	0	0
CPU	COVERED PARKING UNFIN	153	0	0
FLA	FLOOR LIV AREA	768	768	0
SBF	UTIL FIN BLK	629	0	0
TOTAL		1,830	768	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CH LINK FENCE	1985	1986	6 x 265	1	1590 SF	3

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
5/8/2018	\$100	Warranty Deed	2169346	2906	2496	30 - Unqualified	Improved		
10/7/2015	\$280,000	Warranty Deed		2765	144	01 - Qualified	Improved		
7/1/2009	\$100	Quit Claim Deed		2421	1083	11 - Unqualified	Improved		
3/30/2006	\$350,000	Warranty Deed		2198	650	Q - Qualified	Improved		
2/1/1984	\$68,000	Warranty Deed		903	1991	U - Unqualified	Improved		

Permits

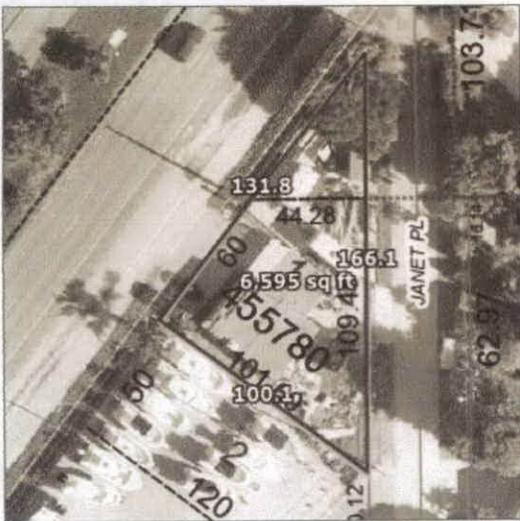
Number	Date Issued	Date Completed	Amount	Permit Type	Notes
21302002	12/6/2021	2/14/2023	\$500	Commercial	APPROVAL FOR SPECIFIC TREE REMOVAL/TRIMMING.
21300492	7/14/2021		\$3,400	Commercial	REPLACE FENCE WITH A CHAIN LINK FENCE 6 FEET HIGH
12300343	2/9/2012	3/1/2012	\$5,000	Commercial	RE-ROOF - METAL

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)

Map



TRIM Notice

[2024 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[| User Privacy Policy](#) | [GDPR Privacy Notice](#)

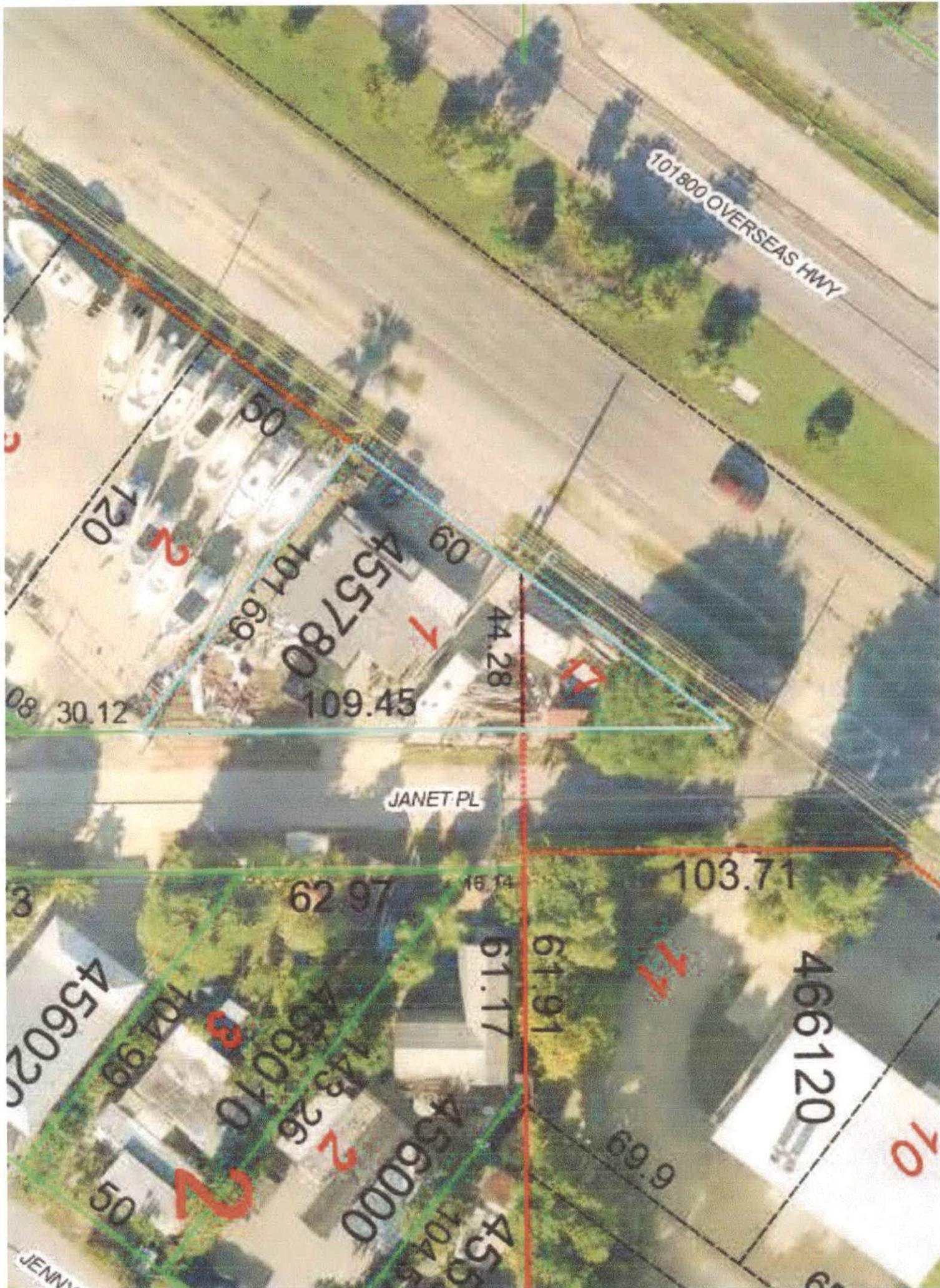
Last Data Upload: 9/3/2024, 5:52:24 AM

[Contact Us](#)



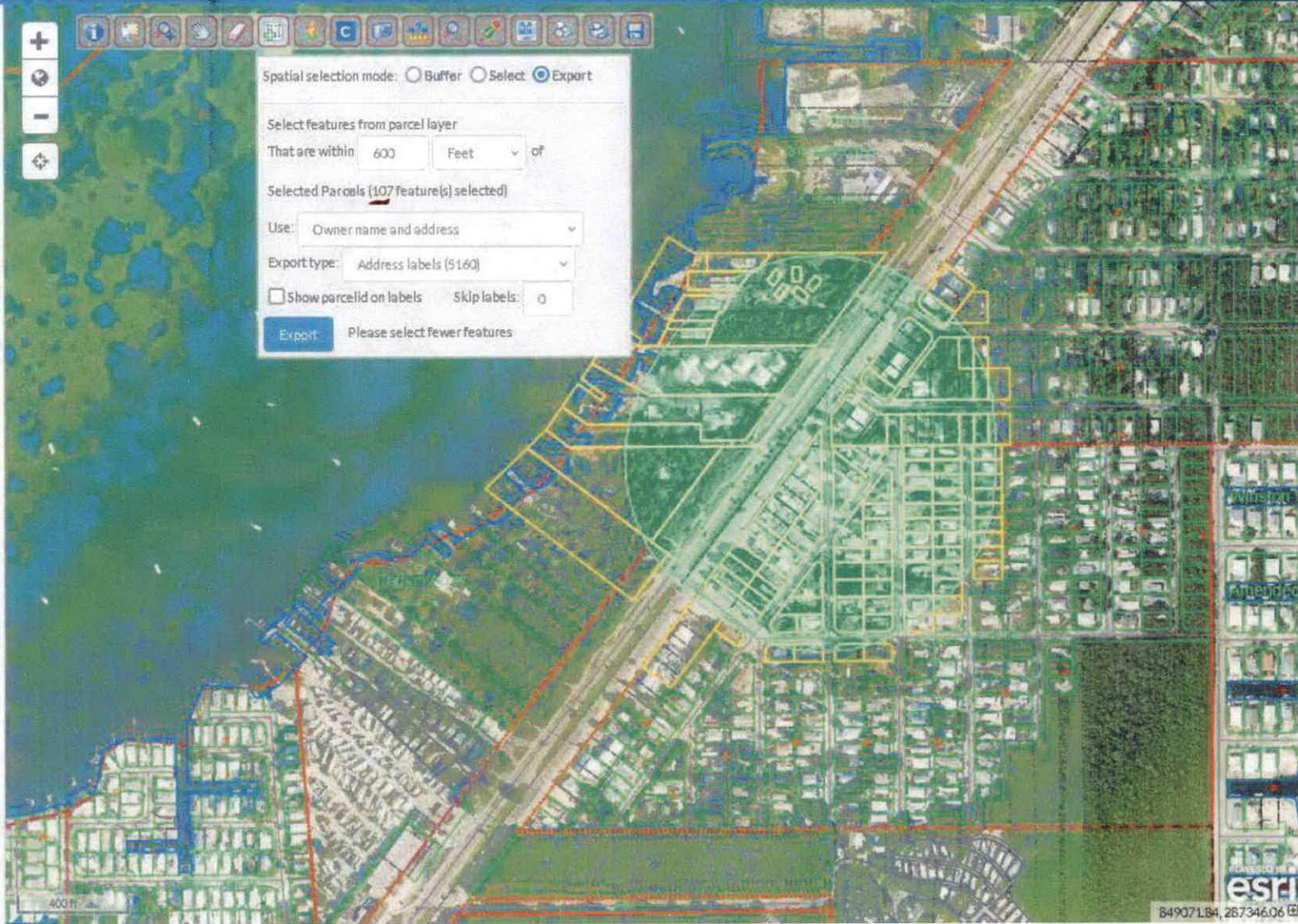
A photograph showing a paved path with several bright green circular markers spaced along its length. To the right of the path is a grassy area with a wooden fence and trees. A sign on a post reads "NO MOTOR VEHICLES". In the background, a road with a white pickup truck is visible under a cloudy sky.

NO
MOTOR
VEHICLES





- Layer List Legend
- Quick Links:
- Real Property Search
 - Tangible Property Search
 - View Map
- Layers:
- Annotation
 - Buildings
 - Major Roads
 - Centerline
 - Easements
 - Hooks
 - Lot Lines
 - Road Center
 - Rights of Way
 - Section Lines
 - Shoreline
 - Condo Building
 - Qualified Condo Sales
 - Qualified Parcel Sales
 - Conservation Easement
 - FEMA_Flood
 - Key Names
 - Subdivisions
 - Parcels
 - Personal Property
 - Section Poly
 - County Outline
 - 2024 Aerial Photography
 - 2023 Aerial Photography
 - 2022 Aerial Photography
 - 2021 Aerial Photography
 - 2018 Aerial Photography
 - 2015 Aerial Photography
 - 2012 Aerial Photography
- Restore Layer Defaults



Results:

Parcel ID - 00492670-000000
Alt id - 1608858
Address - 101740
OVERSEAS Hwy
Owner - SHORE GROUP FLORIDA LLC
View: Report Google Maps
Parcel ID - 00455780-000000
Alt id - 1559342
Address - 101875
OVERSEAS Hwy
Owner - MAGNUM CONSTRUCTION AND A/C INC
View: Report Google Maps
Parcel ID - 00464970-000000
Alt id - 1568392
Address - 211
LIGNUMVITAE Dr
Owner - ELLIS JOCENIL ELLIS RONNIE JAMES
View: Report Google Maps
Parcel ID - 00456280-000000
Alt id - 1559857
Address - 26 JUDY PI
Owner - KRUEGER ALEXANDER EDWARD KRUEGER CONNIE FRANCES
View: Report Google Maps
Parcel ID - 00456080-000000
Alt id - 1559644
Address - 30 JANET PI
Owner - SANDS DAVID ACTON
View: Report Google Maps
Parcel ID - 00456110-000000
Alt id - 1559687
Address - 31 II IFY PI

2 WISE INC
23740 NE Highway 314
Salt Springs, FL 32134

24 HOUR HOME BUYERS INC
3389 Sheridan St
Ste 312
Hollywood, FL 33021

32TINAPLACELLC
275 Normandy Dr
Tavernier, FL 33070

915 ADNIL LLC
15 Castle Dr
Woodbury, NY 11797

ABASCAL ARIEL LAZARO
408 W 16th St
Hialeah, FL 33010

ALANA KANAHO
136 Gumbo Limbo Dr
Key Largo, FL 33037

APPLEGATE ALAINA R
108 Gumbo Limbo Dr
Key Largo, FL 33037

APPLEGATE ALAN R
108 Gumbo Limbo Dr
Key Largo, FL 33037

APPLEGATE ALAN ROY
108 Gumbo Limbo Dr
Key Largo, FL 33037

APPLEGATE ALAN
108 Gumbo Limbo Dr
Key Largo, FL 33037

APPLEGATE APRIL L
35 Tina Pl
Key Largo, FL 33037

AVNER GLORIA L
106 Gumbo Limbo Dr
Key Largo, FL 33037

AWW FAMILY LIMITED PARTNERSHIP
7 Midstream
Hilton Head Island, SC 29928

BARAJAS SONIA
51 Janet Pl
Key Largo, FL 33037

BARON LYNN
31 Judy Pl
Key Largo, FL 33037

BASSETT MARIA
35 Rose Pl
Key Largo, FL 33037

BELLO MARC
10965 SW 38th St
Miami, FL 33165

BOBICK JACQUELINE
220 Lignumvitae Dr
Key Largo, FL 33037

BRADLEY CORINA
43 Tina Pl
Key Largo, FL 33037

BURDICK EILEEN
220 SW 3rd Pl
Dania, FL 33004

CABRERA VILLALOBOS ELENA KARINA
21 Rose Pl
Key Largo, FL 33037

CARRELL BARBARA A
531 Tina Pl
Key Largo, FL 33037

CASARIEGO FAMILY TRUST 11/04/2021
C/O ALEXIS CASARIEGO CO TRUSTEE
500 HUNTING LODGE DRIVE
Miami Springs, FL 33166

CATES JR CLYDE
52 Tina Pl
Key Largo, FL 33037

CHD INVESTMENTS LLC
29020 S Dixie Hwy
Homestead, FL 33033

CHRISTIANSON BRAD
37 Judy Pl
Key Largo, FL 33037

COBACHO THERESA
38 Judy Pl
Key Largo, FL 33037

CONE KAREN M
46 Tina Pl
Key Largo, FL 33037

CORREA ELIAS
231 Ryan Ave
Key Largo, FL 33037

CORREA OCTAVIO C
20 Abaco Rd
Key Largo, FL 33037

MONROE COUNTY COMPREHENSIVE P
1200 Truman Ave
Ste 207
Key West, FL 33040

MONROE COUNTY
1100 Simonton St
Ste 205
Key West, FL 33040

MORA EVA
44 Jenny Ln
Key Largo, FL 33037

MOREJON NIMIA A
511 E 44th St
Hialeah, FL 33013

MORRIS ANJANA
54 Tina Pl
Key Largo, FL 33037

MURPHY CHRISTINE LYNN
119 Gumbo Limbo Dr
Key Largo, FL 33037

NEUZIL EDWARD A
324 Mahogany Dr
Key Largo, FL 33037

NIEDENS BRET L
60 Marina Ave
Key Largo, FL 33037

NINEHOUSER III JAMES
232 2nd Rd
Key Largo, FL 33037

NUSSBAUM JOHN
991 N Ed Wells Rd
Wauchula, FL 33873

ORDNER THOMAS R
122 Gumbo Limbo Dr
Key Largo, FL 33037

ORESURY LAND TRUST 03/26/2018
C/O ORESTES VELIZ
PO Box 372300
Key Largo, FL 33037

ORNELAS DE QUEZADA LIDIA
36 Judy Pl
Key Largo, FL 33037

ORNELAS JOSE A
332 Mahogany Dr
Key Largo, FL 33037

ORNELAS JUAN CARLOS
716 Sharon Pl
Key Largo, FL 33037

ORNELAS MARIA YESENIA
35 Judy Pl
Key Largo, FL 33037

O'SULLIVAN NICOLE A
130 Gumbo Limbo Dr
Key Largo, FL 33037

PABOTOY DANE
402 Coconut Dr
Key Largo, FL 33037

PACHO ENTERPRISES INC
PO Box 370753
Key Largo, FL 33037

PALEN JR HARRY W
PO Box 372792
Key Largo, FL 33037

PEACOCK JOHN
PO Box 370093
Key Largo, FL 33037

PEREZ MICHELLE
711 Sharon Pl
Key Largo, FL 33037

PIMENTEL MARIANELA
621 SW 96th Ave
Pembroke Pines, FL 33025

PLACENCIA ANTONIO
57 Jenny Ln
Key Largo, FL 33037

PULFER JESSICA R
114 Gumbo Limbo Dr
Key Largo, FL 33037

QUEZADA ARTURO
45 Jenny Ln
Key Largo, FL 33037

QUEZADA OLIVIA
34 Janet Pl
Key Largo, FL 33037

RAMOS YENEY
3580 W 104th Ter
Hialeah, FL 33018

RIVER ROAD CAPITAL LLC
3 Alyce Ln
Rumson, NJ 07760

RODRIGUEZ CARLINA
134 Gumbo Limbo Dr
Key Largo, FL 33037

CORTINA ENRIQUE M
46 Coral Dr
Key Largo, FL 33037

COTTRELL CHERYL A
101801 Overseas Hwy
Key Largo, FL 33037

COTTRELL GORDON F
101801 Overseas Hwy
Key Largo, FL 33037

CRAWFORD JR ALBERT
124 Gumbo Limbo Dr
Key Largo, FL 33037

DAVIS T M FAMILY REVOCABLE LIVING
6920 SW 58th Ct
Davie, FL 33314

DE RUBALCAVA ANA LILIA GONZALEZ
17 Rose Pl
Key Largo, FL 33037

DIXON LARRY
16 Rose Pl
Key Largo, FL 33037

DODSON KARI
39 Judy Pl
Key Largo, FL 33037

DOLPHINS PLUS BAYSIDE INC
101900 Overseas Hwy
Key Largo, FL 33037

EADS BARBARA T
PO Box 372379
Key Largo, FL 33037

ELLIS JOCENT L
14 N Homestead Blvd
Homestead, FL 33030

ENGLISH CONGREGATION OF K L JEHC
PO Box 372874
Key Largo, FL 33037

FRERE RICHARD
4014 County Road 18
Canandaigua, NY 14424

FUHRMANN KARIN
48 Tina Pl
Key Largo, FL 33037

G & E 99 PROPERTIES LLC
11543 SW 150th Pl
Miami, FL 33196

GABRIEL PAUL F
244 River St
Weymouth, MA 02191

GARCIA MODESTO LUIS
110 Arbor Ln
Tavernier, FL 33070

GERCHAR KIM MARLENE
116 Gumbo Limbo Dr
Key Largo, FL 33037

GONZALEZ RUDY
723 Sharon Pl
Key Largo, FL 33037

GORMAN DAWN E
234 Lignumvitae Dr
Key Largo, FL 33037

GREEN JAMIE LEE
17 Pelican Rd
Key Largo, FL 33037

GREEN JESSE R
214 Lignumvitae Dr
Key Largo, FL 33037

GROARK DAMIAN K
228 Lignumvitae Dr
Key Largo, FL 33037

GUERRA ERICK MUNOZ
10 Rose Pl
Key Largo, FL 33037

GUTIERREZ EDUARDO
710 Sharon Pl
Key Largo, FL 33037

GUTIERREZ JOEL CHAIREZ
717 Sharon Pl
Key Largo, FL 33037

GUTIERREZ JOSE ANTONIO
37 Tina Pl
Key Largo, FL 33037

GUTIERREZ LIZANDRA
4 E Lake St
Skaneateles, NY 13152

HOOVER GLENN R
12 Rose Pl
Key Largo, FL 33037

HUIZENGA JACOB
1300 House St NE
Belmont, MI 49306

IVES WENDY L
121 Gumbo Limbo Dr
Key Largo, FL 33037

JENKINS FRANCISCA
59 Jenny Ln
Key Largo, FL 33037

JOHNSON SR CHARLES G
27 Judy Pl
Key Largo, FL 33037

JOINER MARIBETH C
322 Mahogany Dr
Key Largo, FL 33037

JONMIC PROPERTIES LLC
PO Box 447
Dania, FL 33004

KACZKA III CHESTER
PO Box 371669
Key Largo, FL 33037

KENNEDY STERLING D
402 Bowie Ln
Key Largo, FL 33037

KEY LARGO LODGING LLC
PO Box 378493
Key Largo, FL 33037

KEYSEARCH REALTY CORP
1849 Hartford Path
The Villages, FL 32162

KINGFISHER IRREVOCABLE TRUST 01/
3389 Sheridan St
Pmb 312
Hollywood, FL 33021

KRUEGER ALEXANDER EDWARD
26 Judy Pl
Key Largo, FL 33037

LANGHORNE SUSAN ELLEN
122 Gumbo Limbo Dr
Key Largo, FL 33037

LAZCOS ALEXANDER P
217 Lignumvitae Dr
Key Largo, FL 33037

LAZCOS ALEXANDER P
719 Sharon Pl
Key Largo, FL 33037

MAGNUM CONSTRUCTION AND A/C INC
101875 Overseas Hwy
Key Largo, FL 33037

MAHOGANY BAY COMMUNITY ASSOCI/
C/O PAUL GABRIEL
PO Box 371230
Key Largo, FL 33037

MARESMA JORGE
320 Mahogany Dr
Key Largo, FL 33037

MARIN PEDRO
311 Janet Pl
Key Largo, FL 33037

MARRA BONNIE L
123 Gumbo Limbo Dr
Key Largo, FL 33037

MARTINEZ ALINA
39 Tina Pl
Key Largo, FL 33037

MARTINEZ MARY
4711 SW 164th Ter
Southwest Ranches, FL 33331

MC DOOM MIRZA KAMAL
1201 Almar St
Concord, CA 94518

MCKELVIE PERRYLIN R REVOCABLE LI'
16 Frost Pond Rd
Jaffrey, NH 03452

MEDINA RAFAEL A
721 Sharon Pl
Key Largo, FL 33037

MEINECKE KATHERINE M
923 Tropical Ln
Key Largo, FL 33037

MEJIA RICARDO CORNEJO
15 Rose Pl
Key Largo, FL 33037

MILLER DEBRA S
818 Rubens Rd SW
Concord, NC 28027

MILLER REVOCABLE TRUST 11/12/2007
C/O DONALD E AND MARY L MILLER TR
530 Manatee Dr
Ruskin, FL 33570

MILLER WILLIAM MICHAEL
545 Tina Pl
Key Largo, FL 33037

MONROE COUNTY COMPREHENSIVE P
1200 Truman Ave
Ste 207
Key West, FL 33040

RUPRECHT ANTONY
707 Sharon Pl
Key Largo, FL 33037

SANCHEZ DAMASO JOSE
3525 NW 96th St
Miami, FL 33147

SANDS DAVID ACTON
30 Janet Pl
Key Largo, FL 33037

SCOBLE LISA J
222 Lignumvitae Dr
Key Largo, FL 33037

SEARS SHERRY L
226 Lignumvitae Dr
Key Largo, FL 33037

SENROR TERRY TRUST AGREEMENT
C/O HUDSON HERBERT E TRUSTEE
19 Rose Pl
Key Largo, FL 33037

SHAFER JESSICA J
128 Gumbo Limbo Dr
Key Largo, FL 33037

SHALLOW WATER HOLDINGS LLC
312 S Coconut Palm Blvd
Tavernier, FL 33070

SHALLOW WATER HOLDINGS LLC
312 S S Coconut Palm Blvd
Tavernier, FL 33070

SMITH DIANE W
27 N Channel Dr
Key Largo, FL 33037

STACK MARK
115 Gumbo Limbo Dr
Key Largo, FL 33037

STANFORD WILLIAM
724 Sharon Pl
Key Largo, FL 33037

SUAREZ VICTORINO G
30135 SW 152nd Ct
Homestead, FL 33033

SUNSETS IN PALMS PARADISE LLC
31 Martin Dr
Whispering Pines, NC 28327

SURLYHORSE RHENNA X
55 Jenny Ln
Key Largo, FL 33037

SZABO ROBERT S
326 Mahogany Dr
Key Largo, FL 33037

TARPON BASIN HOLDING LLC
PO Box 372487
Key Largo, FL 33037

TEACH MILES D
122 W Pippen Dr
Islamorada, FL 33036

TLV PROPERTY V LLC
12200 1st St W
Apt 202
Treasure Island, FL 33706

TRAPP JAMIE M
5 Hickory Ln
Northbrook, IL 60062

UBBEN CAROL
53 Jenny Ln
Key Largo, FL 33037

USA GENERAL SERVICES ADM
77 Forsyth St SW
Atlanta, GA 30303

VALCARCE ODALYS
22 Rose Pl
Key Largo, FL 33037

VIELITZ HELGA H
43 Jenny Ln
Key Largo, FL 33037

WASSER MARK
211 Lido Dr
Punta Gorda, FL 33950

WATSON BEVERLY L
2100 Market St
Chattanooga, TN 37408

WHITE INGRID E
156 Sunset Gardens Dr
Tavernier, FL 33070

WOODS DORIS
28 Judy Pl
Key Largo, FL 33037

WYSE MARY ALICE
PO Box 370930
Key Largo, FL 33037

SCOPE OF WORK:
 - NEW STORAGE ADDITION AT 2ND. FLOOR, ABOVE EXISTING OFFICE
 NOTE: EXISTING OFFICE IS UNDER A SEPARATE PERMIT (C-RMDL-2023-0120)

APPLICABLE CODE NOTE:
 FLORIDA BUILDING CODE 2023, 8th EDITION
 FLORIDA BUILDING CODE EXISTING BUILDING 2023, 8th EDITION
 ASCE-22
 FPFC / NFPA 1 / 01, 2020, 7th EDITION

NOTE:
 THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE TO THE FLORIDA BUILDING CODE 2023, 8th EDITION AND ASCE 7-22, EXPOSURE CATEGORY "D", 180 MPH PEAK WIND SPEED.

OPEN SPACE CALCULATIONS:
 NET LOT AREA: 6,760.24 SQ.FT.
 MIN. OPEN SPACE REQUIRED (20%): 1,352.04 SQ.FT.
 IMPERVIOUS AREA:
 ROOF AREA= 1,443.29 SQ.FT.
 PORCH W/PAVERS= 119.92 SQ.FT.
 STAIR/OPEN TERRACE= 280.97 SQ.FT.
 PARTIAL CONC A/C SLAB= 24.53 SQ.FT.
 SOLID WAIST AREA= 85.00 SQ.FT.
 TOTAL= 1,953.71 SQ.FT.
 OPEN SPACE PROPOSED: 4,806.53 SQ.FT. (71.10%)

SETBACKS:	REQUIRED	PROVIDED	EXISTING
PRIMARY FRONT YARD	25' FT.	10'-0" FT. (*)	15'-6" FT.
SECONDARY FRONT YARD	15' FT.	5'-0" FT. (*)	N/A
PRIMARY SIDE YARD	10' FT.	N/A	N/A
SECONDARY SIDE YARD	5' FT.	5'-7" (*)	9'-3" (*)
REAR YARD	10' FT.	N/A	N/A

(*) SETBACK PROVIDED AS PER SETBACK VARIANCE REQUEST.

ZONING INFORMATION:
 LAND USE DISTRICT / LAND USE: SUBURBAN COMMERCIAL (SC)
 NET LOT AREA: 6,760.24 SQ.FT.

LEGAL DESCRIPTION:
 LOT 1, BLOCK 1, LARGO GARDENS SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 38, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND ALL THAT PORTION OF LOT 17, SECTION 22, TOWNSHIP 61 SOUTH, RANGE 38 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, LYING EAST OF THE RIGHT OF WAY OF DIXIE HIGHWAY (OLD STATE ROAD A-4), MONROE COUNTY, FLORIDA.

BASE FLOOD ELEVATION DATA:
 FLOOD ZONE= X
 BASE FLOOD ELEVATION = N/A
 DESIGN FLOOD ELEVATION= N/A
 EXISTING GRADE ELEVATION = 13.21' NGVD 29
 EXISTING OFFICE F.F.L. = 13.21' NGVD 29
 REF. SURVEY COMPLETED BY:
 KARL F. KUHN
 PROFESSIONAL LAND SURVEYOR, MAPPERS & ENGINEERS LB 7538
 DATED: 07-26-2022

ENCLOSED & A/C AREA: 1,112.76 SQ.FT.

ALLOCATION POINTS
 (+10) U.S. SUBDIVISION WITH WATER, ELECTRICITY AND PAVED ROADS.
 (+2) STRUCTURAL CERTIFICATION TO WITHSTAND 175 MPH WIND LOADS
 (+1) HVAC UNIT HAS AN ENERGY EFFICIENCY RATING OF 12 OR BETTER
 (+1) THE RESIDENCE HAS SEWER CONNECTION
 (+1) THE RESIDENCE HAS HIGH EFFICIENCY WATER HEATER

TOTAL CREDIT POINTS: 15

GENERAL PARKING / LDC SEC. 114-67	REQUIRED PARKING SPACES	EXISTING QUANTITY	MINIMUM SPACES	PROPOSED QUANTITY	MINIMUM SPACES
OFFICES*	3.0 SPACES PER 1,000 SQ.FT. OF NONRESIDENTIAL FLOOR AREA WITHIN THE BLDG.	0	0	6	3,676.98

(*) INCLUDES (1) ADA PARKING SPACE
PARKING SPACES NOTES:
 - THIS OFFICE IS NOT INVOLVING WITH THE RECEIPT & DISTRIBUTION BY VEHICLES OF MATERIALS AND MERCHANDISE.
 NO LOADING / UNLOADING SPACES REQUIRED.

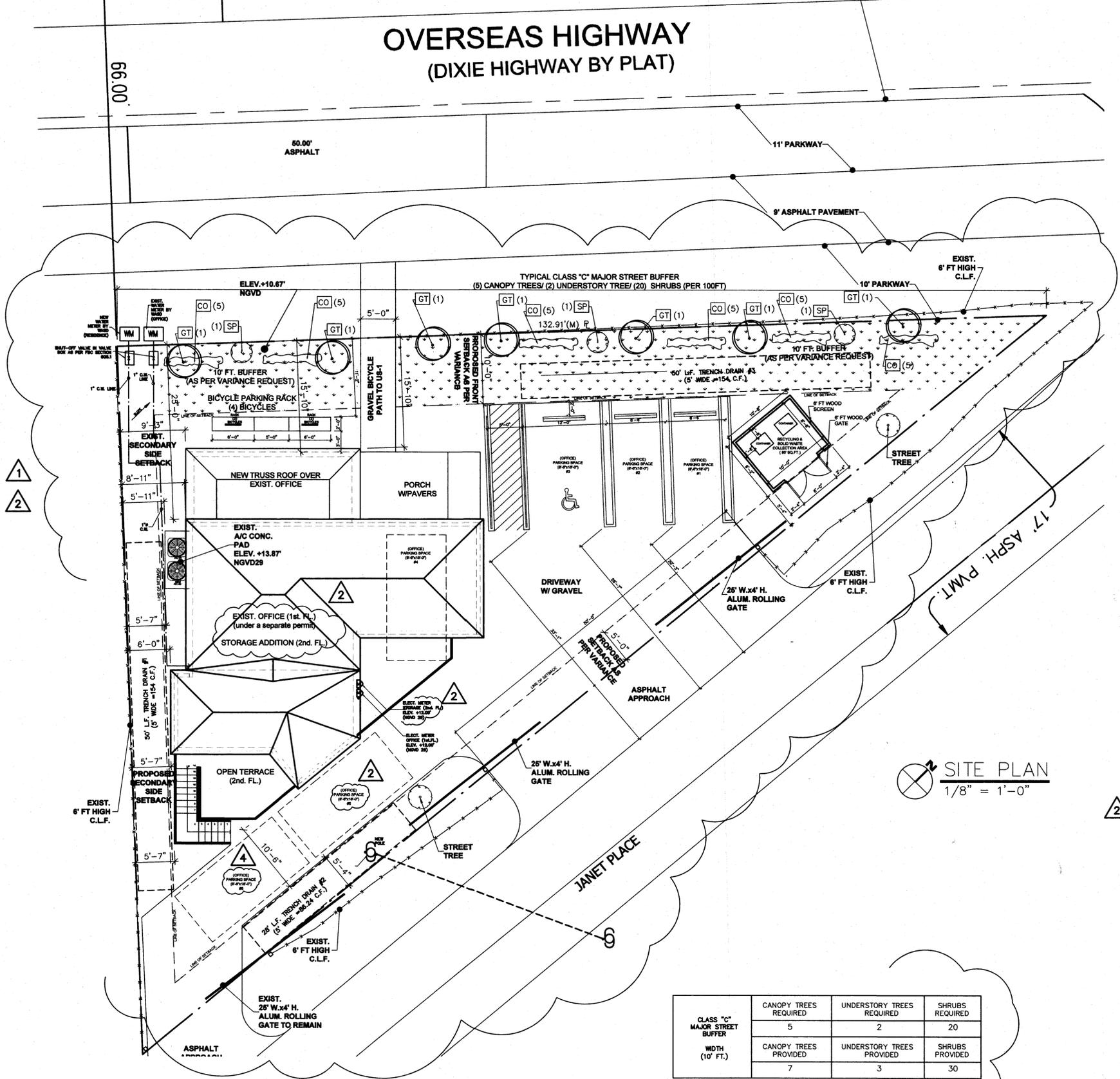
OFFICE BYCICLE PARKING INFORMATION / LDC SEC. 114-45(B):

REQUIRED	PROVIDED
4 (MIN.)	4

RECYCLING & SOLID WASTE COLLECTION NOTE / LDC SEC. 114-14:
 MIN. COLLECTION AREA REQUIRE: 82 SQ.FT. (INT.)
 PROVIDE SCREEN AROUND WASTE COLLECTION AREA, SOLID OR SEMI-OPAQUE ENCLOSURE, NOT EXCEED 6' FT. IN HEIGHT

CANOPY TREES					
COMMON	SCIENTIFIC	SYMBOL	#	STATUS	MIN. SIZE
GEIGER TREE	CORDIA SEBESTENA	GT	7	NATIVE	3" DIA. OR 12' TALL
UNDERSTORY					
SPANISH STOPPER	EUGENIA FOETIDA	SP	3	NATIVE	3' TO 5' TALL
SHRUBS					
COONTIE	ZAMIA INTEGRIFOLIA	CO	30	NATIVE	2' TALL

OVERSEAS HIGHWAY (DIXIE HIGHWAY BY PLAT)



SITE PLAN
 1/8" = 1'-0"

CLASS "C" MAJOR STREET BUFFER WIDTH (10' FT.)	CANOPY TREES REQUIRED	UNDERSTORY TREES REQUIRED	SHRUBS REQUIRED
	5	2	20
CANOPY TREES PROVIDED	CANOPY TREES PROVIDED	UNDERSTORY TREES PROVIDED	SHRUBS PROVIDED
	7	3	30

NOTE: CLASS "C" DISTRICT BOUNDARY BUFFER (PER 100 FT.) TO BE DISTRIBUTED ALONG THE U.S.1 PROPERTY LINE PORTION = 133' L.F.

TREE LEGEND

(Symbol: Circle with a dot)	CANOPY TREES
(Symbol: Circle with a smaller dot)	UNDERSTORY TREES
(Symbol: Wavy line)	SHRUBS

CANOPY TREES					
COMMON	SCIENTIFIC	SYMBOL	#	STATUS	MIN. SIZE
GEIGER TREE	CORDIA SEBESTENA	GT	7	NATIVE	3" DIA. OR 12' TALL
UNDERSTORY					
SPANISH STOPPER	EUGENIA FOETIDA	SP	3	NATIVE	3' TO 5' TALL
SHRUBS					
COONTIE	ZAMIA INTEGRIFOLIA	CO	30	NATIVE	2' TALL



Digitally signed by David Cabarrocas
 Date: 2025.05.16 11:05:58 -04'00'

REVISIONS
 BIOLOGY COMMENTS 04/20/2024
 REVISION BY OWNER 04/29/2025

COMMENTS: 01/17/2023
 DATE: 01/17/2023

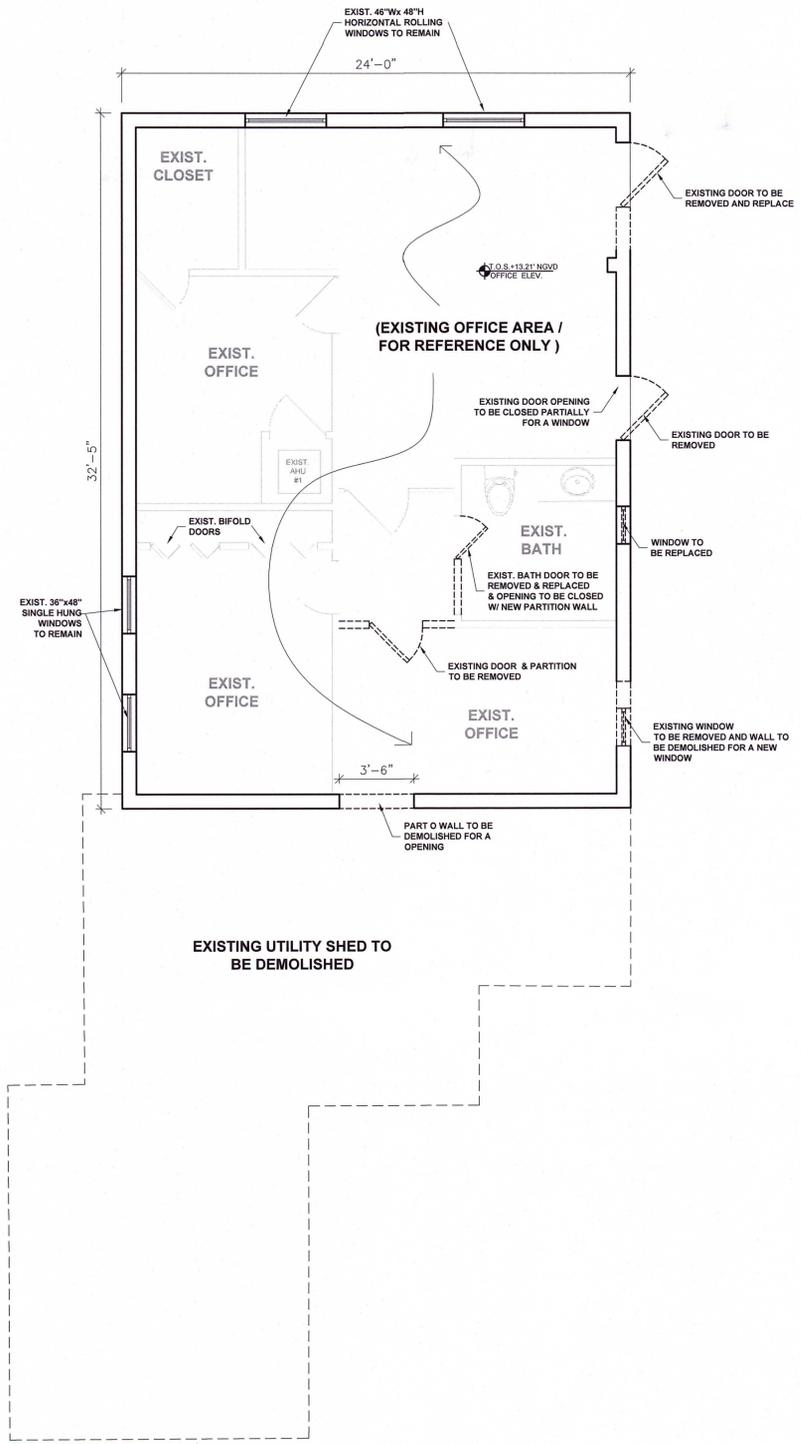
169 E. FLAGLER STREET, SUITE 1619
 MIAMI, FLORIDA 33131
 dcabarrocas@bellisouth.net

101875 OVERSEAS HWY. - NEW STORAGE ADDITION (2ND.FLOOR)
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037

DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

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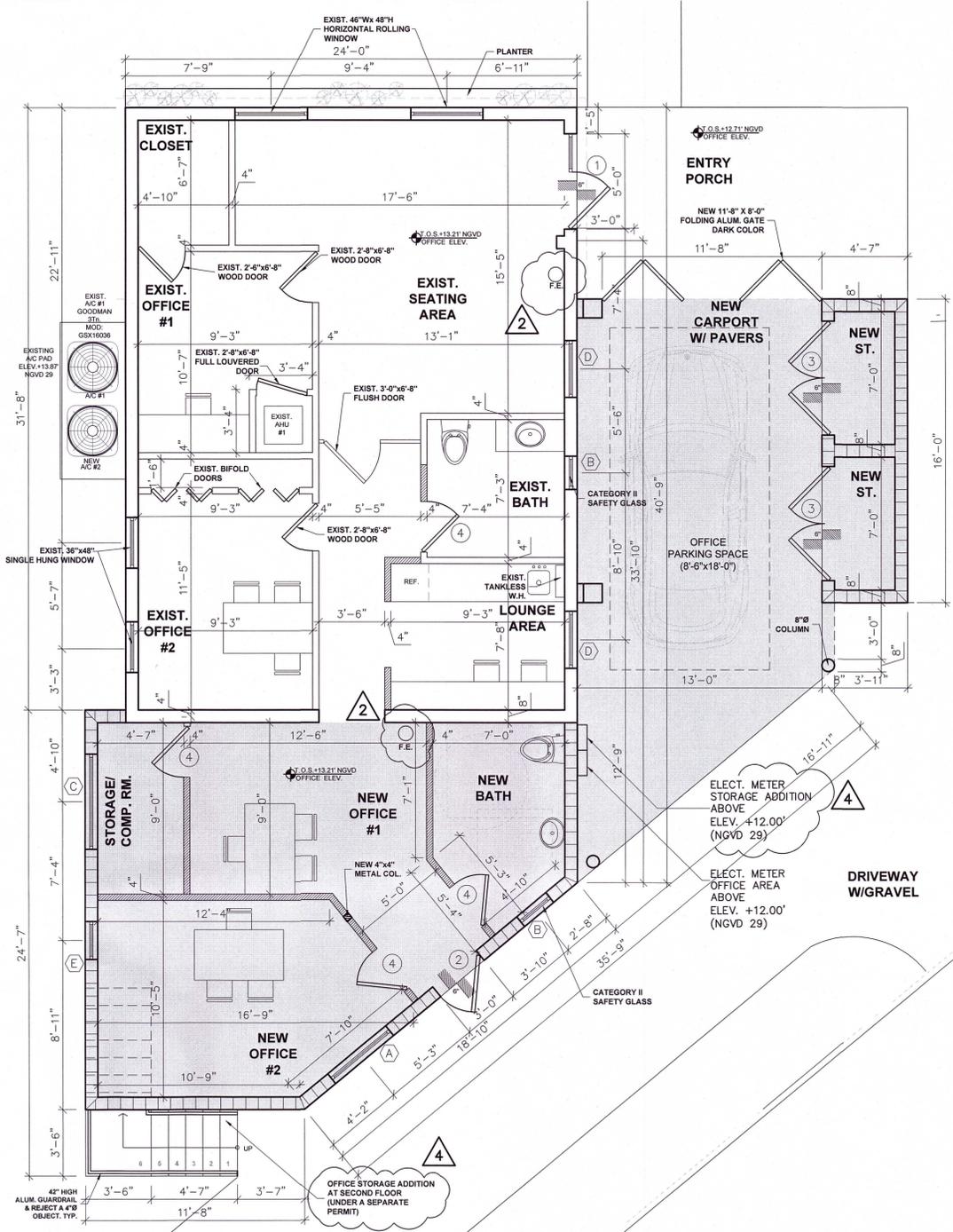
SHEET: A-1 OF: 5



EXISTING & DEMOLITION FLOOR PLAN
1/4" = 1'-0"

LEGEND:

- EXIST. CBS WALL TO REMAIN
- EXIST. CBS WALL TO BE REMOVED
- NEW CBS WALL
- EXIST. PARTITION TO REMAIN
- EXIST. PARTITION TO BE REMOVED
- NEW PARTITION
- OFFICE ADDITION
- FIRE EXTINGUISHER (AS PER FLORIDA FIRE PREVENTION CODE 7TH ED 2020 NFPA 1/101)



PROPOSED OFFICE ADDITION - FLOOR PLAN
1/4" = 1'-0"

NOTES:

- CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS.
- IF EXISTING CONDITIONS ARE DIFFERENT FROM THE PLANS SHOWN, CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUE WITH CONSTRUCTION

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101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037

DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

REVISIONS
DRAWN: M.R.
CHECKED: 01/17/2025
DATE: 01/17/2025
COMMENTS: STORAGE ADDITION (2nd FL.) 04/27/2025

169 E. FLAGLER STREET, SUITE 1619
MIAMI, FLORIDA 33131
dcabarrocas@bellsouth.net
(305) 808-9578

SHEET: A-2
OF: 6

Basic Wind Parameters
 Wind Load Standard = ASCE 7-16 Exposure Category = D
 Wind Design Speed = 180.0 mph Risk Category = II
 Structure Type = Building Building Type = Enclosed

General Wind Settings
 Incl_LF = Include ASD Load Factor of 0.6 in Pressures = True
 DynType = Dynamic Type of Structure = Rigid
 Zg = Altitude (Ground Elevation) above Sea Level = 19,210 ft
 Bdist = Base Elevation of Structure = 0.000 ft
 SDB = Simple Diaphragm Building = False
 Reacs = Show the Base Reactions in the output = False
 WFRSType = WFRS Method Selected = No Analysis

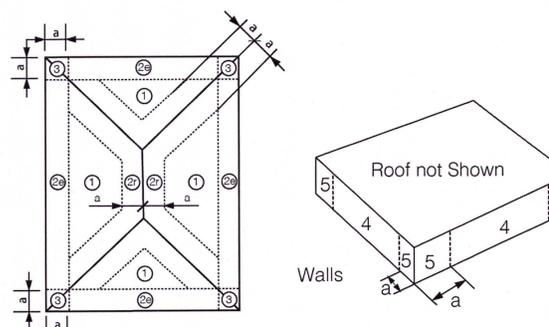
Topographic Factor per Fig 26.8-1
 Topo = Topographic Feature = None
 Kzt = Topographic Factor = 1.000

Building Inputs
 RoofType: Building Roof Type = Hipped W : Width Perp to Ridge = 41.580 ft
 L : Length Along Ridge = 59.250 ft EHT : Eave Height = 20.000 ft
 Hip : Ridge Hipped Length = 18.000 ft RE : Roof Entry Method = Ridge
 RH : Ridge Height = 23.200 ft O_Ht : Override Mean Height (0 for default) = 23.200 ft
 Theta : Roof Slope = 8.75 Deg Par : Is there a Parapet = False

Exposure Constants per Table 26.11-1:
 Alpha: Table 26.11-1 Const = 11.500 Zg: Table 26.11-1 Const = 700.000 ft
 At: Table 26.11-1 Const = 0.087 Bt: Table 26.11-1 Const = 1.070
 Am: Table 26.11-1 Const = 0.111 Bm: Table 26.11-1 Const = 0.800
 C: Table 26.11-1 Const = 0.150 Eps: Table 26.11-1 Const = 0.125

Overhang Inputs:
 Std = Overhangs on all sides are the same = True
 OHType = Type of Roof Wall Intersections = None

Components and Cladding (C&C) Calculations per Ch 30 Part 1:

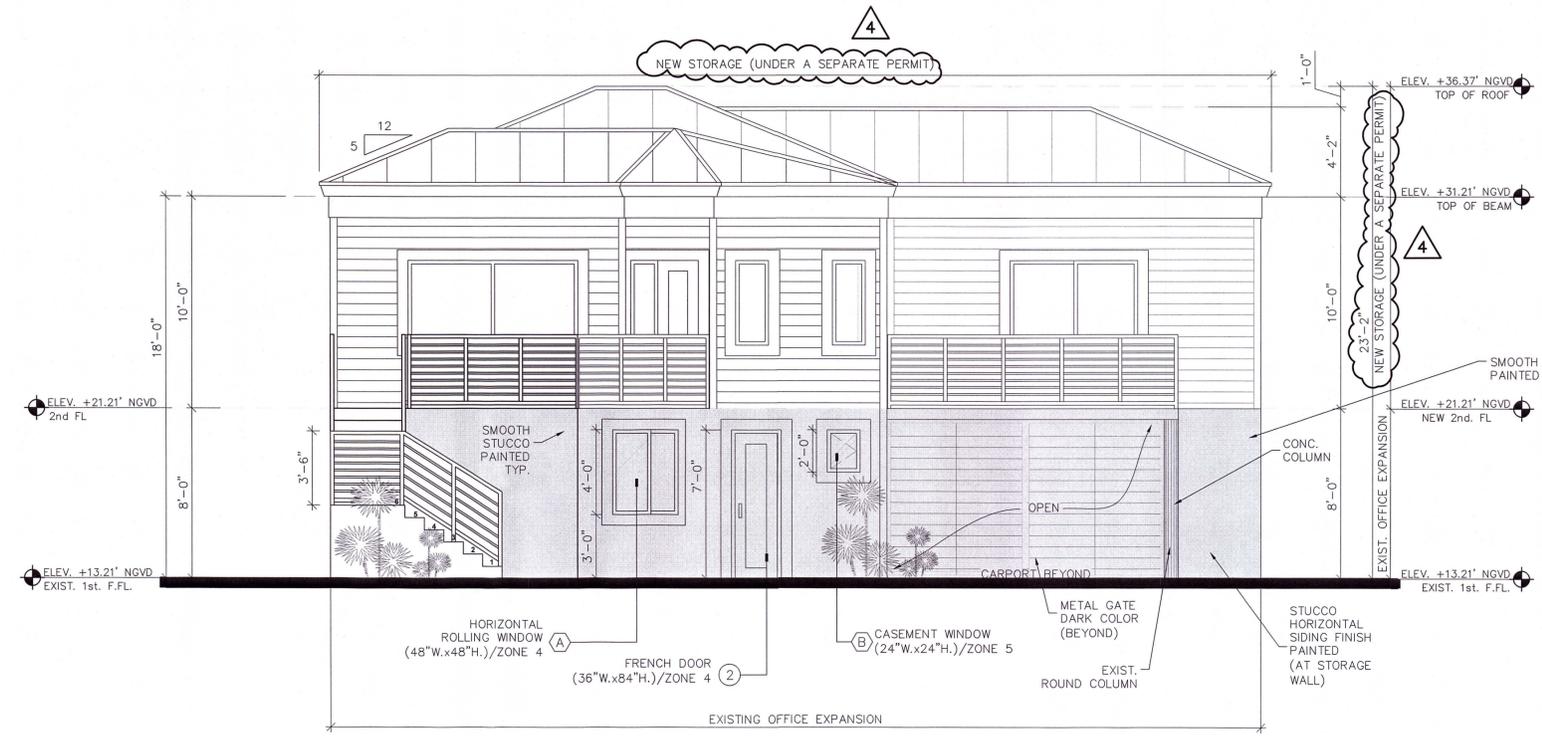


h/W = Ratio of mean roof height to building width = 0.558
 h/L = Ratio of mean roof height to building length = 0.392
 h = Mean Roof Height above grade = 23.200 ft
 Kh = 15 ft [4.572 m] < 2 * Zg --> (2.01 * (2/zg)^(2/Alpha)) (Table 26.10-1) = 1.111
 Kzt = Topographic Factor is 1 since no Topographic feature specified = 1.000
 Kd = Wind Directionality Factor per Table 26.6-1 = 0.85
 GCFI = ref Table 26.11-1 for Enclosed Building = 4/0.18
 LF = Load Factor based upon ASD Design = 0.60
 qh = (0.00256 * Kh * Kzt * Kd * Ke * V^2) * LF = 46.99 psf
 LHD = Least Horizontal Dimension: Min(B, L) = 41.580 ft
 al = Min(0.1 * LHD, 0.4 * h) = 4.158 ft
 a = Max(al, 0.04 * LHD, 3 ft [0.9 m]) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

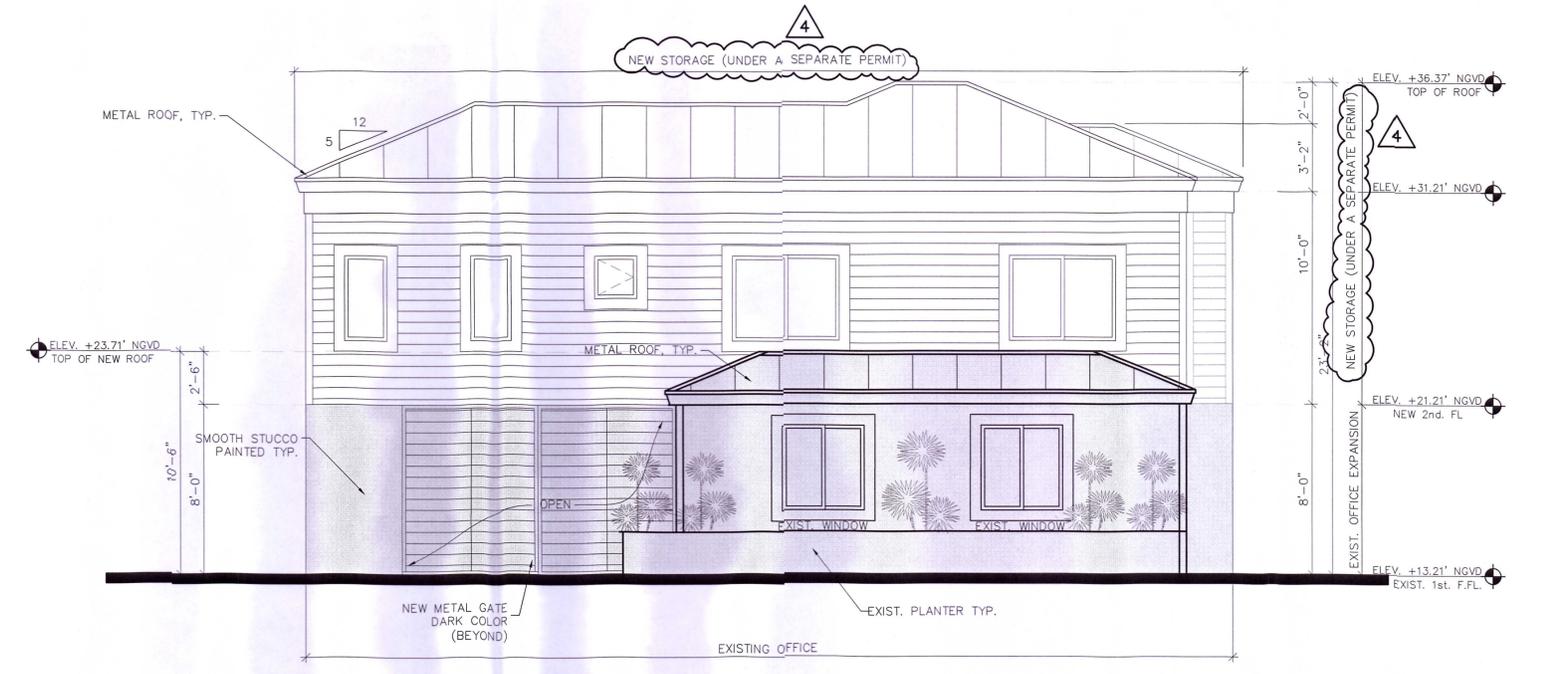
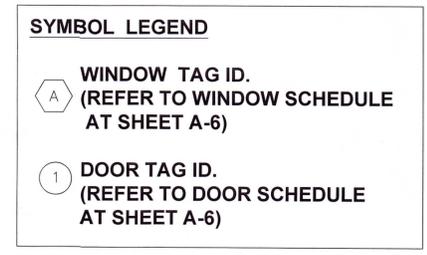
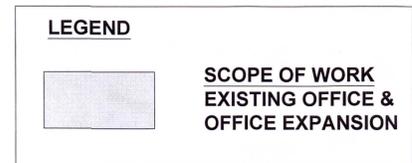
Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

Description	Zone	Width	Span	Area	1/3 Rule	Ref Fig	Gcp Max	Gcp Min	p Max psf	p Min psf
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-63.17
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 p = Wind Pressure: qh * (Gcp - GCp) (Eqn 30.3-1)
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf [0.466 kPa] (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%



SECONDARY FRONT ELEVATION—JANET PL. (SOUTHEAST)
 1/4" = 1'-0"



FRONT ELEVATION —OVERSEAS HWY. (NORTHWEST)
 1/4" = 1'-0"

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DESIGN CRITERIA:

- 2020 Florida Building Code
- Minimum Design Loads for Buildings and Other Structures ASCE 7-16
- Building Code Requirements for Structural Concrete ACI 318-14
- American Institute of Steel Construction AISC-14ed
- Aluminum Design Manual 2015
- Specifications for the Design of Cold-Formed Stainless Steel Structural Members SEI/ASCE8-02

Basic Wind Parameters

Wind Load Standard	= ASCE 7-16	Exposure Category	= D
Wind Design Speed	= 180.0 mph	Risk Category	= II
Structure Type	= Building	Building Type	= Enclosed

General Wind Settings

Incl_LF	= Include ASD Load Factor of 0.6 in Pressures	= True
DynType	= Dynamic Type of Structure	= Rigid
Zg	= Altitude (Ground Elevation) above Sea Level	= 13.210 ft
Bdist	= Base Elevation of Structure	= 0.000 ft
SDB	= Simple Diaphragm Building	= False
Reacs	= Show the Base Reactions in the output	= False
MWFRSType	= MWFRS Method Selected	= No Analysis

Topographic Factor per Fig 26.8-1

Topo	= Topographic Feature	= None
Kzt	= Topographic Factor	= 1.000

Building Inputs

RoofType	= Building Roof Type	= Hipped	W	: Width Perp to Ridge	= 41.580 ft
L	: Length Along Ridge	= 59.250 ft	EHT	: Eave Height	= 20.000 ft
Hip	: Ridge Hipped Length	= 18.000 ft	RE	: Roof Entry Method	= Ridge
Rht	: Ridge Height	= 23.200 ft	O_Ht	: Override Mean Height (0 for default)	= 23.200 ft
Theta	: Roof Slope	= 8.75 Deg	Par	: Is there a Parapet	= False

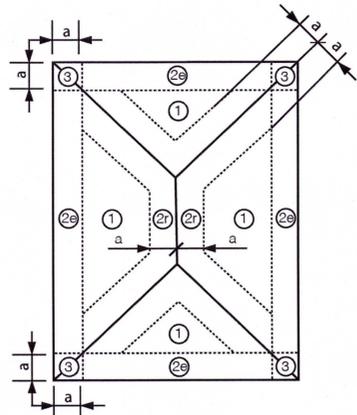
Exposure Constants per Table 26.11-1:

Alpha	: Table 26.11-1 Const	= 11.500	Zg	: Table 26.11-1 Const	= 700.000 ft
At	: Table 26.11-1 Const	= 0.087	Bt	: Table 26.11-1 Const	= 1.070
Am	: Table 26.11-1 Const	= 0.111	Bm	: Table 26.11-1 Const	= 0.800
C	: Table 26.11-1 Const	= 0.150	Eps	: Table 26.11-1 Const	= 0.125

Overhang Inputs:

Std	= Overhangs on all sides are the same	= True
OHType	= Type of Roof Wall Intersections	= None

Components and Cladding (C&C) Calculations per Ch 30 Part 1:



h/W	= Ratio of mean roof height to building width	= 0.558
h/L	= Ratio of mean roof height to building length	= 0.392
h	= Mean Roof Height above grade	= 23.200 ft
Kh	= 15 ft [4.572 m] < 2 < 2g --> (2.01 * (Z/zg) ^ (2/Alpha)) (Table 26.10-1)	= 1.111
Kzt	= Topographic Factor is 1 since no Topographic feature specified	= 1.000
Rd	= Wind Directionality Factor per Table 26.6-1	= 0.85
GCpi	= Ref Table 26.13-1 for Enclosed Building	= +/-0.18
LF	= Load Factor based upon ASD Design	= 0.60
qh	= (0.00256 * Kh * Kzt * Rd * Ke * V^2) * LF	= 46.99 psf
LHD	= Least Horizontal Dimension: Min(B, L)	= 41.580 ft
a1	= Min(0.1 * LHD, 0.4 * h)	= 4.158 ft

WLC 4 of 5

a = Max(a1, 0.04 * LHD, 3 ft [0.9 m]) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

Description	Zone	Width	Span	Area	1/3 Rule	Ref Fig	Gcp	Gcp	p	p
ft		ft	ft	sq ft			Max	Min	Max	Min
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-52.73
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

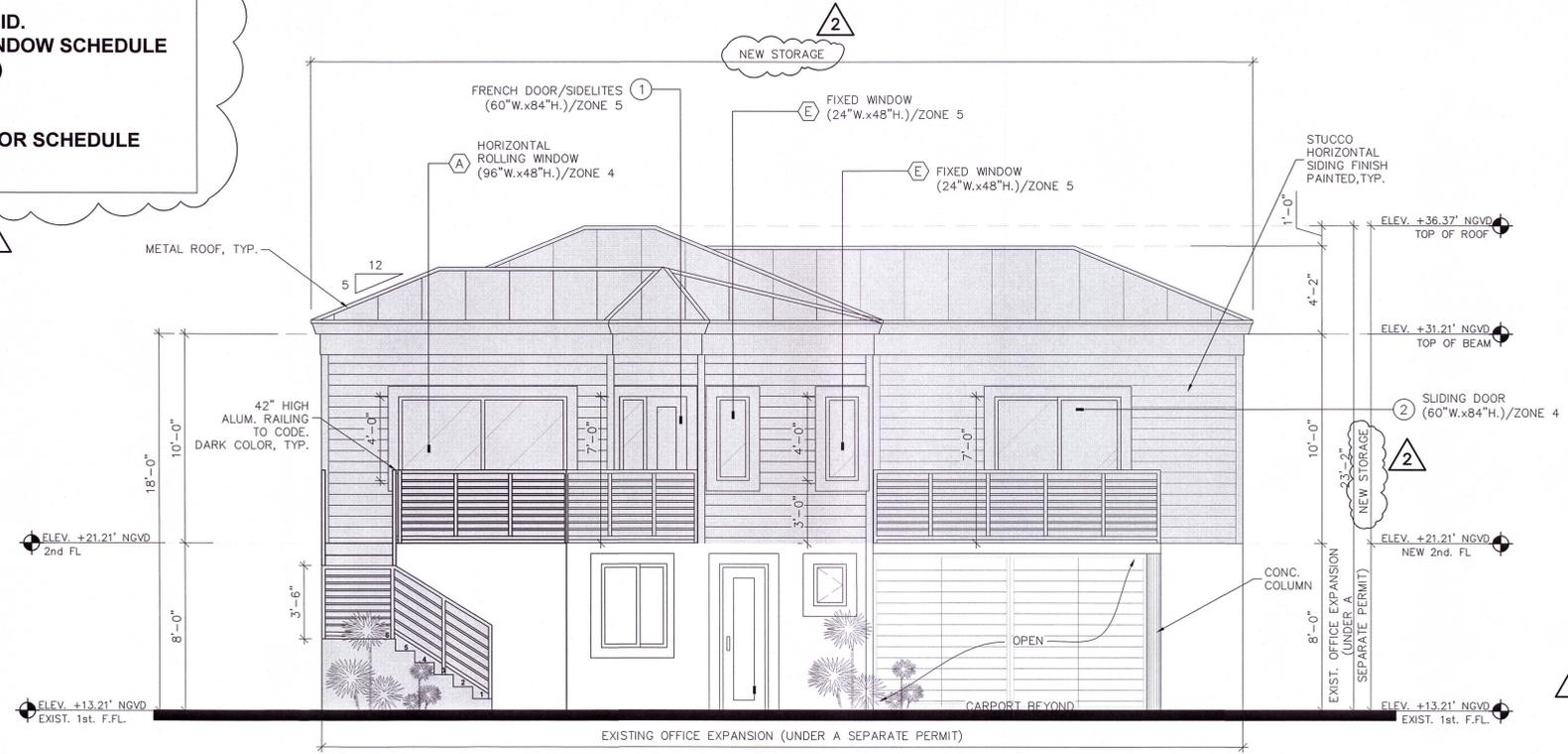
Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 p = Wind Pressure: qh * (Gcp - GCpi) [Eqn 30.3-1]
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf [0.460 kPa] (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%

SYMBOL LEGEND

- WINDOW TAG ID.**
(REFER TO WINDOW SCHEDULE AT SHEET A-5)
- DOOR TAG ID.**
(REFER TO DOOR SCHEDULE AT SHEET A-5)

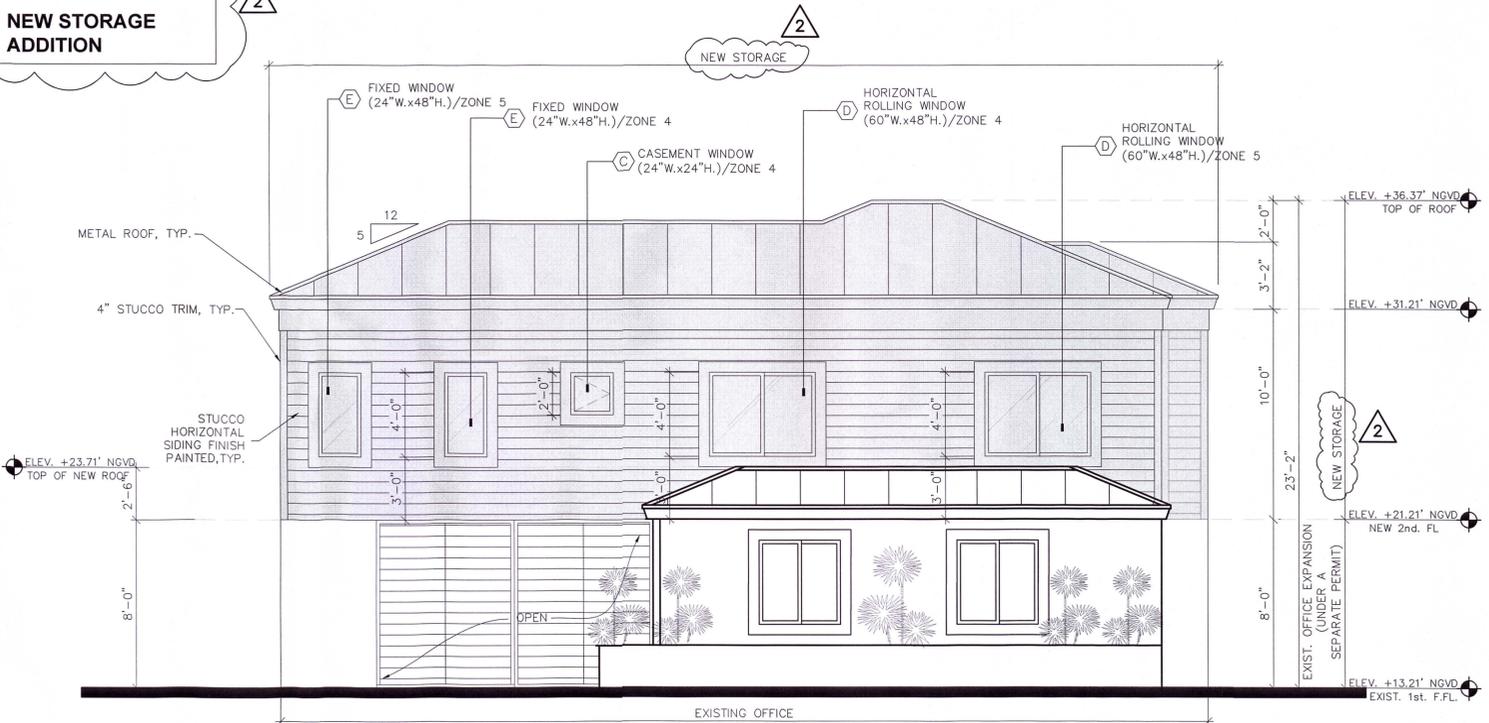
LEGEND

- SCOPE OF WORK**
- NEW STORAGE ADDITION**



SECONDARY FRONT ELEVATION - JANET PL. (SOUTHEAST)

1/4" = 1'-0"



FRONT ELEVATION - OVERSEAS HWY. (NORTHWEST)

1/4" = 1'-0"

COMMENTS:	
DRAWN:	M.A.R.
REVISION BY:	OVINER 04/28/2025
CHECKED:	
DATE:	03/08/2023
169 E. FLAGLER STREET, SUITE 1619 MIAMI, FLORIDA 33131 dcabarocas@bellsouth.net	
(305) 808-9578	

101875 OVERSEAS HWY. - NEW STORAGE ADDITION (2ND.FLOOR)
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037

DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

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 2024-173
 MAY 28 2025
 MONROE COUNTY
 PLANNING DEPT.

SHEET: A-35
 OF: 2

Basic Wind Parameters
 Wind Load Standard = ASCE 7-16 Exposure Category = D
 Wind Design Speed = 180.0 mph Risk Category = II
 Structure Type = Building Building Type = Enclosed

General Wind Settings
 Incl_LF = Include ASD Load Factor of 0.6 in Pressures = True
 DynType = Dynamic Type of Structure = Rigid
 Zg = Altitude (Ground Elevation) above Sea Level = 13.210 ft
 Bldst = Base Elevation of Structure = 0.000 ft
 SDB = Simple Diaphragm Building = False
 Reacs = Show the Base Reactions in the output = False
 MWFRSType = MWFRS Method Selected = No Analysis

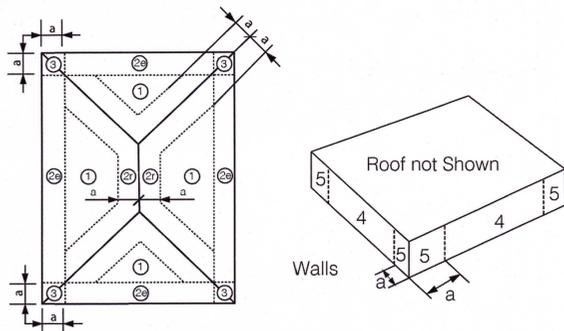
Topographic Factor per Fig 26.8-1
 Topo = None
 Kzt = Topographic Feature = 1.000

Building Inputs
 RoofType: Building Roof Type = Hipped W : Width Perp to Ridge = 41.580 ft
 L : Length Along Ridge = 59.250 ft EHT : Eave Height = 20.000 ft
 Hip : Ridge Hipped Length = 18.000 ft RE : Roof Entry Method = Ridge
 Rht : Ridge Height = 23.200 ft O_Rht : Override Mean Height (0 for default) = 23.200 ft
 Theta : Roof Slope = 8.75 Deg Par : Is there a Parapet = False

Exposure Constants per Table 26.11-1:
 Alpha: Table 26.11-1 Const = 1.1500 Zg: Table 26.11-1 Const = 700.000 ft
 At: Table 26.11-1 Const = 0.087 Bt: Table 26.11-1 Const = 1.070
 Am: Table 26.11-1 Const = 0.111 Em: Table 26.11-1 Const = 0.800
 C: Table 26.11-1 Const = 0.150 Eps: Table 26.11-1 Const = 0.125

Overhang Inputs:
 Std = Overhangs on all sides are the same = True
 OHType = Type of Roof Wall Intersections = None

Components and Cladding (C&C) Calculations per Ch 30 Part 1:

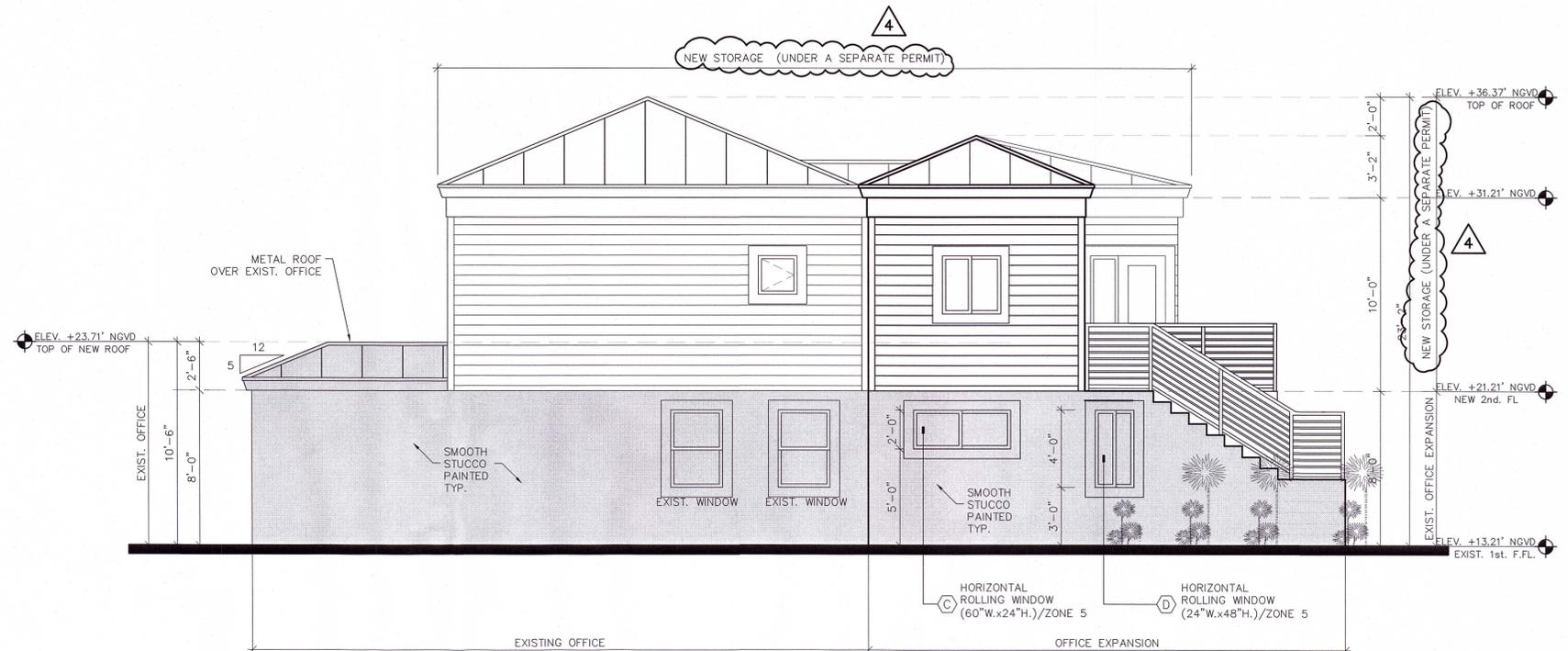


h/W = Ratio of mean roof height to building width = 0.558
 h/L = Ratio of mean roof height to building length = 0.392
 h = Mean Roof Height above grade = 23.200 ft
 Kh = 15 ft [4.572 m] < Z < 2g --> (2.01 * (Z/zg)^(2/Alpha)) (Table 26.10-1) = 1.111
 Kzt = Topographic Factor is 1 since no Topographic feature specified = 1.000
 Kd = Wind Directionality Factor per Table 26.6-1 = 0.85
 GCF1 = Ref Table 26.13-1 for Enclosed Building = +/-0.18
 LF = Load Factor based upon ASD Design = 0.60
 qh = (0.00256 * Rh * Kzt * Kd * Re * V^2) * LF = 46.99 psf
 LHD = Least Horizontal Dimension: Min(B, L) = 41.580 ft
 al = Min(0.1 * LHD, 0.4 * h) = 4.158 ft
 a = Max(al, 0.04 * LHD, 3 ft [0.9 m]) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

Description	Zone	Width	Span	Area	1/3 Rule	Ref Fig	Gcp	Gcp	p	
									Max	Min
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-52.73
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 p = Wind Pressure: qh * (Gcp - Gcpi) [Eqn 30.3-1]
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf [0.460 kPa] (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%



SYMBOL LEGEND

Ⓐ WINDOW TAG ID.
(REFER TO WINDOW SCHEDULE AT SHEET A-6)

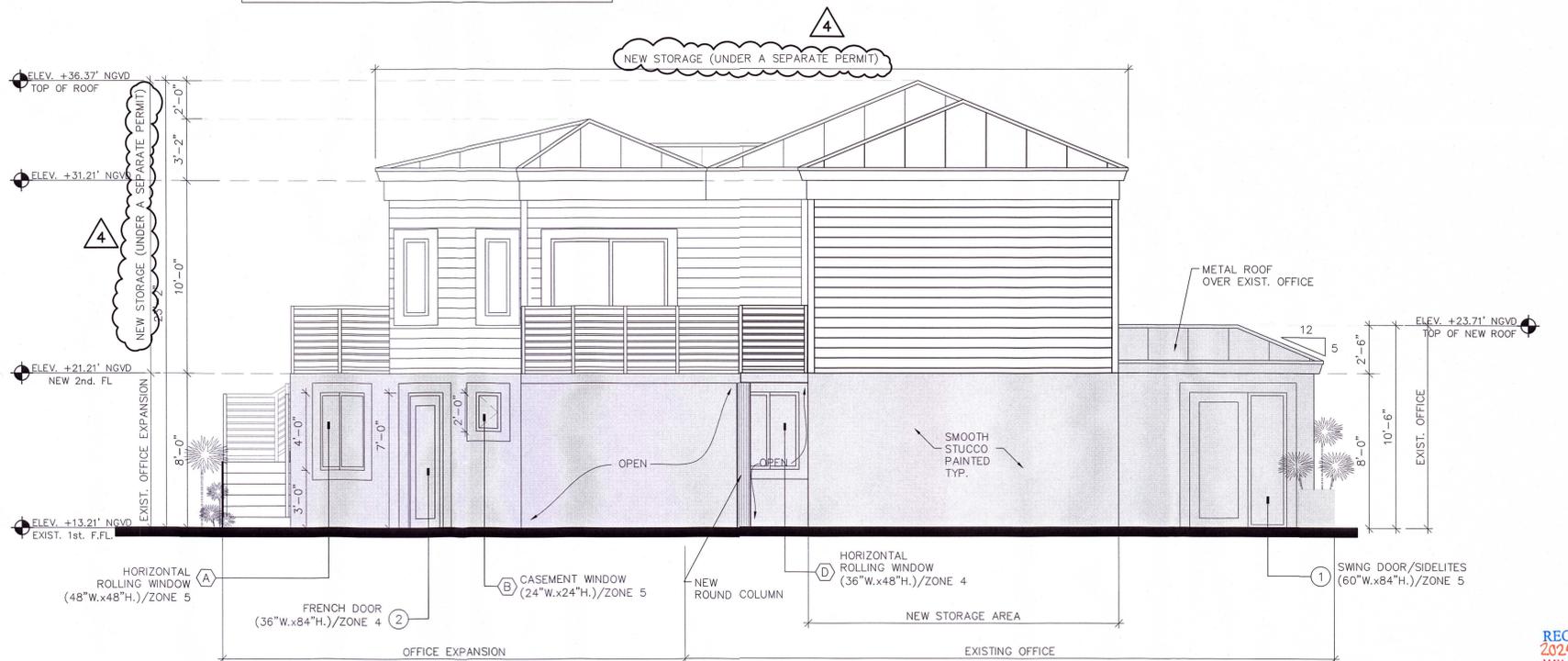
① DOOR TAG ID.
(REFER TO DOOR SCHEDULE AT SHEET A-6)

LEGEND

SCOPE OF WORK
 EXISTING OFFICE &
 OFFICE EXPANSION

SIDE ELEVATION (SOUTHWEST)

1/4" = 1'-0"



SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"

RECEIVED
 2024-118
 MAY 28 2025
 MONROE COUNTY
 PLANNING DEPT.

DESIGN CRITERIA:

- 2020 Florida Building Code
- Minimum Design Loads for Buildings and Other Structures ASCE 7-16
- Building Code Requirements for Structural Concrete ACI 318-14
- American Institute of Steel Construction AISC-14ed
- Aluminum Design Manual 2015
- Specifications for the Design of Cold-Formed Stainless Steel Structural Members SEI/ASCE8-02

Basic Wind Parameters

Wind Load Standard = ASCE 7-16 Exposure Category = D
 Wind Design Speed = 180.0 mph Risk Category = II
 Structure Type = Building Building Type = Enclosed

General Wind Settings

Incl LF = Include ASD Load Factor of 0.6 in Pressures = True
 DynType = Dynamic Type of Structure = Rigid
 Zg = Altitude (Ground Elevation) above Sea Level = 13.210 ft
 Bdist = Base Elevation of Structure = 0.000 ft
 SDB = Simple Diaphragm Building = False
 Reacs = Show the Base Reactions in the output = False
 MWFRSType = MWFRS Method Selected = No Analysis

Topographic Factor per Fig 26.8-1

Topo = Topographic Feature = None
 Kzt = Topographic Factor = 1.000

Building Inputs

RoofType: Building Roof Type = Hipped W : Width Perp to Ridge = 41.580 ft
 L : Length Along Ridge = 59.250 ft EHT : Eave Height = 20.000 ft
 Hip : Ridge Hipped Length = 18.000 ft RE : Roof Entry Method = Ridge
 RHT : Ridge Height = 23.200 ft O_Ht : Override Mean Height (0 for default) = 23.200 ft
 Theta : Roof Slope = 8.75 Deg Par : Is there a Parapet = False

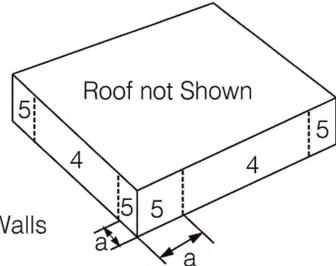
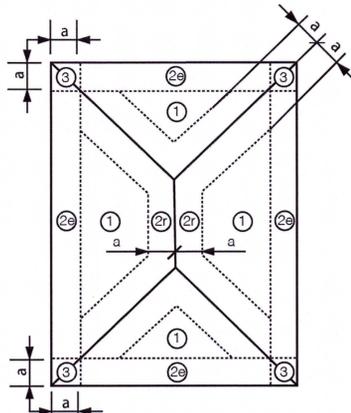
Exposure Constants per Table 26.11-1:

Alpha: Table 26.11-1 Const = 11.500 Zg: Table 26.11-1 Const = 700.000 ft
 At: Table 26.11-1 Const = 0.087 Bt: Table 26.11-1 Const = 1.070
 Am: Table 26.11-1 Const = 0.111 Bm: Table 26.11-1 Const = 0.800
 C: Table 26.11-1 Const = 0.150 Eps: Table 26.11-1 Const = 0.125

Overhang Inputs:

Std = Overhangs on all sides are the same = True
 OHType = Type of Roof Wall Intersections = None

Components and Cladding (C&C) Calculations per Ch 30 Part 1:



h/W = Ratio of mean roof height to building width = 0.558
 h/L = Ratio of mean roof height to building length = 0.392
 h = Mean Roof Height above grade = 23.200 ft
 Kh = 15 ft [4.572 m] < Z < Zg --> (2.01 * (Z/zg)^(2/Alpha)) (Table 26.10-1) = 1.111
 Kzt = Topographic Factor is 1 since no Topographic feature specified = 1.000
 Kd = Wind Directionality Factor per Table 26.6-1 = 0.85
 GCpI = Ref Table 26.13-1 for Enclosed Building = +/-0.18
 LF = Load Factor based upon ASD Design = 0.60
 qh = (0.00256 * Kh * Kzt * Kd * Ke * V^2) * LF = 46.99 psf
 LHD = Least Horizontal Dimension: Min(B, L) = 41.580 ft
 al = Min(0.1 * LHD, 0.4 * h) = 4.158 ft

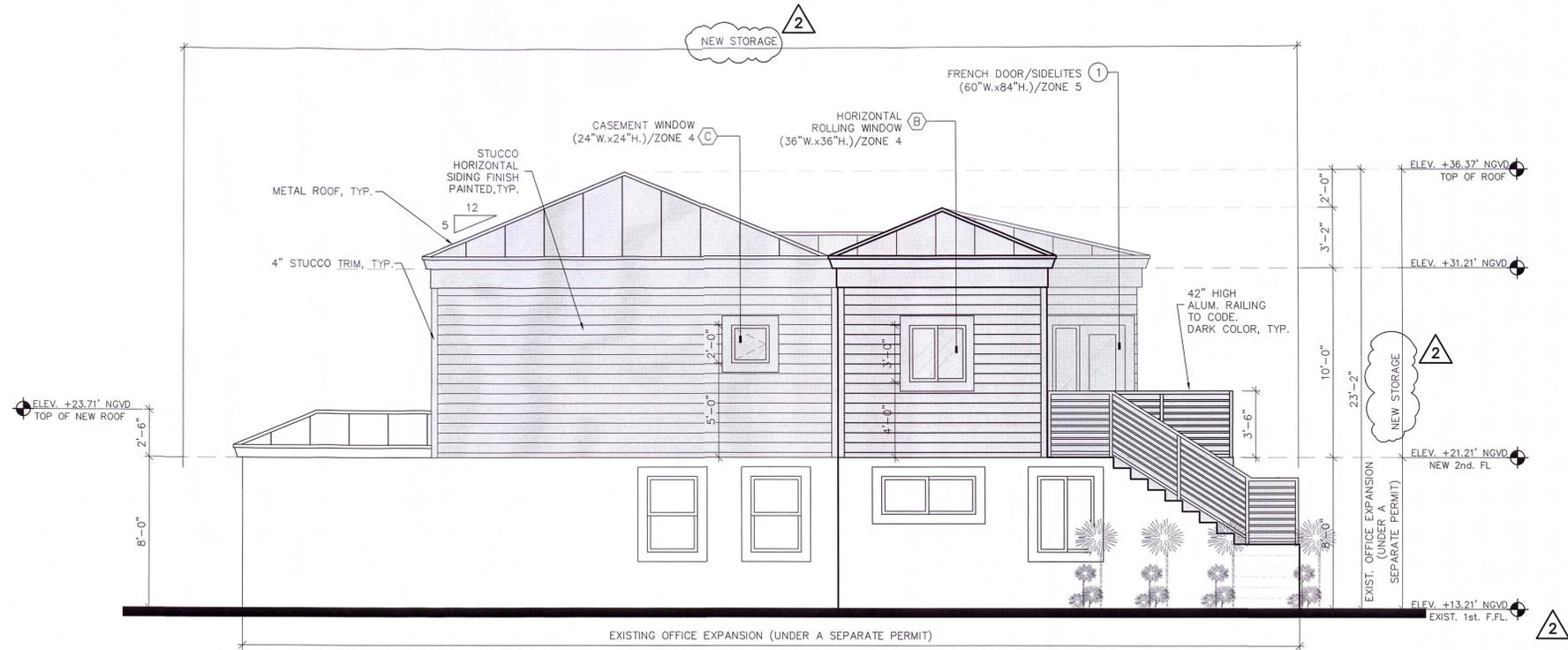
WLC 4 of 5

a = Max(a1, 0.04 * LHD, 3 ft [0.9 m]) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

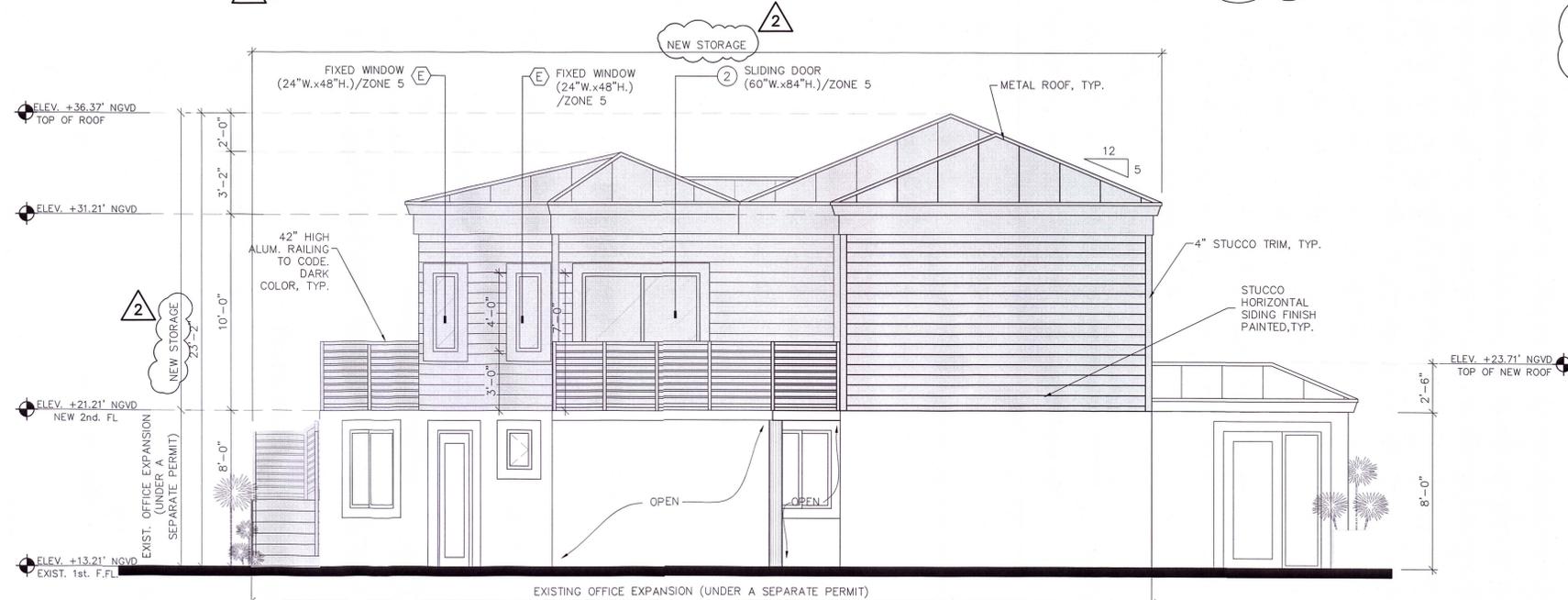
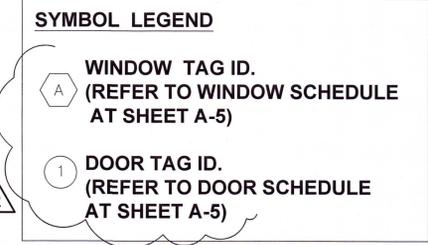
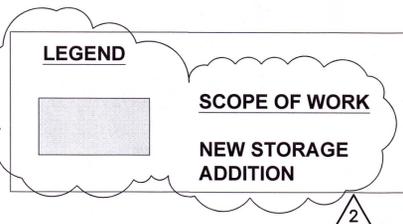
Description	Zone	Width	Span	Area	1/3 Rule	Ref Fig	Gcp Max	Gcp Min	p Max	p Min
ft		ft	ft	sq ft					psf	psf
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-52.73
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 p = Wind Pressure: qh * (Gcp - GCpi) [Eqn 30.3-1]*
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf [0.460 kPa] (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%



SIDE ELEVATION (SOUTHWEST)

1/4" = 1'-0"



SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"

REVISIONS
 DRAWN: M.R.
 CHECKED: 03/06/2023
 REVISION BY OWNER 04/28/2025
 COMM: (305) 808-9578
 DATE: 03/06/2023
 169 E. FLAGLER STREET, SUITE 1619
 MIAMI, FLORIDA 33131
 dcabarrocas@bellsouth.net
101875 OVERSEAS HWY. - NEW STORAGE ADDITION (2ND.FLOOR)
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037
DAVID J. CABARROCAS / ARCHITECT - AR - 0004356
 SHEET: A-4
 OF: 2 5
 RECEIVED 2024-178 MAY 28 2025 MONROE COUNTY PLANNING DEPT.

SCOPE OF WORK:

THE SCOPE OF WORK IS BASED ON AN EXISTING OFFICE THAT EXPANDS ITS AREA TO THE SOUTHEAST SIDE OF THE PROPERTY.
 -NEW CARPORT & STORAGE AREA
 -NEW TRUSS/METAL ROOF FOR PARTIAL EXIST. OFFICE AREA (OVERSEAS HWY. SIDE)
 -THIS PERMIT WILL COVER REQUESTS FOR THE FOLLOWING VARIANCES:
 1. REDUCING SETBACKS TO THE PRIMARY & SECONDARY FRONT YARD; US-1 & JANET PLACE
 2. NEW TRUSS ROOF OVER EXISTING OFFICE STRUCTURE
 3. REDUCTION OF 10FT OF SETBACK FOR PARKING SPACES (US-1 & JANET PL.)
 4. TRASH & RECYCLING RECEPTACLE LOCATION AT 5FT SETBACK
 5. ISLE WIDTHS AT PARKING SPACES
 6. PROPOSED NEW STORAGE ADDITION ABOVE OFFICE (UNDER A SEPARATE PERMIT)

APPLICABLE CODE NOTE:
 FLORIDA BUILDING CODE 2023, 8th EDITION
 FLORIDA BUILDING CODE EXISTING BUILDING 2023, 8th EDITION
 ASCE-22
 FFPC / NFPA 1 / 101, 2020, 7th EDITION

NOTE:
 THESE PLANS HAVE BEEN DESIGNED IN ACCORDANCE TO THE FLORIDA BUILDING CODE 2023, 8th EDITION AND ASCE 7-22, EXPOSURE CATEGORY "D", 180 MPH PEAK WIND SPEED.

ZONING INFORMATION:
 LAND USE DISTRICT / LAND USE: SUBURBAN COMMERCIAL (SC)

LEGAL DESCRIPTION:
 LOT 1, BLOCK 1, LARGO GARDENS SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 4, PAGE 38, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA AND ALL THAT PORTION OF LOT 17, SECTION 22, TOWNSHIP 81 SOUTH, RANGE 39 EAST, KEY LARGO, MONROE COUNTY, FLORIDA, LYING EAST OF THE RIGHT OF WAY OF DIXIE HIGHWAY (OLD STATE ROAD A-4), MONROE COUNTY, FLORIDA.

BASE FLOOD ELEVATION DATA:
 FLOOD ZONE= X
 BASE FLOOD ELEVATION= N/A
 DESIGN FLOOD ELEVATION= N/A
 EXISTING GRADE ELEVATION = 13.21' NGVD 29
 EXISTING OFFICE F.F.L. = 13.21' NGVD 29
 REF. SURVEY COMPLETED BY:
 KARL F. KUHN
 PROFESSIONAL LAND SURVEYOR, MAPPERS & ENGINEERS L.B. 7538
 DATED: 07-29-2025

ENCLOSED & A/C AREA:
 OFFICE USE
 1st FLOOR:
 EXISTING OFFICE= 777.60 SQ. FT.
 OFFICE ADDITION= 448.06 SQ. FT.
 STORAGE USE
 2nd FLOOR:
 NEW STORAGE= 1,112.76 SQ. FT. (UNDER A SEPARATE PERMIT)
 TOTAL ENCLOSED AREA= 2,338.42 SQ. FT.

OPEN SPACE CALCULATIONS:
 NET LOT AREA: 6,758 SQ. FT.
 MIN. OPEN SPACE REQUIRED (20%)= 1,351.6 SQ. FT.
 IMPERVIOUS AREA:
 ROOF AREA= 1,443.29 SQ. FT.
 PORCH W/PAVERS= 119.92 SQ. FT.
 STAIR/OPEN TERRACE= 280.97 SQ. FT.
 PARTIAL CONC A/C SLAB= 24.53 SQ. FT.
 SOLID WAIST AREA= 85.00 SQ. FT.
 TOTAL = 1,953.71 SQ. FT.
 OPEN SPACE PROPOSED: 4,804.29 SQ. FT. (71.9%)

SETBACKS:	REQUIRED	PROVIDED	EXISTING
PRIMARY FRONT YARD	25' FT.	10'-0" FT. (*)	15'-6" FT.
SECONDARY FRONT YARD	15' FT.	5'-0" FT. (*)	N/A
PRIMARY SIDE YARD	10' FT.	N/A	N/A
SECONDARY SIDE YARD	5' FT.	5'-7" (*)	9'-3" (*)
REAR YARD	10' FT.	N/A	N/A

(*) SETBACK PROVIDED AS PER SETBACK VARIANCE REQUEST.

ALLOCATION POINTS
 (+10) I.S. SUBDIVISION WITH WATER, ELECTRICITY AND PAVED ROADS.
 (+2) STRUCTURAL CERTIFICATION TO WITHSTAND 175 MPH WIND LOADS
 (+1) HVAC UNIT HAS AN ENERGY EFFICIENCY RATING OF 12 OR BETTER
 (+4) THE RESIDENCE HAS SEWER CONNECTION
 (+1) THE RESIDENCE HAS HIGH EFFICIENCY WATER HEATER

TOTAL CREDIT POINTS: 15

GENERAL PARKING / LDC SEC. 114-67	REQUIRED PARKING SPACES	EXISTING QUANTITY	MINIMUM SPACES	PROPOSED QUANTITY	MINIMUM SPACES	TOTAL PARKING SPACES PROPOSED
OFFICES* (1,225.66 SQ.FT.)	3.0 SPACES PER 1,000 SQ.FT. OF NONRESIDENTIAL FLOOR AREA WITHIN THE BLDG.	0	0	5	3.67698	6
WAREHOUSING (STORAGE AREA AT SECOND FLOOR)** (1,112.76 SQ.FT)	1.0 SPACE PER 1,000 SQ.FT. OF NONRESIDENTIAL FLOOR AREA WITHIN THE BLDG.	0	0	1	1.11276	

(*) INCLUDES (1) ADA PARKING SPACE
 (**) THE STORAGE AREA DOES NOT INVOLVE THE DIRECT INTERACTION OF EMPLOYEES OR CUSTOMERS IN THE SPACE, AS THE PRIMARY FUNCTION IS THE STORAGE AND MANAGEMENT OF PRODUCTS OR MATERIALS. NO ONE WILL WORK OR USE THE SPACE ACTIVELY.

PARKING SPACES NOTES:
 - THIS OFFICE IS NOT INVOLVING WITH THE RECEIPT & DISTRIBUTION BY VEHICLES OF MATERIALS AND MERCHANDISE.
 NO LOADING / UNLOADING SPACES REQUIRED.

OFFICE BYCICLE PARKING INFORMATION / LDC SEC. 114-45(B):

REQUIRED	PROVIDED
4 (MIN.)	4

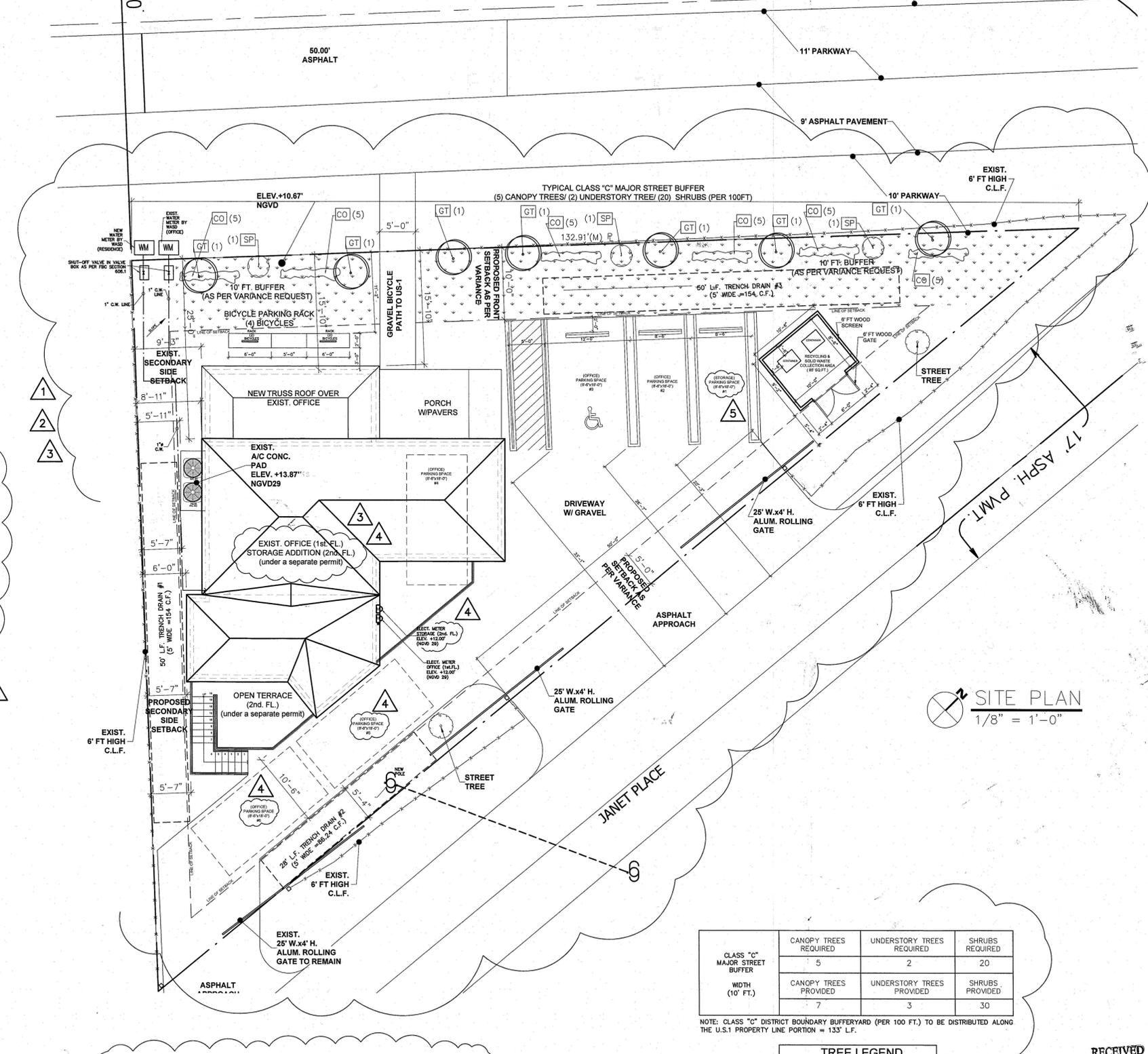
RECYCLING & SOLID WASTE COLLECTION NOTE / LDC SEC. 114-14:
 MIN. COLLECTION AREA REQUIRE: 82 SQ. FT. (INT.)
 PROVIDE SCREEN AROUND WASTE COLLECTION AREA, SOLID OR SEMI-OPAQUE ENCLOSURE, NOT EXCEED 6' FT. IN HEIGHT

CANOPY TREES					
COMMON	SCIENTIFIC	SYMBOL	#	STATUS	MIN. SIZE
GEIGER TREE	CORDIA SEBESTENA	GT	7	NATIVE	3" DIA. OR 12' TALL
UNDERSTORY					
SPANISH STOPPER	EUGENIA FOETIDA	SP	3	NATIVE	3' TO 5' TALL
SHRUBS					
COONIE	ZAMIA INTEGRIFOLIA	CO	30	NATIVE	2' TALL

CLASS "C" MAJOR STREET BUFFER			
WIDTH (10' FT.)	CANOPY TREES REQUIRED	UNDERSTORY TREES PROVIDED	SHRUBS PROVIDED
5	5	2	20
7	7	3	30

NOTE: CLASS "C" DISTRICT BOUNDARY BUFFER (PER 100 FT.) TO BE DISTRIBUTED ALONG THE U.S.1 PROPERTY LINE PORTION = 133' L.F.

OVERSEAS HIGHWAY (DIXIE HIGHWAY BY PLAT)



TREE LEGEND			
SYMBOL	CANOPY TREES	UNDERSTORY TREES	SHRUBS
(GT)	CANOPY TREES	(SP)	UNDERSTORY TREES
(CO)		(CO)	SHRUBS

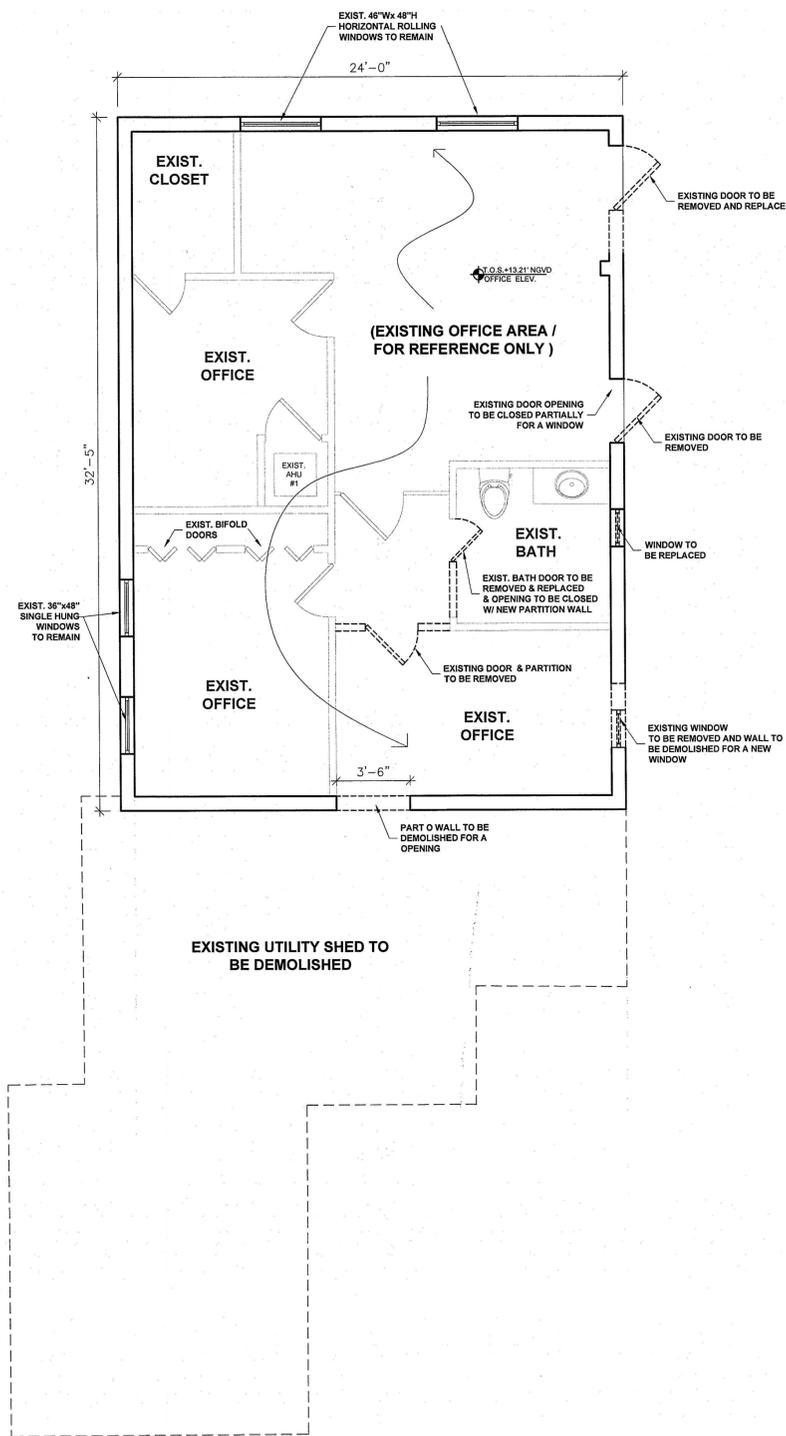
RECEIVED
 2024-178
 SEP 03 2025
 MONROE COUNTY
 PLANNING DEPT.

101875 OVERSEAS HWY. - EXISTING OFFICE ADDITION
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037
 DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

REVISIONS
 STORAGE ADDITION (2nd FL.) 04/27/2025
 COUNTY COMMENTS 08/10/2025
 BIOLOGY COMMENTS 07/06/2023
 COMMENTS 07/25/2024
 COMMENTS 01/25/2025
 DATE: 01/17/2023
 CHECKED: MR
 DRAWN: COMM.
 (305) 808-9578
 169 E. FLAGLER STREET, SUITE 1619
 MIAMI, FLORIDA 33131
 dcabarrocas@bellsouth.net

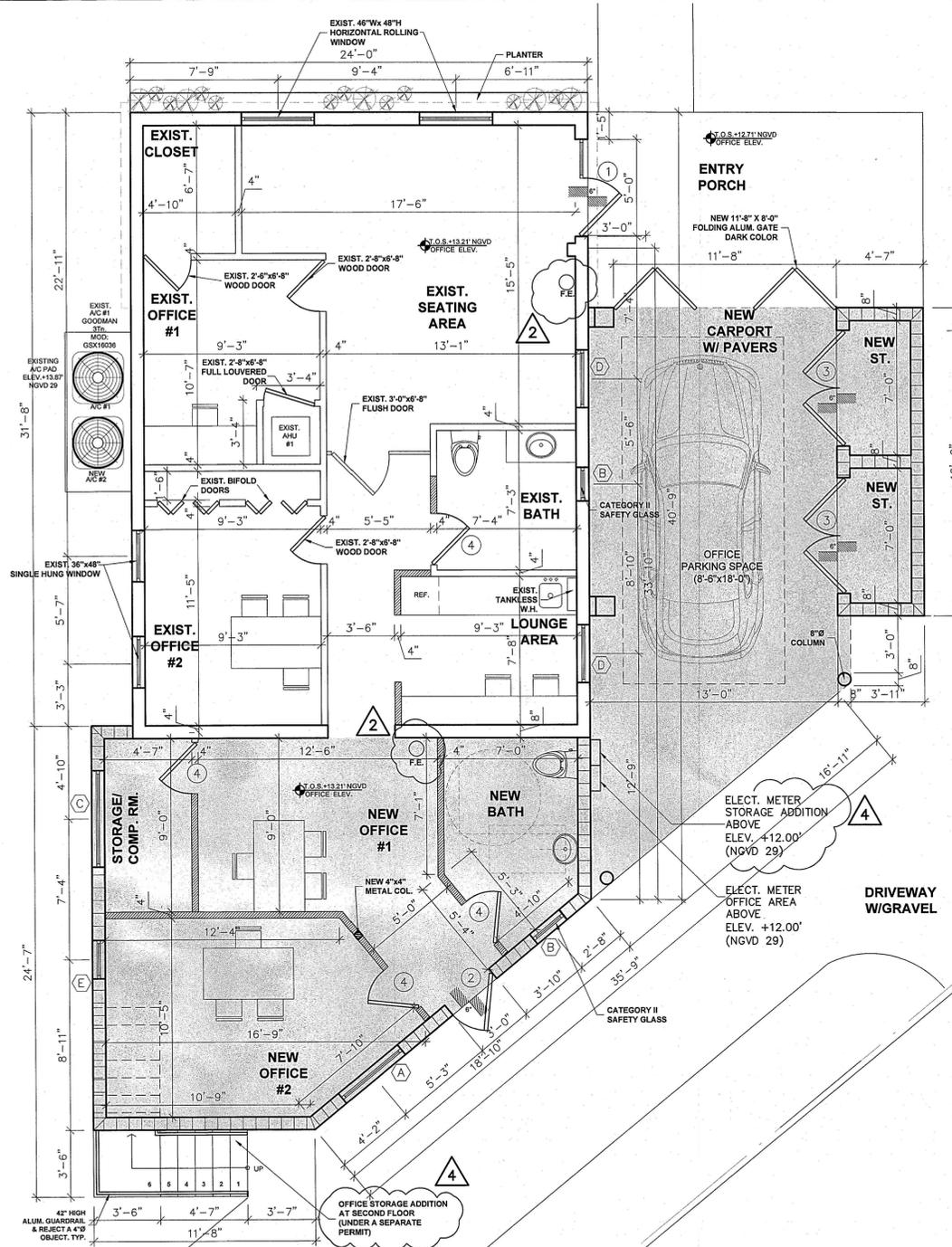
SHEET: A-1
 OF: 6

8/26/25



EXISTING & DEMOLITION FLOOR PLAN
 1/4" = 1'-0"

- LEGEND:**
- EXIST. CBS WALL TO REMAIN
 - EXIST. CBS WALL TO BE REMOVED
 - NEW CBS WALL
 - EXIST. PARTITION TO REMAIN
 - EXIST. PARTITION TO BE REMOVED
 - NEW PARTITION
 - OFFICE ADDITION
 - FIRE EXTINGUISHER (AS PER FLORIDA FIRE PREVENTION CODE 7TH ED 2020 NFPA 1/101)



PROPOSED OFFICE ADDITION - FLOOR PLAN
 1/4" = 1'-0"

NOTES:

- CONTRACTOR TO VERIFY IN FIELD EXISTING CONDITIONS.
- IF EXISTING CONDITIONS ARE DIFFERENT FROM THE PLANS SHOWN, CONTRACTOR MUST NOTIFY ARCHITECT IMMEDIATELY BEFORE CONTINUE WITH CONSTRUCTION

RECEIVED
 3034-173
 SEP 03 2025
 MONROE COUNTY
 PLANNING DEPT.

9/20/25

COMMENTS	DATE	BY
REVISIONS	M.R.	CHECKED
STORAGE ADDITION (2nd FL.) 04/27/2025	01/17/2023	
169 E. FLAGLER STREET, SUITE 1619 MIAMI, FLORIDA 33131 dcabarrocas@bellisouth.net		(305) 808-9578

101875 OVERSEAS HWY. - EXISTING OFFICE ADDITION
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037
 DAVID J. CABARROCAS / ARCHITECT - AR - 0004356

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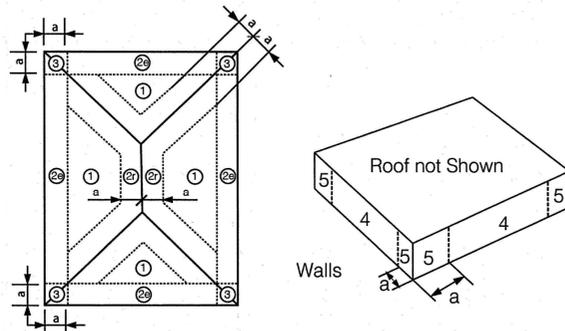
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 RoofType: Building Roof Type = Hipped W : Width Perp to Ridge = 41.580 ft
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 C: Table 26.11-1 Const = 0.150 Epe: Table 26.11-1 Const = 0.125

Overhang Inputs:
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Components and Cladding (C&C) Calculations per Ch 30 Part 1:



h/W = Ratio of mean roof height to building width = 0.558
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 LF = Load Factor based upon ASD Design = 0.60
 qh = (0.00256 * Kh * Kzt * Kd * Ke * V^2) * LF = 46.99 psf
 LHD = Least Horizontal Dimension: Min(B, L) = 41.580 ft
 al = Min(0.1 * LHD, 0.4 * h) = 4.158 ft
 a = Max(al, 0.04 * LHD, 3 ft [0.9 m]) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

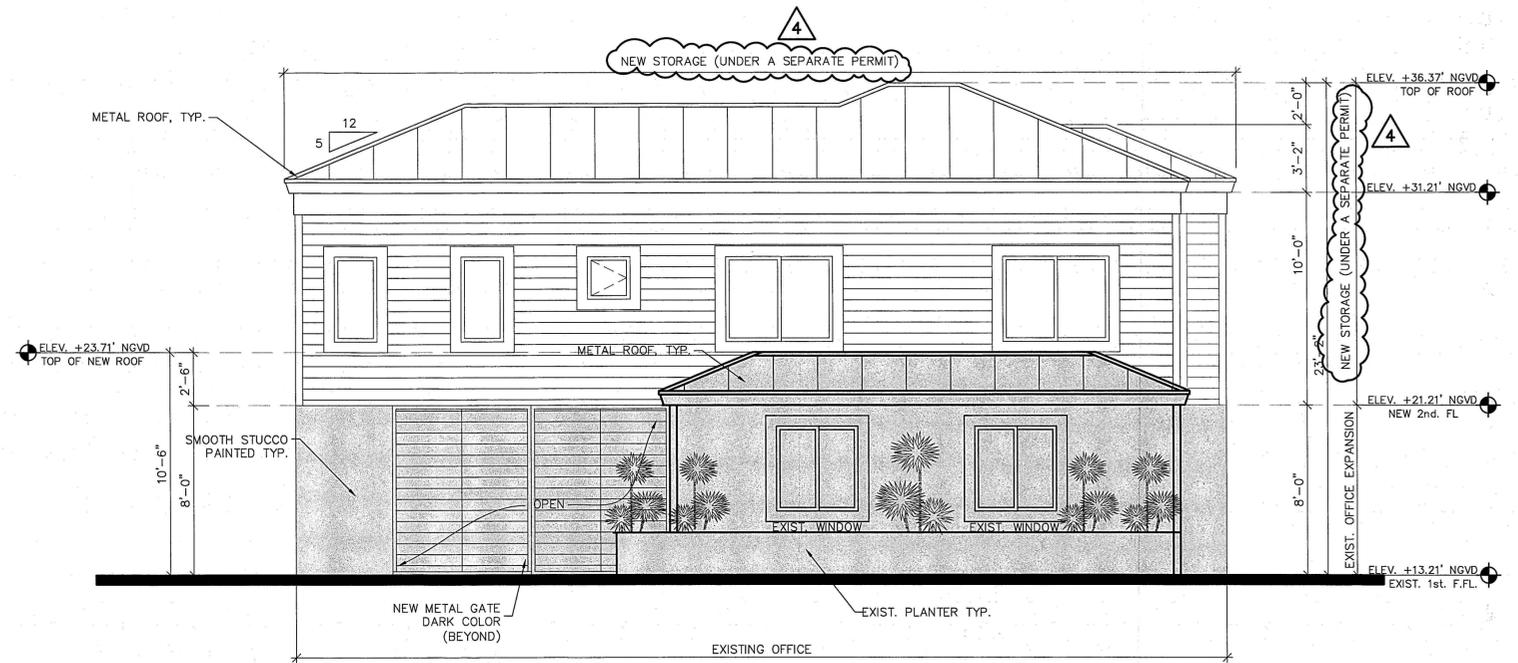
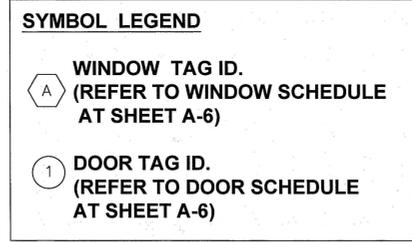
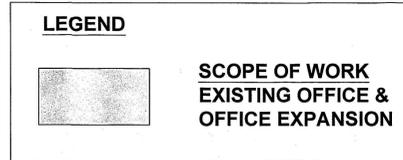
Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

Description	Zone	Width	Span	Area	1/3 Rule	Ref Fig	Gcp	Gcp	P	
									Max	Min
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-52.73
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 P = Wind Pressure: qh*(Gcp - GCpi) (Eqn 30.3-1)
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf [0.460 kPa] (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%



SECONDARY FRONT ELEVATION—JANET PL. (SOUTHEAST)
 1/4" = 1'-0"



FRONT ELEVATION —OVERSEAS HWY. (NORTHWEST)
 1/4" = 1'-0"

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 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037
 DAVID J. CABARROCAS / ARCHITECT - AR - 0004356
 (305) 808-9578
 DRAWN: M.R.
 CHECKED: DATE: 01/17/2025
 REVISIONS
 STORAGE ADDITION (2nd FL.) 04/27/2025
 169 E. FLAGLER STREET, SUITE 1619
 MIAMI, FLORIDA 33131
 dcabarrocas@bellsouth.net
 SHEET: A-3
 OF: 6

Basic Wind Parameters
 Wind Load Standard = ASCE 7-16 Exposure Category = D
 Wind Design Speed = 180.0 mph Risk Category = II
 Structure Type = Building Building Type = Enclosed

General Wind Settings
 Incl_LF = Include ASD Load Factor of 0.6 in Pressures = True
 DynType = Dynamic Type of Structure = Rigid
 Zg = Altitude (Ground Elevation) above Sea Level = 13.210 ft
 Bdist = Base Elevation of Structure = 0.000 ft
 SDB = Simple Diaphragm Building = False
 Reacs = Show the Base Reactions in the output = False
 MWFRSType = MWFRS Method Selected = No Analysis

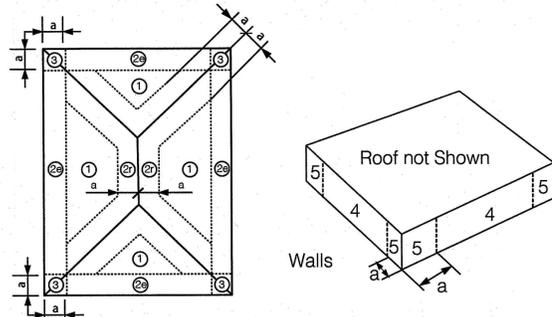
Topographic Factor per Fig 26.8-1
 Topo = Topographic Feature = None
 Kzt = Topographic Factor = 1.000

Building Inputs
 RoofType: Building Roof Type = Hipped M : Width Perp to Ridge = 41.500 ft
 L : Length Along Ridge = 39.250 ft EHT : Eave Height = 20.000 ft
 Hip : Ridge Hipped Length = 18.000 ft RE : Roof Entry Method = Ridge
 RHT : Ridge Height = 23.200 ft O_Rt : Override Mean Height (0 for default) = 23.200 ft
 Theta : Roof Slope = 8.75 Deg Par : Is there a Parapet = False

Exposure Constants per Table 26.11-1:
 Alpha: Table 26.11-1 Const = 11.500 Zg: Table 26.11-1 Const = 700.000 ft
 At: Table 26.11-1 Const = 0.087 BT: Table 26.11-1 Const = 1.070
 Am: Table 26.11-1 Const = 0.111 Bm: Table 26.11-1 Const = 0.800
 C: Table 26.11-1 Const = 0.150 Eps: Table 26.11-1 Const = 0.125

Overhang Inputs:
 Std = Overhangs on all sides are the same = True
 OHType = Type of Roof Wall Intersections = None

Components and Cladding (C&C) Calculations per Ch 30 Part 1:

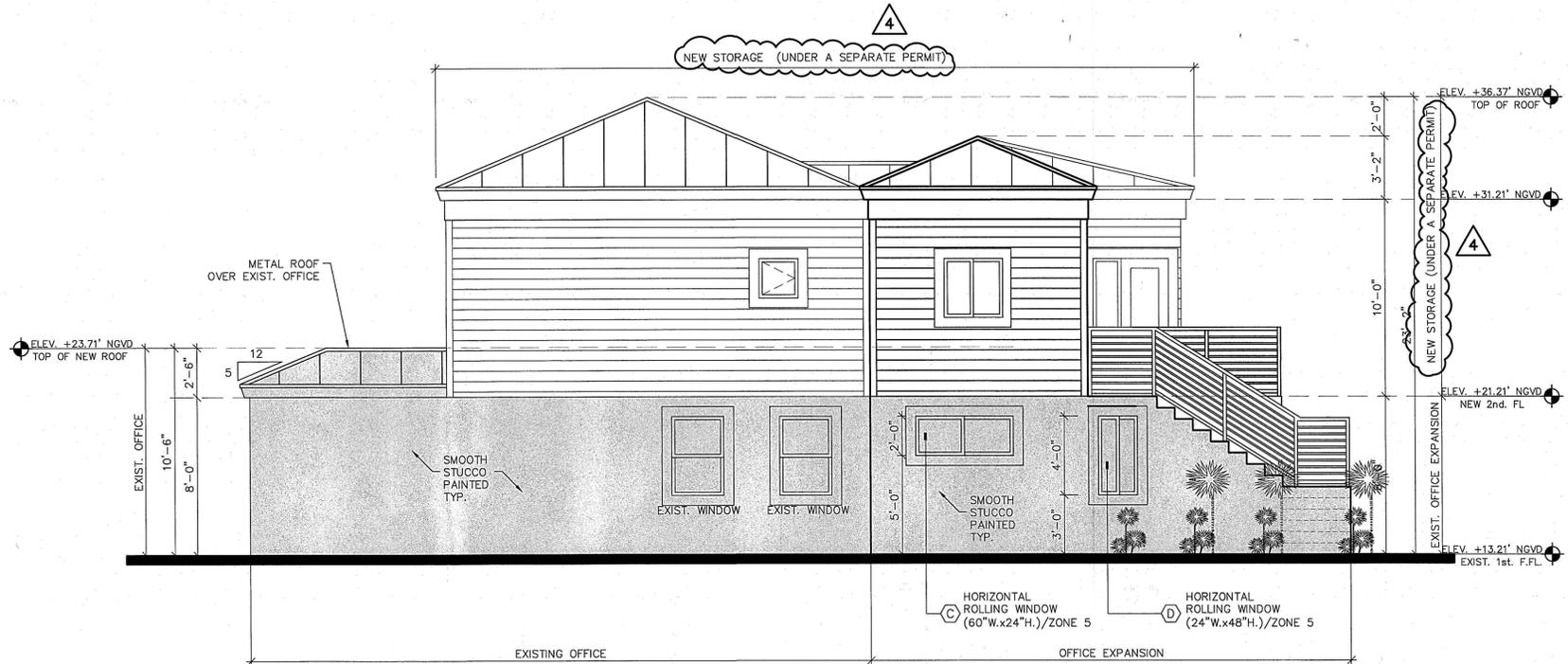


h/W = Ratio of mean roof height to building width = 0.558
 h/L = Ratio of mean roof height to building length = 0.392
 h = Mean Roof Height above grade = 23.200 ft
 Kh = 15 ft (4.572 m) < 2 * Zg --> (2.01 * (Zg/30)) * (Table 26.10-1) = 1.111
 Kzt = Topographic Factor is 1 since no topographic feature specified = 1.000
 Kd = Wind Directionality Factor per Table 26.6-1 = 0.85
 GCFI = Ref Table 26.13-1 for Enclosed Building = 0.60
 LF = Load Factor based upon ASD Design = +/-0.18
 qh = (0.00256 * Kh * Kzt * Kd * Ke * V^2) * LF = 46.99 psf
 LHD = Least Horizontal Dimension: Min(B, L) = 41.500 ft
 a1 = Min(0.1 * LHD, 0.4 * h) = 4.158 ft
 a = Max(a1, 0.04 * LHD, 3 ft (0.9 m)) = 4.158 ft
 h/B = Ratio of mean roof height to least hor dim: h / B = 0.558

Wind Pressures for C&C Ch 30 Pt 1
 All wind pressures include a load factor of 0.6

Description	Zone	Width	Span	Area	1/3 Rule	Ref Rule	Gcp Max	Gcp Min	p Max psf	p Min psf
Zone 4	4	10.000	1.000	10.00	No	30.3-1	0.900	-0.990	50.75	-54.98
Zone 5	5	10.000	1.000	10.00	No	30.3-1	0.900	-1.260	50.75	-67.67
Zone 4	4	20.000	1.000	20.00	No	30.3-1	0.852	-0.942	48.50	-52.73
Zone 5	5	20.000	1.000	20.00	No	30.3-1	0.852	-1.164	48.50	-63.17
Zone 4	4	50.000	1.000	50.00	No	30.3-1	0.789	-0.879	45.53	-49.76
Zone 5	5	50.000	1.000	50.00	No	30.3-1	0.789	-1.038	45.53	-57.23

Area = Span Length x Effective Width
 1/3 Rule = Effective width need not be less than 1/3 of the span length
 Gcp = External Pressure Coefficients taken from Figures 30.3-1 through 30.3-7
 p = Wind Pressure: qh(Gcp - GCpi) [Eqn 30.3-1]
 * Per Para 30.2.2 the Minimum Pressure for C&C is 9.60 psf (0.460 kPa) (Includes LF)
 Since Roof Slope <= 10 Deg, the Gcp value is reduced by 10%



SYMBOL LEGEND

Ⓐ WINDOW TAG ID.
(REFER TO WINDOW SCHEDULE AT SHEET A-6)

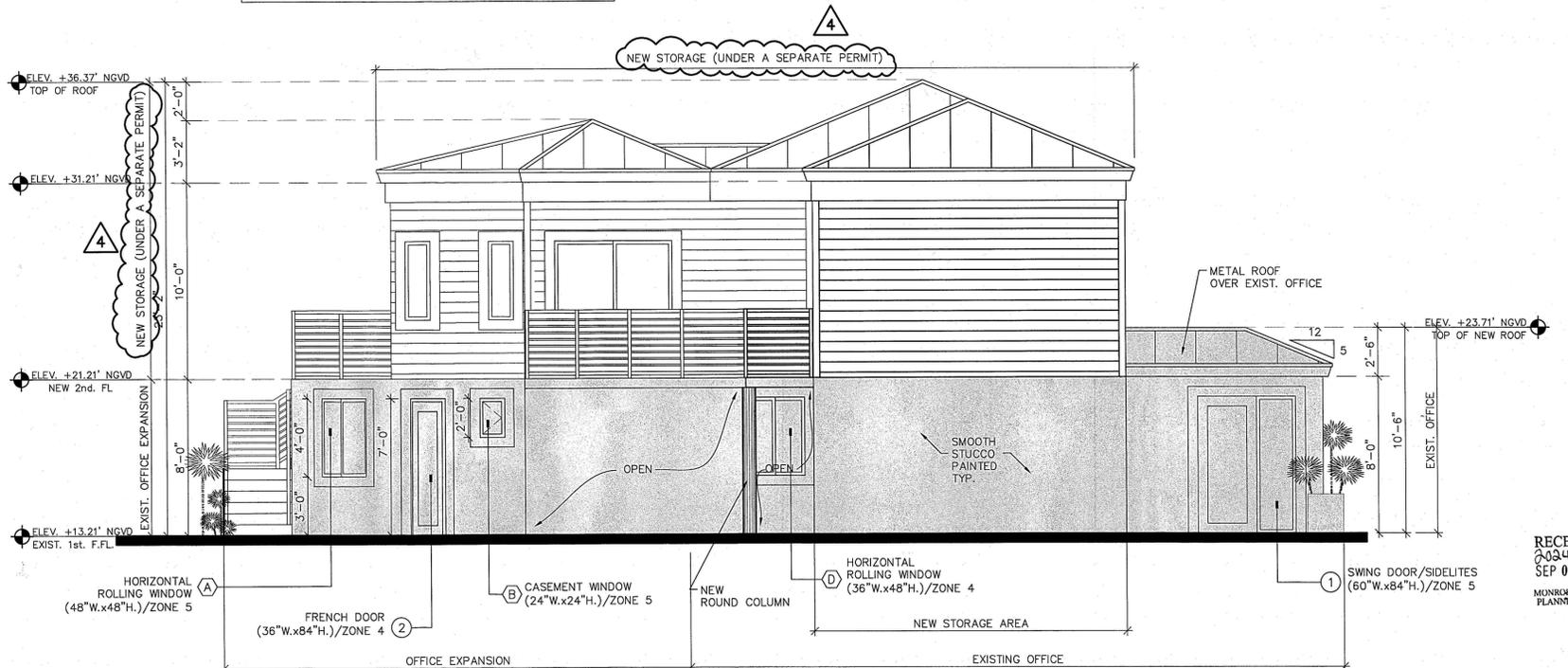
① DOOR TAG ID.
(REFER TO DOOR SCHEDULE AT SHEET A-6)

LEGEND

SCOPE OF WORK
 EXISTING OFFICE &
 OFFICE EXPANSION

SIDE ELEVATION (SOUTHWEST)

1/4" = 1'-0"



SIDE ELEVATION (NORTHEAST)

1/4" = 1'-0"

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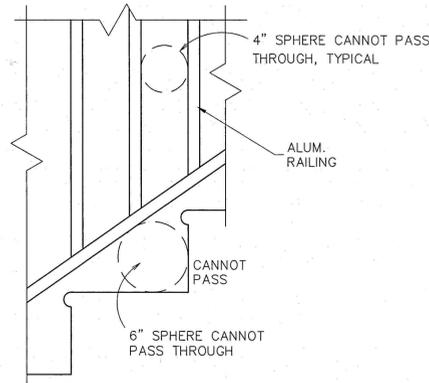
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GENERAL NOTES

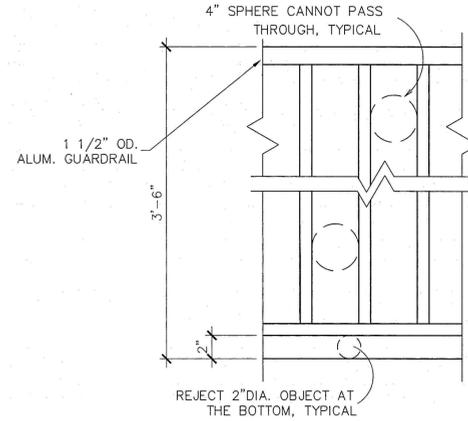
1. ALL NEW CONSTRUCTION AND/OR DEMOLITION SHALL COMPLY WITH ALL APPLICABLE CODES AND STANDARDS TO INCLUDE ALL STATE LAWS, LOCAL ORDINANCES, UTILITY COMPANY REGULATIONS, AND ALL APPLICABLE REQUIREMENTS OF THE FLORIDA BUILDING CODE, NATIONAL ELECTRIC CODE, OCCUPATIONAL SAFETY AND HEALTH ACT, FIRE PROTECTION ASSOCIATION, ETC.
2. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR AND PAY FOR ALL PERMITS AND APPROVALS REQUIRED BY THE GOVERNING BODIES HAVING JURISDICTION.
3. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE REQUIRED TO FIELD CHECK AND VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AND SHALL BE RESPONSIBLE FOR THE COORDINATION OF SAME. IF, AT ANY TIME DURING CONSTRUCTION, DISCREPANCIES ARE FOUND, THE CONTRACTOR MUST NOTIFY THE ARCHITECT. AFTER SIGNING OF THE CONTRACT, NO EXTRAS WILL BE ALLOWED FOR CONDITIONS THAT WERE NOT BROUGHT TO THE ATTENTION OF THE ARCHITECT OR OWNER.
4. ANY CHANGES MADE BY THE GENERAL CONTRACTOR WHICH DEVIATE FROM THE CONSTRUCTION DOCUMENTS MUST BE REPORTED TO THE ARCHITECT.
5. THE ARCHITECT DOES NOT HAVE CONTROL OR CHARGE OF, AND SHALL NOT BE HELD RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES OR FOR SAFETY PRECAUTIONS OR PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT IS NOT RESPONSIBLE FOR THE ACTS OF OMISSIONS OF THE GENERAL CONTRACTOR, SUBCONTRACTORS OR ANY OTHER PERSONS PERFORMING ANY OF THE WORK, OR FOR THE FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.
6. ALL DETAILS AND SECTIONS IN THE CONSTRUCTION DOCUMENTS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR CONDITION ELSEWHERE ON THE PROJECT EXCEPT WHERE A DIFFERENT DETAIL OR NOTE IS INDICATED.
7. IT IS THE INTENT OF THE CONSTRUCTION DOCUMENTS TO PRODUCE A COMPLETE AND FINISHED PROJECT. ANY ITEM REQUIRED TO COMPLETE THE PROJECT NOT SPECIFICALLY INDICATED, BUT GENERALLY UNDERSTOOD TO BE REQUIRED TO COMPLETE THE PROJECT, SHALL BE A PART OF THE CONSTRUCTION DOCUMENTS.
8. DO NOT SCALE THE DRAWINGS. CONTRACTOR SHALL VERIFY ALL DRAWING DIMENSIONS. SHOULD THERE BE ANY INCONSISTENCIES NOTIFY THE ARCHITECT. CONTRACTOR SHALL OBTAIN LATEST SET OF DRAWINGS, INCLUDING ANY REVISIONS, BEFORE STARTING CONSTRUCTION.
9. FINISH MATERIALS, COLORS, PATTERNS AND TEXTURES SHALL BE COORDINATED WITH THE OWNER.
10. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BEFORE COMMENCING JOB. CONTRACTOR TO PROVIDE PROPER PRECAUTIONS TO PROTECT ALL UNDERGROUND UTILITY LINES AND EXISTING LANDSCAPE. CONTRACTOR TO BE RESPONSIBLE FOR ALL DAMAGE DURING CONSTRUCTION TO VEGETATION, SITEWORK & UTILITY LINES.
11. EACH SUBCONTRACTOR SHALL COORDINATE THEIR WORK WITH THE OTHERS TRADES ON THE JOB SITE AND SHALL CLEAN UP THE SITE AT THE END OF EACH PHASE.
12. ALL WOOD THAT COMES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED. ALL EXPOSED WOOD SHALL BE SQUARED EDGE SELECT.
13. ALL METAL SHALL HAVE GALVANIZED FINISH.
14. ALL REINFORCED CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE OF 300 PSI.
15. CONTRACTOR TO VERIFY ROUGH MASONRY ROUGH MASONRY OPENINGS WITH WINDOW MANUFACTURE PRIOR TO FRAMING OUT WINDOW OPENINGS.
16. CORNER BEADS AND CASING BEADS SHALL BE APPLIED TO ALL CORNERS AND EDGES TO PRODUCE STRAIGHT, TRUE LINE CORNERS.
17. PROVIDE CONTINUOUS BEAD OF SEALANT/CAULKING AROUND EXTERIOR/INTERIOR PERIMETERS OF ALL DOORS AND WINDOWS.
18. VERIFY FIELD EXISTING CONDITIONS.
19. ALL RAINWATER AND OTHER LIQUID WASTES SHALL BE DISPOSED UPON PREVIOUS GROUND WITHIN THE PROJECTS PROPERTY LIMITS, AND SHALL NOT FLOW OR CROSS ANY ADJOINING PUBLIC PROPERTY.
20. ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS SET FORTH IN TABLE 46-R2 OF THE FLORIDA BUILDING CODE.
21. THE CONTRACTOR SHALL LEAVE THE SITE IN A CLEAN AND ORDERLY MANNER BY REMOVING ALL DEBRIS, ETC. AT THE END OF THE PROJECT.
22. CONTRACTOR SHALL COORDINATE A/C DUCTS ROUTES THROUGH SLABS & WALLS. PROVIDE ACCURATE OPENING FOR OUTSIDE DIMENSIONS OF ALL DUCT-WORK.
23. GENERAL CONTRACTOR SHALL COORDINATE ALL FILL MATERIAL, ALL EXISTING AND NEW GRADE ELEVATIONS AND ALL GRADE SLOPES.
24. ROOF SUBCONTRACTOR SHALL PROVIDE ALL FLASHINGS, COUNTERFLASHINGS, TRIM PIECES, ROOF VENT FLASHING AND ALL OTHER ACCESSORIES.
25. DOWNSPOUTS SHALL BE GALVANIZED METAL, 24GA., 3" DIA. PIPE.
26. CONTRACTOR TO PROVIDE ALL REQUIRED TESTS AND PRODUCT DOCUMENTATION FOR CERTIFICATE OF OCCUPANCY.
27. ALL MATERIALS TO BE DELIVERED TO THE SITE IN ORIGINAL SEALED CONTAINERS BEARING ORIGINAL MANUFACTURERS LABEL.
28. CONTRACTOR SHALL BE RESPONSIBLE FOR NOT ENCROACHING EASEMENTS AND SETBACKS.
29. ALL CONTRACTORS' WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, MATCHING AND ALIGNING ALL SURFACES WHERE APPLICABLE TO AFFORD A FINISHED, NEAT APPEARANCE. CONTRACTOR SHALL CLEAN ALL SURFACE FREE OF ALL DIRT AND REFUSE CAUSED BY DEBRIS FROM INSTALLATION TECHNIQUES OF THE TRADE. ALL ADJACENT SURFACES SHALL BE PROTECTED OR TACHED AND REPAIRED IN THE CONDITION PRIOR TO THE COMMENCEMENT OF THE CONTRACTORS' WORK. ALL GLASS, LIGHT FIXTURES, FINISH SURFACES AND HARDWARE SHALL BE THOROUGHLY CLEANED IN A MANNER ACCEPTABLE TO THE OWNER.
30. ALL DRYWALL TO BE 5/8" GYPSUM BOARD. ALL TILE TO BE INSTALLED ON "DUROROCK" TILE BACHER BOARD, ALL WET AREAS TO HAVE "GREENBOARD".
31. COMPLETE INTERIOR PAINTING INCLUDING STAINING OR PAINTING OF ALL NEW DOORS AND FRAMES.

RAILING & GUARD NOTES

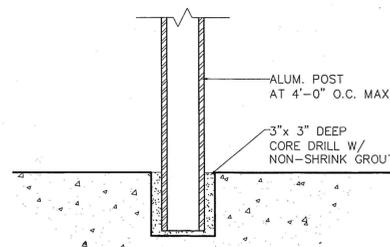
1. RAILINGS AND GUARDS SHALL BE DESIGNED TO RESIST A 4" SPHERE AND RESIST A 200 LBS. FORCE APPLIED AT ANY POINT.
2. HANDRAIL TO BE 1-3/4" WIDE WITH A PERIMETER DIMENSION OF NOT LESS THAN 4" BUT NO MORE THAN 6-1/4" AND WITH THE LARGEST CROSS-SECTIONAL DIMENSION NOT MORE THAN 2-1/4" SHALL BE ACCEPTED, AND PROVIDED THAT EDGES ARE ROUNDED SO AS TO PROVIDE A RADIUS OF NOT LESS THAN 1/8".
3. MOUNT HANDRAIL WITH A CLERANCE OF NOT LESS THAN 1-1/2" BETWEEN THE HANDRAIL AND THE WALL TO WHICH IT IS FASTENED.
4. HANDRAIL SHALL NOT BE LESS THAN 3/4" AND NOT MORE THAN 3/8" ABOVE THE SURFACE OF THE TREAD, MEASURED VERTICALLY TO THE TOP OF THE RAIL FROM THE LEADING EDGE OF THE TREAD.
5. GUARDS TO MEASURE 42" A.F.F.
6. RAILINGS AND GUARDS TO MEET ALL REQUIREMENTS OF THE FLORIDA BUILDING CODE AND NFPA 101.
7. RAILING CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS AND DIMENSIONS PRIOR TO FABRICATION.
8. RAILING CONTRACTOR SHALL PROVIDE ENGINEERED SHOP DRAWINGS FOR PERMIT AND APPROVAL.
9. WINDERS SHALL HAVE A MINIMUM TREAD DEPTH OF 6" AT THE NARROW EDGE AND SHALL HAVE A MINIMUM TREAD DEPTH OF 11" AT A POINT 12" FROM THE NARROW EDGE.
10. HANDRAIL AND GUARDS SHALL BE DESIGNED TO RESIST A LOAD OF 50 PLF (0.73 KNM) APPLIED IN ANY DIRECTION AT THE TOP AND TO TRANSFER THIS LOAD THROUGH THE SUPPORTS TO THE STRUCTURE. F.B.C. 1607.8.1



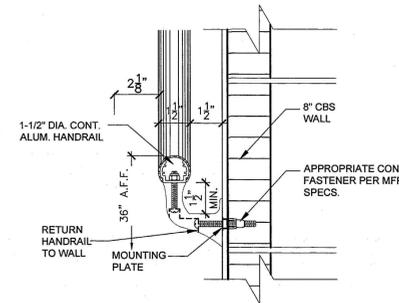
1 GUARDRAIL DTL.
N.T.S.



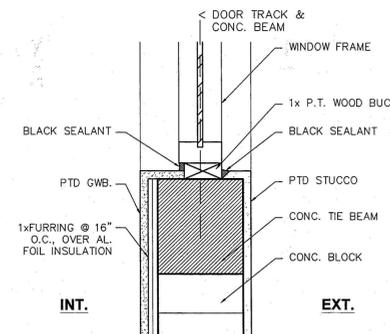
2 RAILING AT STAIR DTL.
N.T.S.



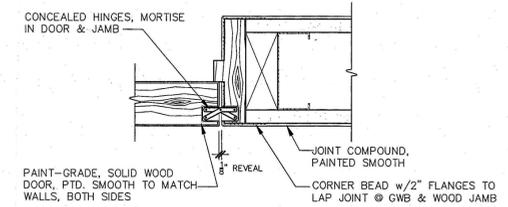
3 TYP. GUARDRAIL POST DTL.
3"=1'-0"



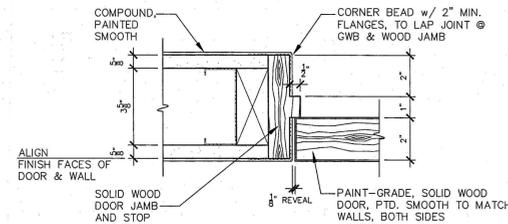
4 HANDRAIL DETAIL
N.T.S.



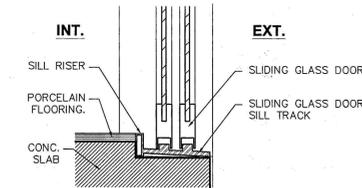
5 WINDOW SILL DETAIL, TYP.
SCALE: 1-1/2"=1'-0"



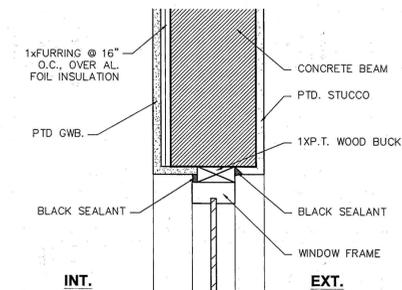
6 TYP. DOOR JAM DTL. (HINGE SIDE)
SCALE: 3"=1'-0"



7 TYP. DOOR JAM DTL. (HANDLE SIDE)
SCALE: 3"=1'-0"



8 SLIDING GLASS DOOR SILL DETAIL, TYP.
SCALE: 1-1/2"=1'-0"



9 WINDOW HEAD DETAIL, TYP.
SCALE: 1-1/2"=1'-0"

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DAVID J. CABARROCAS / ARCHITECT - AR - 0004356	
SHEET:	A-5
OF:	6

FINISH SCHEDULE						
ROOM NAME	FLOOR	BASE	WALL	CEILING	CLG. HEIGHT	REMARKS
OFFICE FLOOR						
CARPORIT	PAVERS	NONE	STUCCO	STUCCO	8'-0"	
SEATING AREA	TILE	WOOD	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	
NEW OFFICE #1	TILE	WOOD	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	
NEW OFFICE #2	TILE	WOOD	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	
LOUNGE AREA	TILE	WOOD	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	
STORAGE/COMP. RM.	TILE	WOOD	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	
EXIST. BATH	TILE	TILE	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	* FULL HEIGHT
NEW BATH	TILE	TILE	GYP. BRD. PAINTED	GYP. BRD. PAINTED	7'-6"	* FULL HEIGHT
ENTRY PORCH	CONCRETE	NONE	STUCCO			

* BACKING BOARD FOR PORCELAIN TILE AT BATHROOMS, SHOWERS & TUBS TO BE FIBER-CEMENT. F.B.C. R702.4.2
 NOTES:
 1. WALL & CEILING FINISHES SHALL HAVE A FLAME SPREAD INDEX NOT GREATER THAN 200 PER R302.9.1 AND A SMOKE DEVELOPED INDEX NOT GREATER THAN 450 PER R302.9.2
 2. INSULATION MATERIALS SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 25 & A SMOKE DEVELOPED INDEX OF NOT MORE THAN 450 PER R320.10.1
 3. SHOWER & BATHTUB SHALL HAVE NON-ABSORBENT FLOOR & WALL FINISH UP TO 72" HEIGHT PER R307.2

DOOR SCHEDULE														
DOOR #	QUANTITY	LOCATION	DOOR SIZES			TOTAL # OF PANELS	JAMB	TYPE	MATERIAL		HARDWARE		REMARKS	
			DOOR HEIGHT	OPENING WIDTH	PANEL WIDTH (")				DOOR / FRAME*	GLAZING	TYPE			
EXTERIOR DOORS	1	EXIST. SEATING AREA	7'-0"	5'-0"	3'-0"	2	METAL	FRENCH	ALUM + GLASS	ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	W/SIDELITE (2'-0" W. x 7'-0" H.)
	1	OFFICE ENTRANCE	7'-0"	3'-0"	3'-0"	1	METAL	FRENCH	ALUM + GLASS	ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
	2	NEW STORAGE	7'-0"	6'-0"	3'-0"	2	METAL	FRENCH	ALUM + GLASS	ALUM.	CLEAR	IMPACT	PRIVACY LOCK / DEADBOLT	
INTERIOR DOORS	4	OFFICE #2/BATH #1/EXIST. BATH / STORAGE	6'-8"	2'-8"	2'-8"	1	WOOD	SWING	SOLID / FLUSH	PAINTED WOOD			PASSAGE	

WINDOW & DOOR NOTES:
 ALL GLASS TO BE IMPACT RESISTANT
 -GLAZING IN BATH & SHOWER ENCLOSURES SHALL BE SAFETY GLAZING CAT. II PER FBC B2406 SAFETY GLAZING
 -GLAZING IN SLIDING & SWING DOORS SHALL BE SAFETY GLAZING CAT. I OR II PER FBC 2406.2(1)
 -ALL DOORS & WINDOWS WITH METAL FRAME, GLASS TYPE: LOW-E SINGLE FOR DETAILS SEE MFR. SPEC'S
 -ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT. (AS SEPARATE PERMIT)

WINDOW SCHEDULE														
MARK	QUANTITY	LOCATION	WINDOW SIZES			TOTAL # OF PANELS	TYPE	FRAME MATERIAL	GLASS TINT	GLASS TYPE			EGRESS TYPE	REMARKS
			HEIGHT	OPENING WIDTH	PANEL WIDTH (")					IMPACT	TEMPERED	IG		
A	1	OFFICE #2	48"	48"	24"	2	HORIZONTAL ROLLING	ALUM.	CLEAR	X			X	
B	2	EXIST. OFFICE BATH / OFFICE NEW BATH	24"	24"	24"	1	CASEMENT	ALUM.	CLEAR	X			X	
C	1	STORAGE/COMP. RM.	24"	60"	30"	2	HORIZONTAL ROLLING	ALUM.	CLEAR	X			X	
D	2	EXIST. SEATING AREA / LOUNGE AREA	48"	36"	18"	2	HORIZONTAL ROLLING	ALUM.	CLEAR	X			X	
E	1	OFFICE #2	48"	36"	18"	2	HORIZONTAL ROLLING	ALUM.	CLEAR	X			X	

DOOR NOTE

-ALL EXTERIOR DOORS SHALL MEET MIAMI-DADE PRODUCT APPROVAL STANDARDS. CONTRACTOR SHALL SUBMIT SUPPORTING LITERATURE TO THE BUILDING DEPT. FOR APPROVAL PRIOR TO ORDERING & INSTALLATION.

-ALL EXTERIOR DOORS AND WINDOWS SHALL COMPLY WITH F.B.C. SECTION 2410 THROUGH 2415. CONTRACTOR IS RESPONSIBLE FOR SUBMITTING ALL NECESSARY PRODUCT APPROVALS AND REQUIRED SHOP DRAWINGS TO THE BUILDING DEPARTMENT. (AS SEPARATE PERMIT)

CONTRACTOR NOTE

CONTRACTOR TO COORDINATE ALL EXTERIOR WINDOW & DOOR SIZES WITH FIXTURES, EQUIPMENT, AND ALL INTERIOR FINISHES (INCLUDING FINISHED DRYWALL @ CONC. WALLS WITH SWITCHES) PRIOR TO ORDERING WINDOWS & DOORS.

ROUGH OPENING NOTE

CONTRACTOR SHALL VERIFY w/WINDOW AND DOOR MANUFACTURER THE ROUGH OPENING DIMENSIONS AND STEEL COLUMN LOCATIONS PRIOR TO ORDERING, MANUFACTURING OR INSTALLING DOORS & WINDOWS.

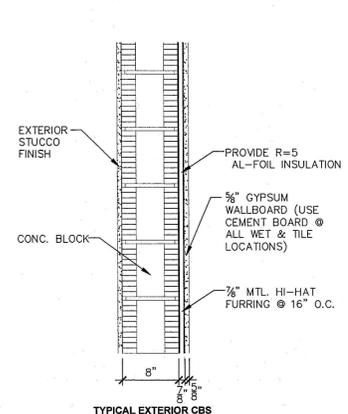
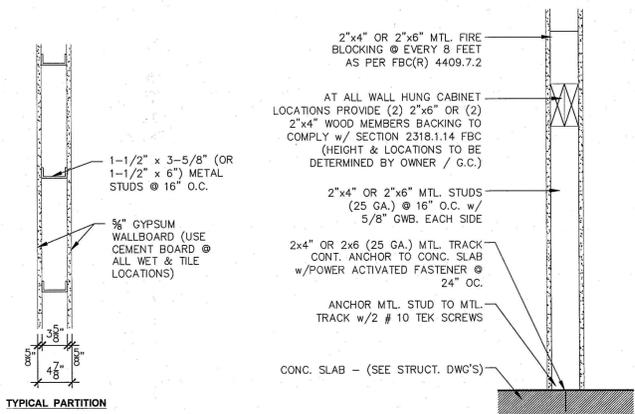
GLAZING NOTE

CONTRACTOR SHALL VERIFY w/WINDOW AND DOOR ALL EXTERIOR GLAZING AT WINDOWS AND DOORS SHALL BE TINTED, IMPACT RESISTANT WITH A U-VALUE OF 1.02 & A SOLAR HEAT GAIN COEFFICIENT (SHGC) OF 0.27

WALL HUNG FIXTURES NOTE

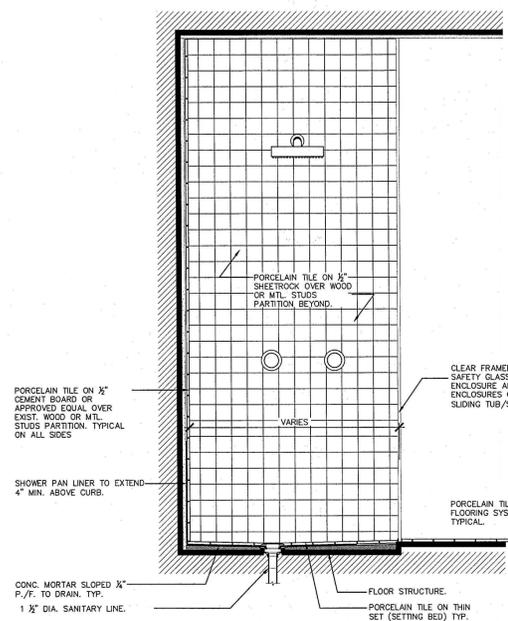
(APPLIES TO ALL WALLS)
 (1) STUDS IN BEARING WALLS, EXTERIOR WALLS AND NON BEARING PARTITIONS SUPPORTING WALL HUNG PLUMBING FIXTURES AND WALL CABINETS SHALL BE NOT LESS THAN 2"x4", WHERE SPACED NOT MORE THAN 16" O.C.; OR, NOT LESS THAN 2"x6", WHERE SPACED NOT MORE THAN 24" O.C.

(2) A MINIMUM 2"x4" HORIZONTAL WOOD MEMBER, SECURELY FASTENED TO NOT LESS THAN 2 SUCH STUDS, SHALL BE INSTALLED FOR THE ATTACHMENT OF EACH WALL HUNG PLUMBING FIXTURE AND WALL CABINET.
 9.7.



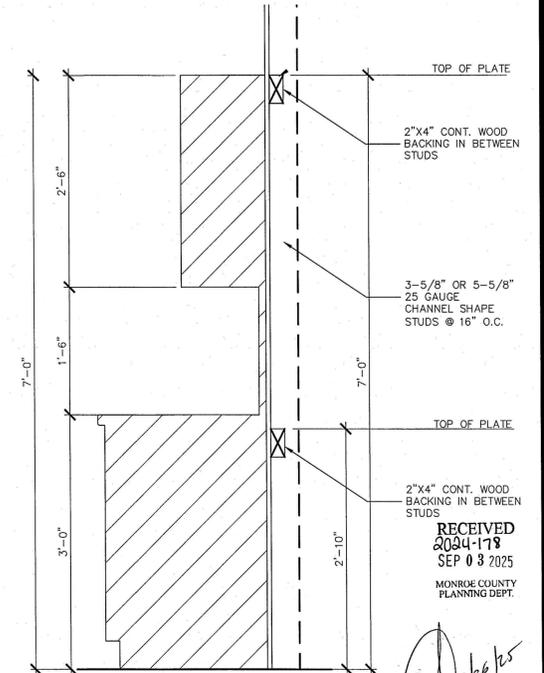
BLOCK WALL TYPES

SCALE: 1"=1'-0"



2 SHOWER SECTION

SCALE: 1/2"=1'-0"



1 KITCHEN CABINET DETAIL

SCALE: 1/2"=1'-0"

PARTITION TYPES

SCALE: 1"=1'-0"

COMMI.:
 DRAWN: M.R.
 CHECKED: 01/17/2023
 DATE: 01/17/2023
 (305) 808-9578
 169 E. FLAGLER STREET, SUITE 1619
 MIAMI, FLORIDA 33131
 dcabarrocas@bellsouth.net

REVISIONS
 101875 OVERSEAS HWY. - EXISTING OFFICE ADDITION
 101875 OVERSEAS HWY. KEY LARGO, FLORIDA 33037

SHEET: A-6
 OF: 6

RECEIVED
 2024-11-18
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 MONROE COUNTY
 PLANNING DEPT.