

File #: **2025-022**

Owner's Name: Florida Keys Electric, Inc

Applicant: Smith Hawks, PL

Agent/Contact: Barton Smith/Jess Goodall

Type of Application: Minor CUP

Key: Big Coppitt

RE #: 00156310-000000

Additional Information added to File 2025-022

SMITH/HAWKS
ATTORNEYS AT LAW

Jess Miles Goodall, Esq.
Telephone: (305) 296-7227
Email: Jess@SmithHawks.com
Brandi@SmithHawks.com

SENT VIA FEDEX
8836 9419 7151

August 25, 2025

Elizabeth Lustberg, *Planner*
Monroe County Planning & Environmental Resources Department
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Email: Lustberg-Elizabeth@MonroeCounty-FL.gov

RECEIVED
2025-022
SEP 03 2025
MONROE COUNTY
PLANNING DEPT.

RE: REVISED PLANS AND RESPONSES FOR MAJOR CONDITIONAL USE PERMIT APPLICATION 905 OVERSEAS HIGHWAY, LLC - [FILE NO. 2025-022]

Dear Elizabeth,

On behalf of Florida Keys Electric, Inc's (the "Applicant"), please find a revised plans for the Request for a Minor Conditional Use Approval ("Application"), for real property located at 905 Overseas Highway, Big Coppitt, Florida, Having Real Estate Number 00156310-000000 ("Property"), pursuant to the County staff's compliance review dated May 27, 2025.

The Applicant Provides the following in response to the comments provided:

1. The letter included in the application states that "The Storage Building will be entirely accessory to the principal office use on the Property and will be used to store materials and equipment needed for the operation of the applicant's existing and operating business." This business is listed as an office use. If this is the case, the planning review is entirely for an office use. However, the plans provided calculate parking and floor area based on a split between office and light industrial uses.
 - **Please clarify whether the proposed use on the property is entirely an office use or whether two (2) uses, office and light industrial, are proposed on the property. If necessary, please update floor area ratio and parking calculations accordingly.**
 - Please see revised Site Plan attached. Please note that the Applicant is proposing both office and light industrial uses on the Property, however, the proposed light industrial use (storage) is being proposed as entirely accessory to the existing office use on the Property.

2. The application proposes two access drives connecting the property to the Overseas Highway, both within 400 feet of another road or driveway. Per LDC Sec. 114-199 No use fronting on U.S. 1 or County Road 905 shall receive a permit for a change of use, expansion or substantial improvement unless it is brought into conformance with this article by provision of combined drives or parallel access, and with any access standards or requirements of FDOT.
 - **Please note that this property is in a portion of the Overseas Highway with an Access Class 6 designation and LDC Sec. 114-195 includes:**
 - **Proposed developments with access on U.S. 1 that are designated as Class 5 or Class 6 access control classifications, as defined by FDOT, where the posted speed limit is 45 MPH or less may deviate from 400-foot standard, in accordance with the standards contained in Chapter 14-97, F.A.C., State Highway System Access Control Classification System and Access Management Standards.**
 - Please see revised Site Plan identifying the proposed removal of one (1) of the existing access points on US 1.
 - Please see attached coordination from Florida Department of Transportation.
 - The remaining access point will be permitted and approved by FDOT in accordance with the standards contained in Chapter 14-97, F.A.C., **State Highway System Access Control Classification System and Access Management Standards.**
3. A letter of coordination from FDOT was not received. Since the conditional use application proposes to change the use and expand the area of development of the property with US 1 access, FDOT coordination is required.
 - **Please submit a letter of coordination from FDOT.**
 - Please see attached email regarding a pre-application meeting held with FDOT regarding required coordination.
4. The survey submitted as part of this application states that the property contains 35,016 square feet of upland. The site plan and calculations for floor area ratio and open space use a lot size 35,021.2 square feet.

- **Please update the site plan and the calculations for floor area ratio and open space to align with the upland area depicted on the survey.**
 - Please see attached Revised Site Plan, which align with the survey.

- 5. Per LDC [Sec. 131-3](#), a 40% minimum open space is required within the front yard setback. The property has two front yard setbacks. Open space calculations for them was not submitted.
 - **Please submit plans that demonstrate compliance with front yard open space requirements.**
 - Please see attached Revised Site Plan, which demonstrates the required open space within the front yard setbacks.

- 6. The site plan provided depicts a ‘tiki covered concrete’ located within the secondary front yard setback. A review of the permit history did not yield a permit for this structure.
 - **Please provide documentation that this was lawfully established or please submit plans that demonstrate compliance with the setback requirements in LDC [Sec. 131-1](#).**
 - Please see attached Revised Site Plan.

- 7. The plans provided do not depict outdoor lighting, however light poles are depicted on the site plan, located within the setbacks. Per LDC Sec. 114-164 *When any change of use, redevelopment, or expansion of a development footprint occurs, the site shall come into compliance with the lighting requirements of this article to the greatest extent practicable, as approved by the Planning Director on a case-by-case basis.* While the lighting standards and photometric plan are often reviewed at during permit review rather than conditional use review. The conditional use approval cannot depict lighting structures in an area that do not comply with the code.
 - **Please submit plans demonstrating compliance with setback requirements for the outdoor lighting poles, LDC Sec. 131-1.**
 - Please see attached Revised Site Plan, removing the light poles from the setbacks.

8. Per LDC [Sec. 114-69](#) nonresidential uses of over 100 square feet in floor area, involving the receipt and distribution by vehicles of materials and merchandise, shall provide for off-street loading. Floor area of 2,500 to 19,999 square feet requires one loading zone of 11'x55'. The loading zone depicted on the site plan is 11'x35'.

- **Please submit plans that demonstrate compliance with loading zone requirements.**

- Please see attached Loading Zone Analysis drafted by KBP Consulting and finding that According to the American Association of State Highway and Transportation Officials'(AASHTO's) publication entitled *A Policy on Geometric Design of Highways and Streets*, a standard "box truck" (i.e., Single-Unit Truck) has a width of eight (8) feet and a length of 30 feet. Given the dimensions of the site's design vehicle (i.e., single-unit truck or "box truck") that currently serves this site and will continue to utilize the subject loading / unloading space, it is evident that the proposed dimensions of this loading space (11 feet x 35 feet) will be more than adequate.

9. Please revise the drainage plans to comply with the water quality and water quantity criteria of Section 114-3(f).

- Please see attached revised drainage plans

10. The proposed landscape plan (Sheet L-1.0) is not in compliance with the landscaping requirements of Section 114-100.

- **In accordance with Section 114-109(a) Please revise Sheet L- 1.0 to comply with the design criteria of Section 114-100.**

- Please see attached revised landscaping plans.

If you require anything further, or have any questions and/or concerns, please do not hesitate to contact our office.

Sincerely,



Jess Miles Goodall

From: Loren Marquez <lmarquez@larseng.com>
Sent: Thursday, July 24, 2025 11:01 AM
To: Jess Goodall; Alexander Fernandez
Cc: Durhan Chavez
Subject: Minutes of Pre-Application Meeting of Project development for Florida Keys Electric - Office Supply Storage / 905 Overseas Highway
Attachments: Access Connection Commercial Checklist Rev April 2023.pdf; Drainage Checklist.pdf

Good morning Jess,

Please see below and attached.

Minutes of Pre-Application Meeting of Project development for Florida Keys Electric - Office Supply Storage / 905 Overseas Highway

Permittee was informed that the pre-application meeting is a non-binding meeting according to Florida Statute.
Wednesday 07/16/2025 10:15 AM

Main points of discussion:

- Project location/description and current and future access points.
- The subject property is already developed with a 568.5 sq. ft. office space and a 500 sq. ft. industrial storage space used by the Florida Keys Electric for their existing business, located at 905 Overseas Hwy, Big Coppitt Key, FL.
- The project consists on adding a 1,957 sq. ft. industrial storage building that is to be used only by the existing business to store equipment and materials.
- The site currently has two existing access connections on US-1/Overseas Hwy., and they have been existing since before the existing development.
- The existing driveways may have been grandfathered and no permits were found by the Department for the existing access connections.
- The project proposes to close one of the two existing access points on US-1 and will modify the driveway to remain to meet State and County requirement.
- Additionally, there are drainage improvements proposed with this project.

Traffic Operations feedback:

- At the subject location, SR 5/Overseas Highway is an access class 6 roadway with a posted speed of 45 mph (Context Class C2T).
- Based on the information provided, an additional storage facility is being added to an existing office building. Also, one existing driveway along the state road is being removed. It is not a significant change based on the furnished trip generation information. An access permit to close one of the driveways will be needed.

Design Office feedback:

- Roadway characteristics – SR 5 / US 1 / Overseas Hwy
 - Context Classification = C2
 - Posted Speed: 45 MPH
 - Access Class = 6
- These comments are based on a preliminary review of the information provided. A thorough review will be provided once the permit is received, and official comments will be made in OSP.

- Permit plans should include any impacts to the roadway features like signs, lighting, pedestrian signals and trees with FDOT R/W. All impacted features will need to be restored, and maintenance of these features will need to be coordinated during the construction.
- Permit plans are to follow FDOT criteria. For design criteria, please follow FDOT Design Manual ([FDM](#)). For **driveways** and **shared use paths** criteria please refer to **FDM 214** and **FDM 224**, respectively.
- Permit plans should provide **driveways** details including width, radii, and make sure they follow the criteria specified in **FDM 214**.
- **Driveways** along the state road should meet the require **connection spacing**. For Access Management Standards refer to **FDM 201.4** and **FAC Rule 14-96** and **14-97**.
- Permit plans should show **sight triangles**. Ensure landscaping, buildings, features, etc. do not block sight lines. Please refer to **FDM 212.11** for sight triangle criteria. Plans show landscaping which do not seem to meet criteria and would need to be redesigned.
- Permit plans should include Traffic Control Plans for any work zones within the FDOT R/W or work adjacent to the SR 5 , including sidewalks, curbs, etc.

Department's general feedback:

Permittee needs to apply for the following types of permits:

- **Access Permit:** For existing driveway modifications and removal the other existing access on US-1.
- **Drainage Permit:** For on-site drainage work to ensure runoff stays within private property.
- **Utility permit:** For any utility related connections on the FDOT ROW. (no utility connections are anticipated as per meeting discussion)
- **Required boundary survey** shall be signed by a licensed land surveyor certifying the FDOT R/W line location. Surveyor shall contact X Negrin x.negrin@dot.state.fl.us at the FDOT Surveying and Mapping Office to request the latest R/W maps.

Additional Information:

- Permit process shall be done online on our website, One-Stop-Permitting <https://osp.fdot.gov/>
- All applicable Permit checklists are provided as part of these minutes.
- Refer to the [Drainage Connection Permit Handbook \(PDF 2.4MB\)](#) when preparing to submit the drainage permit.
- Permittee shall submit when ready with 100% S&S Engineering plans.
- A copy of these minutes shall be included as part of the permit package when submitted.

If you have any further questions, please feel free to contact us through this email.

Best regards,

Loren Marquez, P.E., C.B.I.

FDOT Permits – Monroe County

Consultant (LARS Engineering)

Webber Infra/FDOT - District Six

Email 1: lmarquez@larseng.com

Office: (305) 631-2594

Mobile: (305) 469-6162

End of Additional File 2025-022

**MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED
2025-022
JAN 30 2025
MONROE COUNTY
PLANNING DEPT.

Request for a Minor Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review.

Minor Conditional Use Permit Application Fee: \$8,480.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

Date of Application: 01 / 28 / 2025
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

SMITH HAWKS, PL	Barton W. Smith/Jess Miles Goodall
Applicant (Name of Person, Business or Organization)	Name of Person Submitting this Application
138 Simonton Street, Key West, Florida 33040	
Mailing Address (Street, City, State and Zip Code)	Bart@SmithHawks.com; Jess@SmithHawks.com; Brandi@SmithHawks.com
(305) 296 7227	
Work Phone	Home Phone
	Cell Phone
	Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

Florida Keys Electric, Inc	c/o Agent
(Name/Entity)	Contact Person
c/o Agent	
Mailing Address (Street, City, State and Zip Code)	
c/o Agent	c/o Agent
Work Phone	Home Phone
	Cell Phone
	Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

Block	Lot	Subdivision	Key
00156310-000000		Porpoise Point	Big Coppitt
Real Estate (RE) / Parcel ID Number			1201731
905 Overseas Highway, Big Coppitt, Florida			10.5
Street Address (Street, City, State & Zip Code)			Approximate Mile Marker

Land Use District Designation of Property: _____
Present Land Use of Property: Office and Storage
Proposed Land Use of Property: Office and Storage
Total Area of Property: 35,021.2 SF
Total Upland Area within Property: 35,021.2 SF

If non-residential or commercial floor area is proposed, please provide:

1 Total number of non-residential buildings

8,065.5 Total non-residential floor area in square feet

6,108.5 SF Is existing to remain, 1,957 SF proposed to be added as accessory storage.

If residential dwelling units are proposed, please provide:

0 Total number of residential buildings

0 Total number of market-rate units

0 Total number of affordable units

0 Total number of transient units (hotel, recreational vehicle and/or campground)

Has a previous application been submitted for this site within the past two years? Yes No

All of the following items must be included in order to have a complete application submission:
 (Please check the box as each required item is attached to the application.)

- Completed application form
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed) **Tab A**
- Current property record card(s) from the Monroe County Property Appraiser **Tab B**
- Completed application form
- Photograph(s) of site from adjacent roadway **Tab C**
- Written description of project **See attached Correspondence**
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 3 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat) **Tab D**
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect – 3 sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following: **Tab E**
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes.
 - All attributes from the boundary survey
 - Future Land Use Map (FLUM) designation(s) of the site
 - Land Use (Zoning) District designation(s) of site
 - Tier designation(s) of the site
 - Flood zones pursuant to the Flood Insurance Rate Map

- Setback lines as required by the Land Development Code
 - Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
 - Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
 - Extent and area of wetlands, open space preservation areas and conservation easements
 - Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service) (unless a separate landscape plan showing such is submitted)
 - Location of fire hydrants or fire wells
 - The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
 - A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking
- Landscape Plan by a Florida registered landscape architect – 3 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following: **Tab E**
- Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
 - Locations and dimensions of all existing and proposed structures, including all paved areas
 - Open space preservation areas
 - Existing natural features
 - Size and type of buffer yards including the species, size and number of plants
 - Parking lot landscaping including the species, size and number of plants
 - Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
 - Transplantation plan (if required)
- Stormwater/ Surface Water Management Plan – 3 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas) **Tab E**
- Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 3 sets (drawn at an appropriate standard architectural scale) **Tab E**
- Building Elevations for all proposed structures and for any existing structures to be modified – 3 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure) **Tab E**
- Traffic Study, prepared by a licensed traffic engineer **Tab F**
- Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)
- Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging) **Tab E**
- List of names and addresses of all real property owners within a 600 foot radius of the subject property. **Tab G**
This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included

- Radius report from Monroe County Property Appraiser supporting the required labels **Tab G**
- Proof of Coordination are required from the following: **Tab H**
 - Florida Keys Aqueduct Authority (FKAA)
 - Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
 - Monroe County Office of the Fire Marshal
 - Monroe County Solid Waste Management
 - Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day

If applicable, the following items must be included in order to have a complete application submission:
 (Please check the box as each required item is attached to the application.)

- Notarized Agent Authorization **Tab I**
- Vegetation Survey or Wetland delineation
- Construction Phasing Plan
- Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:
 - Key West Resort Utilities
 - Key Largo Wastewater Treatment District (KLWTD)
 - South Florida Water Management District (SFWMD)
 - Florida Department of Transportation (FDOT)
 - Florida Department of Environmental Protection (FDEP)
 - Florida Department of State, Division of Historic Resources
 - Florida Fish & Wildlife Conservation Commission (FWC)
 - U.S. Army Corps of Engineers (ACOE)
 - U.S. Fish and Wildlife Service (USFW)

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development:

Yes No Code Case file # _____ Describe the enforcement proceedings and if this application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

See Page 5 for Signature and Notary Acknowledgement

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature]

Date: January 28, 2025

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 28th day of January, 2025, by JESS MILES GOODALL
(PRINT NAME OF PERSON MAKING STATEMENT)

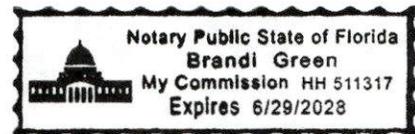
Who is personally known to me OR produced N/A as
(TYPE OF ID PRODUCED) identification.

[Handwritten Signature: Brandi Green]
SIGNATURE OF NOTARY PUBLIC
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES: 06/29/2028

BRANDI GREEN
PRINT, TYPE OR STAMP COMMISSIONED

Send complete application package to:

**Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050**



SMITH / HAWKS
ATTORNEYS AT LAW

Barton W. Smith, Esq.
Jess Miles Goodall, Esq.
Telephone: (305) 296-7227
Email: Bart@SmithHawks.com
Jess@SmithHawks.com
Brandi@SmithHawks.com

SENT VIA FEDEX
7717 3397 6528

January 28, 2025

Emily Schemper, Senior Director
Monroe County Planning & Environmental Resources Department
2798 Overseas Highway, Suite 400
Marathon, Florida 33050
Email: Schemper-Emily@MonroeCounty-FL.Gov

RE: FLORIDA KEYS ELECTRIC, INC – REQUEST FOR A MINOR CONDITIONAL USE APPROVAL FOR DEVELOPMENT OF STORAGE BUILDING ACCESSORY OF EXISTING OFFICE.

Dear Emily,

Please find enclosed, Florida Keys Electric, Inc's (the "Applicant"), application for a Minor Conditional Use Approval ("Application"). The Application is for a Minor Conditional Use Approval ("Conditional Use Approval") in accordance with §110-69 of the Monroe County Land Development Code ("LDC") for the development of a 1,957 Sq. Ft. storage building to be used as accessory storage for materials and equipment related to the existing office use on the real property located at 905 Overseas Highway, Big Coppitt, Florida, Having Real Estate Number 00156310-000000 ("Property").

Proposed Development:

Development of a 1,957 Sq. Ft. accessory storage building for the storage of materials and equipment needed and used by Florida Keys Electric, Inc., in the continued operation of its business.

I. BACKGROUND INFORMATION:

- a. Location:** Big Coppitt Key at approximate U.S. 1 Mile Marker 9.5
- b. Address:** 905 Overseas Highway, Big Coppitt, Florida
- c. Real Estate (RE) No.:** 00156310-000000

- d. **Property Owner/Applicant:** Florida Keys Electric, Inc
- e. **Agent:** Smith/Hawks, PL
Barton W. Smith, Esq./ Jess Miles Goodall, Esq.
- f. **Total Property Area:** 35,021.2 SF
- g. **Total Upland Area:** 35,021.2 SF
- h. **Land Use District:** Suburban Commercial (SC)
- i. **Future Land Use Map (FLUM) Designation:** Mixed Use/Commercial (MC)
- j. **Tier Designation:** Tier III (Infill)
- k. **Flood Zone:** AE10
- l. **Existing Uses:** Office, Storage
- m. **Community Character of Immediate Vicinity:** Industrial, commercial, and Residential.

II. MINOR CONDITIONAL USE APPROVAL REQUEST:

Currently, the Property is developed and operated as 5,608.5 sf of office space and 500 sf of accessory storage space. The Conditional Use Approval will allow the development of one (1) 1,957 sf, two story concrete storage building to be entirely accessory to the principal office use ("Storage Building"). The Storage Building will be entirely accessory to the principal office use on the Property and will be used to store materials and equipment needed for operation of the Applicant's existing and operating business. The Storage Building will be built above base flood elevation and will be compliant with all required Monroe County Code.

III. ANALYSIS OF CODE COMPLIANCE:

Section 110-67 of the Monroe County Land Development Code (LDC) provides the standards that are applicable to all conditional uses. When considering applications for a conditional use permit, the Development Review Committee and the Director of Planning & Environmental Resources shall consider the extent to which:

- (1) *The conditional use is consistent with the purposes, goals, objectives and standards of the comprehensive plan and the land development code Specific policies from the Monroe County Year 2030 Comprehensive Plan that directly pertain to the proposed conditional use include:*

Policy 101.5.6

The principal purpose of the Mixed Use/Commercial (MC) future land use category is to provide for the establishment of mixed use commercial land use (zoning) districts where various types of commercial retail and office may be permitted at intensities which are consistent with the community character and the natural environment. Employee housing and commercial apartments are also permitted. In addition, Mixed Use/Commercial land use districts are to establish and conserve areas of mixed uses, which may include maritime industry, light industrial uses, commercial fishing, transient and permanent residential, institutional, public, and commercial retail uses.

This future land use category is also intended to allow for the establishment of mixed use development patterns, where appropriate. Various types of residential and nonresidential uses may be permitted; however, heavy industrial uses and similarly incompatible uses shall be prohibited. The County shall continue to take a proactive role in encouraging the preservation and enhancement of community character and recreational and commercial working waterfronts.

The development of the Storage Building which will house materials and equipment for the existing office use is consistent with Comp. Plan policy 101.5.6.

Objective 601.2

Monroe County hereby adopts the following density and intensity standards for the future land use categories, which are shown on the FLUM and described in Policies 101.5.1—101.5.20. [F.S. § 163.3177(6)(a)1.]:

Future Land Use Densities and Intensities				Minimum Open Space Ratio (c)
Future Land Use Category and Corresponding Zoning	Residential (SC)		Nonresidential	
	Allocated Density (a) (per upland acre)	Maximum Net Density (a)(b) (per buildable acre)	Maximum Intensity (floor area ratio)	
Mixed Use/Commercial (MC) ^{(f)(g)} (SC, UC, DR, RV, MU and MI zoning)	1 du (DR, MU, MI) 3 du (SC) 6 du (UC) Commercial Apartments (RV) ^(h) 5—15 rooms/spaces	2 du (MI) 6-18 du (SC) ^(k) 12 du (UC) 12—18 du (MU) ^(k) 18 du (DR) 10—25 rooms/spaces	0.10—0.45 (SC, UC, DR, MU) <2,500 SF (RV) 0.30—0.60 (MI)	0.20

- (2) *The conditional use is consistent with the community character of the immediate vicinity of the parcel proposed for development:*

The Property is located between residential subdivisions to the North and West, Bella Construction of Key West Inc to the West, and U.S.1 to the South. It is normal practice to have zoning transitions of single-family homes to industrial uses with the following zoning: commercial, mixed use, or multifamily developments in between. The Conditional Use Approval would be consistent with the community character of the immediate vicinity.

- (3) *The design of the proposed development minimizes adverse effects, including visual impacts, of the proposed use on adjacent properties:*

The Applicant is proposing to complete construction of the proposed Storage Building as well as supporting infrastructure improvements in a single phase of development. Additionally, the Property will be in full compliance with County LDC, including landscaping, buffer yards, off-street parking and loading, stormwater management, outdoor lighting, and solid waste/recycling collection. The proposed site plan ("Site Plan") shows all required setbacks and landscaping will be met, all off-street parking spaces and the loading/unloading area being provided. Therefore, the design of the proposed development will minimize adverse effects, including visual impacts, on adjacent properties.

- (4) *The proposed use will have an adverse impact on the value of surrounding properties:*

There is no evidence that development of an accessory Storage Building for use by an existing and operating business will have an adverse impact on the value of surrounding properties.

- (5) *The adequacy of public facilities and services, including, but not limited to:*

(a) **Traffic:**

Localized Impacts & Access Management: Access to and from the subject property is from US 1, and shall be approved by FDOT.

Pursuant to County Code Sec. 114-200, a Level 1 traffic study is only required for "segments of U.S. 1 designated as Inadequate Capacity or Marginally Adequate Capacity according to the biennial assessment of public facilities capacity report (see Sec. 114-2)." Segments 3 operate at LOS B; therefore, no traffic study is required. Please see attached traffic statement.

(b) **Water and Wastewater**

Proof of coordination has been provided by Florida Keys Aqueduct Authority (FKAA) affirming there is adequate capacity of potable water and wastewater based on the proposed intensity provided for by the project.

The FKAA proof of coordination is included with this application and incorporated herein by reference.

(c) **Energy**

Proof of coordination has been provided by Keys Energy Service (KES) affirming there is adequate energy capacity based on the proposed intensity provided for by the project. The KES proof of coordination is included with this application and incorporated herein by reference.

(d) **Solid Waste**

Proof of coordination has been provided by Waste Management (WM) affirming there are no issues with the solid waste removal and disposal capacity based on the proposed project. The WM proof of coordination is included with this application and incorporated herein by reference.

(e) **Sewage**

Proof of coordination confirming available capacity based on the proposed project has been provided by Florida Keys Aqueduct Authority (FKAA). The FKAA proof of coordination is included with this application and incorporated herein by reference.

(f) **Drainage/Stormwater**

Drainage and Stormwater are included in the attached Site Plan and are complaint.

(g) **Schools**

The Capacity is adequate for the Lower Keys.

(h) **Recreation and Open Space**

Recreation and Open Space is adequate for the Lower Keys.

a. **Does the Development affect a known archeological, historical, or cultural resource?**

The Development does not affect a known archeological, historical, or cultural resource.

- b. **Does the Development preserve access to public beaches and other waterfront areas?**

The Development will not affect public access to public beaches or other waterfront areas.

IV. DOES THE DEVELOPMENT COMPLY WITH ALL ADDITIONAL STANDARDS IMPOSED ON IT BY THE PARTICULAR PROVISIONS OF THE LDC AUTHORIZING THE DEVELOPMENT?

1. **Purpose of the I District (§130-46):** The purpose of the SC district is to establish areas for commercial uses designed and intended primarily to serve the needs of the immediate planning area in which they are located. This district should be established at locations convenient and accessible to residential areas to reduce trips on U.S. 1

The development of the Storage Building as an accessory storage facility for the existing commercial use on the Property is compliant with the purpose of the SC zoning district.

2. **Permitted Uses (§130-93):** In the Suburban Commercial District

(a) The following uses are permitted as of right in the SC district:

- (1) Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of less than 2,500 square feet of floor area;
- (2) Institutional residential uses, involving less than ten dwelling units or rooms;
- (3) Commercial apartments involving less than six dwelling units;
- (4) Commercial recreation uses limited to:
 - a. Bowling alleys;
 - b. Tennis and racquet ball courts;
 - c. Miniature golf and driving ranges;
 - d. Theaters;
 - e. Health clubs; and
 - f. Swimming pools;
- (5) Institutional uses;
- (6) Parks;

- (7) Public buildings and uses;
 - (8) Accessory uses;
 - (9) Vacation rental use of nonconforming detached and attached dwelling units, if a special vacation rental permit is obtained under the regulations established in section 134-1;
 - (10) Collocations on existing antenna-supporting structures, pursuant to section 146-5(c);
 - (11) Attached wireless communications facilities, as accessory uses, pursuant to section 146-5(d);
 - (12) Replacement of an existing antenna-supporting structure pursuant to section 146-5(b);
 - (13) Stealth wireless communications facilities, as accessory uses, pursuant to section 146-5(e);
 - (14) Satellite earth stations, as accessory uses, pursuant to section 146-5(f);
 - (15) Attached and detached dwellings involving less than six units, designated as employee housing as provided for in section 139-1;
 - (16) Wastewater nutrient reduction cluster systems that serve less than ten residences; and
 - (17) Public infrastructure and utilities, provided that:
 - a. The parcel(s) proposed for development shall be separated from any established residential use by a class C bufferyard. As determined by the Planning Director, the bufferyard may be required on all property lines adjacent to an established residential principal use to screen the use from view.
 - b. A solid fence may be required upon determination by the Planning Director.
- (b) The following uses are permitted as minor conditional uses in the SC district, subject to the standards and procedures set forth in chapter 110, article III:
- (1) Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of greater than 2,500 but less than 10,000 square feet of floor area, provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;

- (2) Commercial retail, restaurant uses, or any combination thereof, of high intensity, and of less than 2,500 square feet in floor area; provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
- (3) Institutional residential uses involving ten to 20 dwelling units or rooms, provided that access to U.S. 1 is by way of:
 - a. An existing curb cut;
 - b. A signalized intersection; or
 - c. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
- (4) Commercial apartments involving six to 18 dwelling units, provided that:
 - a. The hours of operation of the commercial uses are compatible with residential uses;
 - b. Access to U.S. 1 is by way of:
 - i. An existing curb cut;
 - ii. A signalized intersection; or
 - iii. A curb cut that is separated from any other curb cut on the same side of U.S. 1 by at least 400 feet;
 - c. Tourist housing uses, including vacation rental uses, of commercial apartments are prohibited;
- (5) Hotels of fewer than 25 rooms, provided that:
 - a. One or more of the following amenities are available to guests:
 1. Swimming pool;
 2. Docking facilities; or
 3. Tennis courts;
- (6) Light industrial uses, provided that:
 - a. The parcel proposed for development does not have an area of greater than two acres;

- b. The parcel proposed for development is separated from any established residential use by at least a class C bufferyard; and
- c. All outside storage areas are screened from adjacent use by a solid fence, wall, or hedge at least six feet in height;

Pursuant to the LDC Section 101-1, storage is considered a light industrial use, which is permitted in the SC zoning district by means of a Minor conditional use, additionally, Commercial retail, office, restaurant uses, or any combination thereof, of low and medium intensity, and of greater than 2,500 but less than 10,000 square feet of floor area. As shown on the Traffic statement provided, the office use is medium intensity with 79 trips per day, and the development is therefore permitted as a minor conditional use.

Residential Density Analysis

No residential dwelling units are proposed as part of the Minor Conditional Use approval, nor are any presently developed on the Property.

The Conditional Use Approval will result in the following Intensity on the Property, which is consistent with the LDC and Comp. Plan:

LAND USE	FAR/DENSITY	SIZE OF SITE (UPLAND)	MAXIMUM ALLOWED	PROPOSED	POTENTIAL USED
Office	0.40	35,021.2	14,008.48	5,608.5	40.04%
Light Industrial	0.30	35,021.2	10,506.36	2,457	23.29%
Total					63.43%

The Property has sufficient development potential to support the development of Storage Building.

4. Required Open Space (LDC §§ 118-4;118-12; 103-157;130-162; and 130-164)

In the SC zoning district, the minimum required open space ratio is 20%. The Site Plan shows that the Property consists of 35,021.2 SF of gross area. Therefore, 7,004.24 SF is required to remain open space. The Site Plan shows that 13,055.2 SF or 37.3% of open space is provided.

5. Required Setbacks (§131-1 and §131-3)

In the SC district, the required non-shoreline setbacks are as follows:

Land Use District/ Land Use	Primary Front Yard (ft.)	Secondary Front Yard (ft.)	Primary Side Yard (ft.)	Secondary Side Yard (ft.)	Rear Yard (ft.)
SC	25	15	10	5	10

The Site Plan identifies the shoreline setbacks are compliant with the LDC.

6. Shoreline Setbacks (§118-12)

The Site Plan identifies the shoreline setbacks are compliant with the LDC.

7. Maximum height (§131-2)

As shown in the Elevation Plans provided, the proposed development is compliant with the required height within the LDC.

8. Stormwater Management Plans (§114-3)

Overall Drainage Plans provided.

9. Wastewater Treatment Criteria (§114-4)

Development is required to connect to central sewer.

10. Fences (§114-13)

N/A

11. Required Off Street Parking (§114-67)

The Development is subject to the following off-street Parking requirements:

<i>Specific Use</i>	<i>Multiplier</i>	<i>Proposed</i>	<i>Required Spaces</i>
Office	3.0 spaces per 1,000 sq. ft. of nonresidential floor area within the building	5,608.5 SF	16.8 spaces
Warehousing/Accessory Storage	1.0 space per 1,000 sq. ft. nonresidential floor area within the building	2,457 SF	2.45 spaces
Total			19.26 spaces

The Site Plan provides that a total of 20 parking spaces will be provided, in compliance with the LDC requirements.

12. Loading and Unloading Spaces (§114-69)

The Site Plan provided provides for loading and unloading spaces as required by the LDC.

13. Bicycle Parking (§114-71)

The Site Plan provided provides for bicycle spaces as required by the LDC.

14. Required Landscaping (§114-99 and §114-105)

The Site Plan includes the required landscape plan and provides enough landscaping as required by the LDC.

15. Outdoor Lighting

The Site Plan provided provides for Outdoor lighting as required by the LDC.

16. Signs (§142)

No Signs are planned.

17. Recycling and Solid Waste

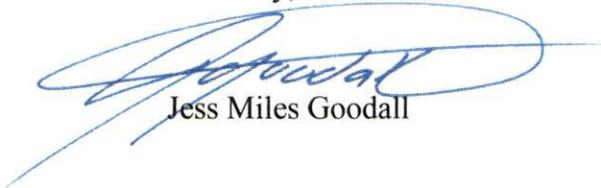
The Site Plan provided provides for recycling and solid waste removal as required by the LDC. Additionally, proof of coordination has been provided by Waste Management (WM) affirming there are no issues with the solid waste removal and disposal capacity based on the proposed project. The WM proof of coordination is included with this application and incorporated herein by reference.

18. Floodplain Management (§122-1-§122-6)

The Property is located within the AE10 on the FEMA flood insurance maps. The site is located in an AE10 Flood zone, and the proposed structures will be built to meet the standards for flood protection.

If you require anything further, or have any questions and/or concerns, please do not hesitate to contact our office.

Sincerely,



Handwritten signature of Jess Miles Goodall in blue ink.

Jess Miles Goodall

BWS/JMG/bg

This Instrument Prepared by and Return to:
Debbie Condella
THE CLOSING DEPARTMENT, INC.
3432 Duck Avenue
Key West, Florida 33040
Our File No.: CD-6658
Property Appraisers Parcel Identification (Folio) Numbers: 00156310-000000
Florida Documentary Stamps in the amount of \$13,650.00 have been paid hereon. Consideration paid \$1,950,000.00.

SPACE ABOVE THIS LINE FOR RECORDING DATA

WARRANTY DEED

THIS WARRANTY DEED, made the 23 day of **October**, 2020 by **Southern Furniture Land, LLC**, a Florida Limited Liability Company, whose post office address is 10 Evergreen Avenue, Key West, FL 33040, herein called the grantor,

to **Florida Keys Electric, Inc.**, a Florida Corporation whose post office address is 5730 2nd Avenue, Suite #1, Key West, FL 33040, hereinafter called the Grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

W I T N E S S E T H: That the grantor, for and in consideration of the sum of One Million Nine Hundred Fifty Thousand and 00/100 (\$1,950,000.00) Dollars and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto the grantee all that certain land situate in Monroe County, State of Florida, viz.:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF

Subject to easements, restrictions and reservations of record and to taxes for the year 2020 and thereafter.

Subject to Purchase Money Mortgage in favor of First State Bank of the Florida Keys in the original principal amount of \$1,950,000.00 to be filed in the Public Records of Monroe County, Florida of even date herewith.

TOGETHER, with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2019.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in the presence of:



Witness #1 Signature

WENDY S. GONZALEZ

Witness #1 Printed Name

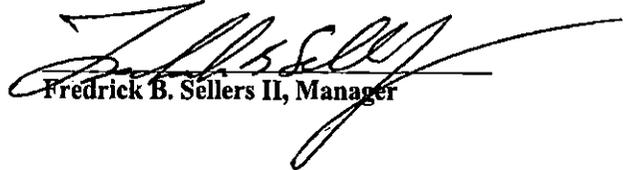


Witness #2 Signature

Deborah Condella

Witness #2 Printed Name

**Southern Furniture Land, LLC, a Florida
Limited Liability Company**



Fredrick B. Sellers II, Manager

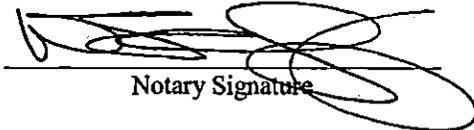
**STATE OF Florida
COUNTY OF Monroe**

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 22 day of October, 2020 by Fredrick B. Sellers II, Manager of Southern Furniture Land, LLC, a Florida Limited Liability Company on behalf of the corporation. He/She is personally known to me or has produced _____ as identification.

SEAL

My Commission Expires:





Notary Signature

Printed Notary Name

EXHIBIT "A"

LEGAL DESCRIPTION

Part of Tract A of Porpoise Point Section Five, recorded in plat thereof recorded in Plat Book 5, Page 119, in the office of the Clerk of the Circuit Court, in and for Monroe County, Florida, said part or portion being described as follows:

Beginning at the intersection of the centerline of U.S. Highway No. 1 and the centerline of Sapphire Drive as depicted upon said plat of subdivision and proceeding thence in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 56.02 feet; thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 28.01 feet to the Point of Beginning, which point is the Southwesterly corner of said Tract A; thence in a Northerly direction and parallel with the centerline of Sapphire Drive 224.09 feet to a point, which is the Northwest corner of said Tract A; thence in a Northeasterly direction and parallel with the centerline of U.S. Highway No. 1, 89.50 feet; thence at right angles to said last mentioned course and in a Southeasterly direction 200 feet to the Northwesterly right of way line of U.S. Highway No. 1; thence at right angles in a Southwesterly direction along the Northwesterly right of way line of U.S. Highway No. 1, 190.60 feet to the Point or Place of Beginning.

AND ALSO:

Part of Tract A of Porpoise Point, Section 5, according to the plat thereof recorded in Plat Book 5, at Page 119, in the office of the Clerk of the Circuit Court, in and for Monroe County, Florida, said part or portion being described as follows:

Beginning at the intersection of the centerline of U.S. Highway No. 1 and the centerline of Sapphire Drive as depicted upon said plat of subdivision and proceeding thence in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 56.02 feet; thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 218.61 feet to the Point of Beginning; thence proceed in a Northeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 89.50 feet to a point, which is the Southeast corner of said Tract A; thence proceed in a Northerly direction and parallel to the centerline of Diamond Drive, a distance of 224.09 feet to a point which is the Northeast corner of said Tract A; thence in a Southwesterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 190.60 feet to a point; thence at right angles proceed in a Southeasterly direction a distance of 220 feet to the Point or Place of Beginning.

LESS:

A Parcel of land being a portion of Tract A as shown on the Plat of Porpoise Point Section Five, recorded in Plat Book 5, Page 119, Public Records of Monroe County, Florida and being more particularly described as follows:

Beginning at Northeast corner of Tract A of the above mentioned plat; thence South 0 degrees, 01 minutes, 25 seconds West along the West right of way line of Diamond Drive 208.80 feet to the beginning of a curve, concave to the Northwest having a radius of 25.00 feet and a central angle of 63 degrees 10 minutes, 00 seconds; thence Southwesterly along the arc of said curve 27.56 feet to a point on the Northerly right of way line of U.S. Highway No. 1; thence South 63 degrees, 11 minutes, 25 seconds West along said right of way line 43.24 feet; thence North 26 degrees, 48 minutes, 35 seconds West 78.00 feet; thence North 18 degrees 21 minutes 11 seconds West 118.83 feet; thence North 0 degrees, 01 minutes, 25 seconds East 5.04 feet to a point on the Southerly right of way line of a 50 feet wide canal, said point also being on the centerline of said canal; thence North 63 degrees 11 minutes, 25 seconds East 140.05 feet to the Point of Beginning of the herein described Parcel.

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00156310-000000
Account# 1201731
Property ID 1201731
Millage Group 100B
Location 905 OVERSEAS Hwy, BIG COPPITT KEY
Address
Legal Description PT TRACT A PORPOISE POINT SECTION FIVE PB5-119 BIG COPPITT KEY OR445-649 OR760-560 OR917-1203 OR1330-442 OR1480-2249 PR1622-2222 OR1622-2229 OR1622-2230 OR2245-598 OR3052-1092
(Note: Not to be used on legal documents.)
Neighborhood 10058
Property Class ONE STORY OFFICE (1700)
Subdivision PORPOISE POINT SEC 5
Sec/Twp/Rng 22/67/26
Affordable Housing No



Owner

[FLORIDA KEYS ELECTRIC INC](#)
 905 Overseas Hwy
 Key West FL 33040

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$682,997	\$680,561	\$695,685	\$449,302
+ Market Misc Value	\$33,287	\$33,826	\$34,365	\$20,518
+ Market Land Value	\$1,348,261	\$1,348,261	\$1,235,906	\$1,123,551
= Just Market Value	\$2,064,545	\$2,062,648	\$1,965,956	\$1,593,371
= Total Assessed Value	\$2,064,545	\$2,052,344	\$1,865,768	\$1,593,371
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,064,545	\$2,062,648	\$1,965,956	\$1,593,371

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$1,348,261	\$682,997	\$33,287	\$2,064,545	\$2,064,545	\$0	\$2,064,545	\$0
2023	\$1,348,261	\$680,561	\$33,826	\$2,062,648	\$2,052,344	\$0	\$2,062,648	\$0
2022	\$1,235,906	\$695,685	\$34,365	\$1,965,956	\$1,865,768	\$0	\$1,965,956	\$0
2021	\$1,123,551	\$449,302	\$20,518	\$1,593,371	\$1,593,371	\$0	\$1,593,371	\$0
2020	\$544,752	\$449,126	\$20,518	\$1,014,396	\$1,014,396	\$0	\$1,014,396	\$0
2019	\$549,990	\$449,126	\$20,518	\$1,019,634	\$1,019,634	\$0	\$1,019,634	\$0
2018	\$743,796	\$428,938	\$14,161	\$1,186,895	\$965,702	\$0	\$1,186,895	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1700)	34,920.00	Square Foot	0	0

Buildings

Building ID	42050	Exterior Walls	C.B.S.
Style	GROUND LEVEL	Year Built	1972
Building Type	OFF BLDG-1 STY-B / 17B	EffectiveYearBuilt	2015
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	7562	Roof Type	FLAT OR SHED
Finished Sq Ft	6300	Roof Coverage	MEMBRANE
Stories	1 Floor	Flooring Type	CERM/CLAY TILE
Condition	AVERAGE	Heating Type	FCD/AIR NON-DC
Perimeter	320	Bedrooms	0
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	13	Grade	350
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	6,300	6,300	320
OPF	OP PRCH FIN LL	1,262	0	368
TOTAL		7,562	6,300	688

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1971	1972	5 x 90	1	450 SF	2
CH LINK FENCE	1981	1982	12 x 267	1	3204 SF	1
CH LINK FENCE	2021	2022	6 x 434	2	2604 SF	2
CONC PATIO	2021	2022	49 x 10	1	490 SF	2
ASPHALT PAVING	1986	1987	66 x 86	1	5676 SF	2

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
10/23/2020	\$1,950,000	Warranty Deed	2287786	3052	1092	01 - Qualified	Improved		
3/8/2000	\$250,000	Warranty Deed		1622	2230	M - Unqualified	Improved		
5/1/1984	\$148,500	Warranty Deed		917	1203	Q - Qualified	Improved		

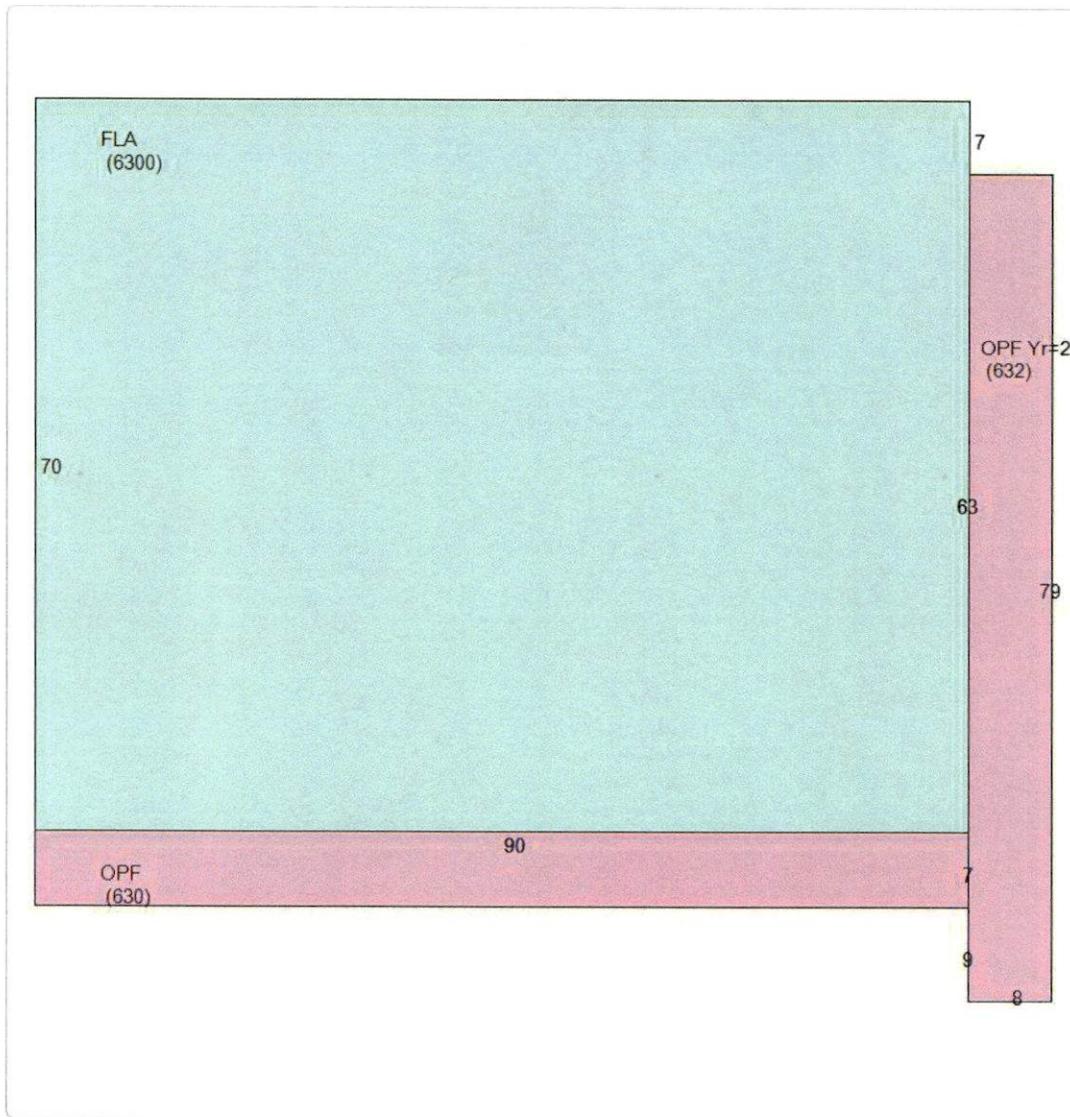
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
21103647	01/18/2022	Active	\$5,000	Commercial	SPECIFIC TREE REMOVAL/TRIMMING.
21101720	06/25/2021	Active	\$30,000	Commercial	CONSTRUCT A 245 SQ FT DOCK
20103480	04/06/2021	Completed	\$2,260	Commercial	INSTALL (2) SETS OF PLASTIC DIE CUT LETTERS/LOGOS--INSTALLED FLUSH TO FASCIA OF BUILDING--WHERE PREVIOUS SIGN WAS HUNG
21100181	02/22/2021	Completed	\$15,000	Commercial	REPAIR EXT. STUCCO, REPAIR ATUCCO, PATCH INSIDE, POLISH TERRAZZO, PAINT CEILINGS AND INT. WALLS, REPAIR DRYWALL IN ALL EXISTING WALLS.
21100163	02/16/2021	Completed	\$20,000	Commercial	REPLACE 67 EXISTING FLUORESCENT LIGHTS--WITH LED LIGHT FIXTURES-- REPLACE EXISTING RECEPTACLES AND SWITCHES WITH NEW ONES--REPLACE 8 EXIT OUTDOOR WALL FIXTURES WITH LED.
20103020	02/12/2021	Completed	\$10,000	Commercial	CHANGE EXISTING CHAIN LINK GREEN FENCE WITH NEW BLACK IN SAME FOOT PRINT AND SAME HEIGHT 6--SAME GATE LOCATIONS-- 3 ROLLING GATES 20' OPENINGS.
20103437	01/21/2021	Completed	\$48,800	Commercial	REMOVE AND REPLACE 6100 SQ FT OF EXISTING ROOF MATERIAL WITH TPO ROOF SYSTEM---INSTALL 1/4" DENSDECK, FOAM DOWN FASTENED--INSTALL 60 MIL TPO WHITE FULLY ADHERED.
20103072	01/08/2021	Completed	\$5,000	Commercial	INSTALL NEW 400A SERVICE
20103235	12/23/2020	Completed	\$12,000	Commercial	PAINT FOR INT. AND EXT. OF BUILDING.
20103061	12/17/2020	Completed	\$3,500	Commercial	TRIMMING 2 BIG TREES LOCATED IN THE REAR OF THE BUILDING AND REMOVING SMALL TREES ON THE LEFT SIDE OF THE BUILDING.
09102967	08/14/2009	Completed	\$2,500	Commercial	SEWER TIE-IN
09101447	04/30/2009	Completed	\$1,500	Commercial	ELECTRIC MISC.
A16802	01/27/1987	Completed	\$2,500	Commercial	CAHIN LINK FENCE-328 L.F

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



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[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Profit Corporation

FLORIDA KEYS ELECTRIC, INC.

Filing Information

Document Number M83451
FEI/EIN Number 65-0053891
Date Filed 06/01/1988
State FL
Status ACTIVE
Last Event AMENDMENT
Event Date Filed 04/17/2024
Event Effective Date NONE

Principal Address

905 Overseas Highway
 KEY WEST, FL 33040

Changed: 01/27/2021

Mailing Address

905 Overseas Highway
 KEY WEST, FL 33040

Changed: 01/27/2021

Registered Agent Name & Address

VAZQUEZ, RAYMOND
 905 Overseas Highway
 Key West, FL 33040

Address Changed: 01/27/2021

Officer/Director Detail

Name & Address

Title PT

VAZQUEZ, RAYMOND
 905 Overseas Highway
 KEY WEST, FL 33040

Title V

VAZQUEZ, CAROLINE
 905 Overseas Highway
 KEY WEST, FL 33040

Title S

VAZQUEZ, CAROLINE
 905 Overseas Highway
 KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2022	01/28/2022
2023	01/30/2023
2024	02/05/2024

Document Images

04/17/2024 -- Amendment	View image in PDF format
02/05/2024 -- ANNUAL REPORT	View image in PDF format
01/30/2023 -- ANNUAL REPORT	View image in PDF format
01/28/2022 -- ANNUAL REPORT	View image in PDF format
01/27/2021 -- ANNUAL REPORT	View image in PDF format
01/15/2020 -- ANNUAL REPORT	View image in PDF format
02/07/2019 -- ANNUAL REPORT	View image in PDF format
01/11/2018 -- ANNUAL REPORT	View image in PDF format
01/10/2017 -- ANNUAL REPORT	View image in PDF format
01/25/2016 -- ANNUAL REPORT	View image in PDF format
03/10/2015 -- Amendment	View image in PDF format
01/09/2015 -- ANNUAL REPORT	View image in PDF format
01/10/2014 -- ANNUAL REPORT	View image in PDF format
09/09/2013 -- AMENDED ANNUAL REPORT	View image in PDF format
01/23/2013 -- ANNUAL REPORT	View image in PDF format
01/12/2012 -- ANNUAL REPORT	View image in PDF format
03/15/2011 -- ANNUAL REPORT	View image in PDF format
05/26/2010 -- ANNUAL REPORT	View image in PDF format
01/16/2009 -- ANNUAL REPORT	View image in PDF format
01/24/2008 -- ANNUAL REPORT	View image in PDF format
01/18/2007 -- ANNUAL REPORT	View image in PDF format
02/06/2006 -- ANNUAL REPORT	View image in PDF format
03/29/2005 -- ANNUAL REPORT	View image in PDF format
03/18/2004 -- ANNUAL REPORT	View image in PDF format
03/20/2003 -- ANNUAL REPORT	View image in PDF format
03/18/2002 -- ANNUAL REPORT	View image in PDF format
02/26/2001 -- ANNUAL REPORT	View image in PDF format
04/07/2000 -- ANNUAL REPORT	View image in PDF format

06/02/1999 -- ANNUAL REPORT	View image in PDF format
04/13/1999 -- ANNUAL REPORT	View image in PDF format
01/15/1998 -- ANNUAL REPORT	View image in PDF format
01/16/1997 -- ANNUAL REPORT	View image in PDF format
09/04/1996 -- ANNUAL REPORT	View image in PDF format
05/01/1995 -- ANNUAL REPORT	View image in PDF format

Florida Department of State, Division of Corporations

AGENT AUTHORIZATION FORM

Date of Authorization: 1 / 13 / 2025
Month Day Year

I hereby authorize SMITH/HAWKS, PL / Barton W. Smith, Esq. Jess Miles Goodall, Esq. be listed as authorized agent
(Print Name of Agent)

representing FLORIDA KEYS ELECTRIC, INC. for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of ANY/ALL MONROE COUNTY PLANNING DEPARTMENT APPLICATIONS
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

Porpoise Point Big Coppitt
Lot Block Subdivision Key (Island)

00156310-000000 1201731
Real Estate (RE) / Parcel ID Number Alternate Key Number

905 Overseas Highway, Key West, Florida 33040 10.5
Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

138 Simonton Street, Key West, FL 33040
Mailing Address (Street, City, State and Zip Code)

(305) 296-7227 Bart@SmithHawks.com
Home Phone Cell Phone Email Address
Jess@SmithHawks.com
Brandi@SmithHawks.com

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature] Date: 1/13/25

STATE OF Florida COUNTY OF Monroe

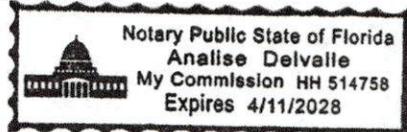
Sworn to and subscribed before me, by means of either [X] physical presence OR [] online notarization,

on 13th day of January, 2025, by RAYMOND VAZQUEZ, as
(PRINT NAME OF PERSON MAKING STATEMENT)

President and Treasurer of FLORIDA KEYS ELECTRIC, INC., who is [X] personally known to me
(TITLE) (PROPERTY OWNER)

OR [] produced as identification.
(TYPE OF ID PROVIDED)

[Signature]
SIGNATURE OF NOTARY PUBLIC



PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Ownership Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
FLORIDA KEYS ELECTRIC, INC. <small>905 Overseas Highway, Key West, Florida 33040</small>	
Raymond Vazquez	52%
Caroline Vazquez	48%

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
FORMA	

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

<i>Name and Address</i>

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Raymond Vazquez

STATE OF Florida

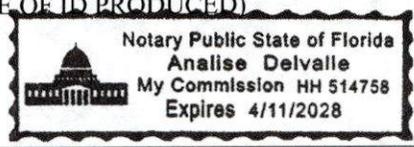
COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 13th day of January, 2025, by Raymond Vazquez
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as
(TYPE OF ID PRODUCED)

identification.

Adenelle
SIGNATURE OF NOTARY PUBLIC



PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:

FORM





KBP CONSULTING, INC.

December 7, 2024

Mr. Alexander N. Fernandez, P.E.
Atlantic Engineering of the Florida Keys
5582 1st Avenue, Unit 102
Key West, FL 33040

**Re: Florida Keys Electric – Big Coppitt Key, Florida
Traffic Statement**

Dear Alex:

Based upon our discussions we understand that Florida Keys Electric, an electrical contractor, is planning to construct a new 1,957 square foot storage building adjacent to their existing building on Overseas Highway / US 1 between Sapphire Drive and Diamond Drive on Big Coppitt Key, Monroe County, Florida. More specifically, the site is located at 905 Overseas Highway (near mile marker 10.5) and the Parcel ID is 00156310-000000.

Vehicular access to the site is provided via two (2) driveways on Overseas Highway / US 1 and two (2) driveways on Sapphire Drive. A project location map is presented in Attachment A to this memorandum and the existing and proposed site plans are presented in Attachment B. The purpose of this traffic statement is to document the traffic impacts associated with the proposed increase in development on this site.

Trip Generation Analysis

Consistent with the foregoing description of the owner / tenant that currently occupies this site (and will continue to occupy this site), a trip generation analysis has been conducted utilizing the trip generation rates and equations contained in the Institute of Transportation Engineer's (ITE) *Trip Generation Manual (11th Edition)*. According to the subject ITE manual, the most appropriate land use category for this analysis is Land Use #180 – Specialty Trade Contractor. The trip generation rates used to determine the vehicle trips associated with this analysis are presented below. Relevant excerpts from the referenced manual are presented in Attachment C to this memorandum.

SPECIALTY TRADE CONTRACTOR – ITE LAND USE #180

- Weekday¹: T = 9.82 (X)
 where T = number of trips and X = 1,000 square feet of gross floor area
- AM Peak Hour: T = 1.66 (X) (74% in / 26% out)
- PM Peak Hour: T = 1.93 (X) (32% in / 68% out)

¹ This land use lacks weekend trip generation data. As such, only the weekday rate has been applied to the daily trip generation analysis.

Table 1 below summarizes the trip generation characteristics associated with the existing and proposed development located at 905 Overseas Highway on Big Coppitt Key, Florida.

Table 1 Florida Keys Electric - 905 Overseas Highway Trip Generation Summary Big Coppitt Key, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i>								
Specialty Trade Contractor	6,108 SF	60	7	3	10	4	8	12
<i>Proposed</i>								
Specialty Trade Contractor	8,065 SF	79	10	3	13	5	11	16
Difference (Proposed - Existing)		19	3	0	3	1	3	4

Compiled by: KBP Consulting, Inc. (December 2024).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition).

As indicated in Table 1 above, the proposed development is projected to generate 79 daily vehicle trips, 13 AM peak hour vehicle trips (10 inbound and 3 outbound) and 16 PM peak hour vehicle trips (5 inbound and 11 outbound). When considering the existing development on the site, this represents an increase of 19 daily vehicle trips, an increase of three (3) AM peak hour vehicle trips, and an increase of four (4) PM peak hour vehicle trips.

As mentioned previously, the subject site is located near mile marker 10.5 on Overseas Highway / US 1. Segment 3 (“Big Coppitt”) of Overseas Highway / US 1 encompasses mile markers 9.0 to 10.5 and is currently operating at Level of Service (LOS) “B”. (Please see the 2021 Level of Service and Reserve Capacity Table and the latest tracking table dated September 19, 2024, presented in Attachment D). Given the low number of additional daily vehicle trips for this project and the adequate capacity of this roadway segment, a traffic statement for this project is sufficient. (As requested by Monroe County, a roadway segment analysis has been conducted and is presented in Attachment E.)

Conclusions

The analysis for the proposed expansion of the Florida Keys Electric site located at 905 Overseas Highway on Big Coppitt Key indicates that the traffic impacts will be insignificant on a segment of Overseas Highway / US 1 that has adequate capacity. If you have any questions, please do not hesitate to contact me.

Sincerely,

KBP CONSULTING, INC.



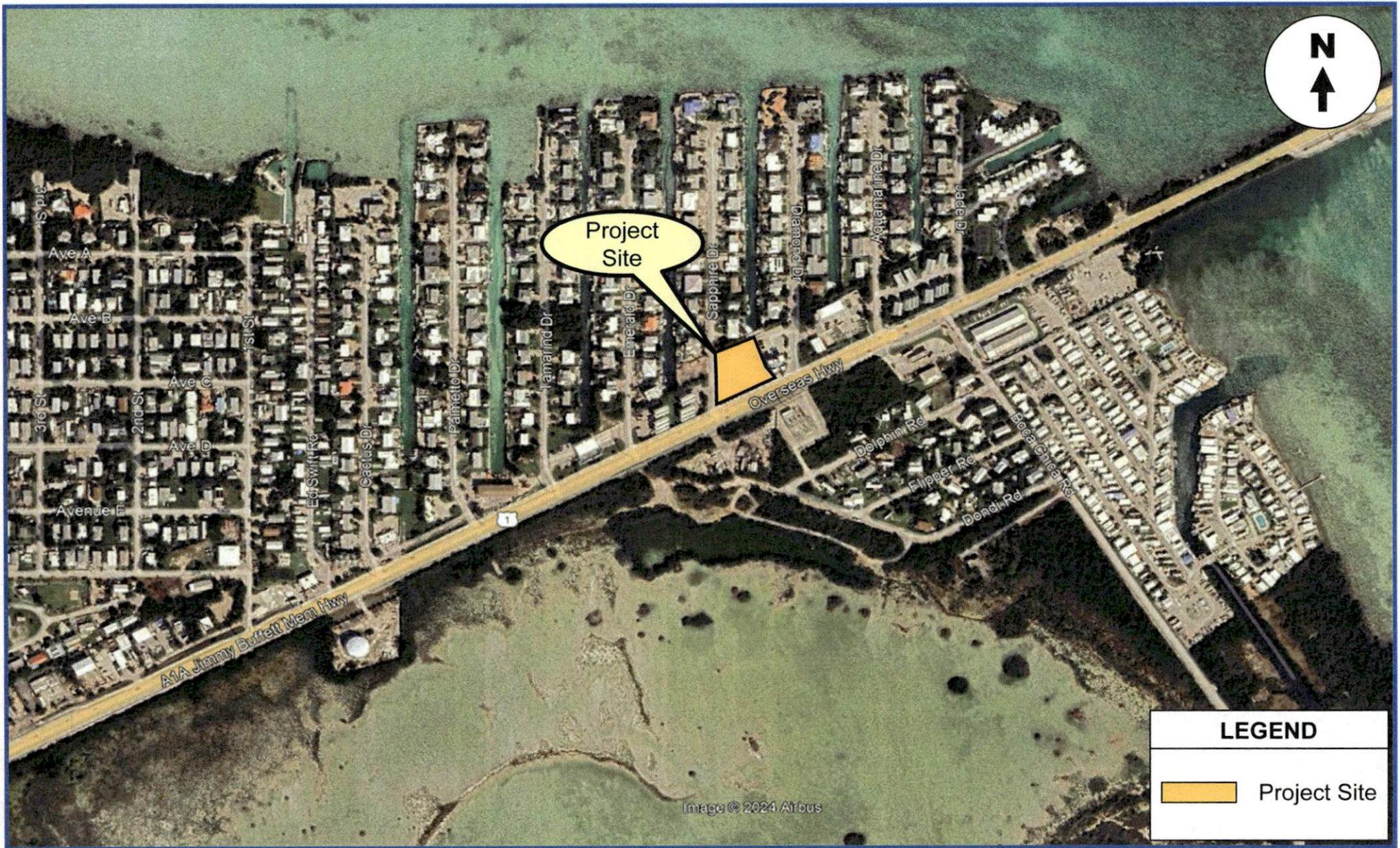
Karl B. Peterson, P.E.

Senior Transportation Engineer

Attachment A

Florida Keys Electric – Big Coppitt Key

Project Location Map



KBP
CONSULTING, INC.

Project Location Map

Attachment A
Florida Keys Electric
Big Coppitt Key, Florida

Attachment B

Florida Keys Electric – Big Coppitt Key

Existing and Proposed Site Plans

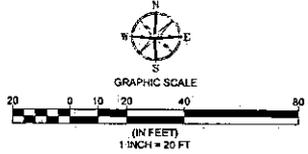
BUILDING CONSTRUCTION PLANS
FOR

905 OVERSEAS HIGHWAY
OFFICE SUPPLY STORAGE

PART OF SECTION 22, TOWNSHIP 67, RANGE 26
BIG COPPITT KEY, FLORIDA

SITE INFORMATION

ADDRESS: 905 OVERSEAS HIGHWAY, BIG COPPITT KEY
RE # 0916431000000
LEGAL DESCRIPTION: PT TRACT A PORPOISE POINT SECTION FIVE P65-119 BIG COPPITT KEY
OWNER: FLORIDA KEYS ELECTRIC INC.
ZONING: SC (SUBURBAN COMMERCIAL)
TRAC DESIGNATION: TIER-RIGHT-FILL AREA
F.L.U.M.C. (MAILED USE/COMMERCIAL)
FLOOD ZONE: AE
BASE FLOOD ELEVATION: +19.0' NGVD1989
DESIGN FLOOD ELEVATION: +11.0' NGVD1929
P.L.R.M.
COMMUNITY NUMBER: 125129
MAP NUMBER: 12001C
PANEL: 1532
SUFFIX: K
DATE: 10/18/25
SETBACKS:
PRIMARY FRONT: 25 FT
SECONDARY FRONT: 15 FT
SIDE YARD: 10 FT, 5 FT
REAR YARD: 10 FT
SHORELINE: 20 FT

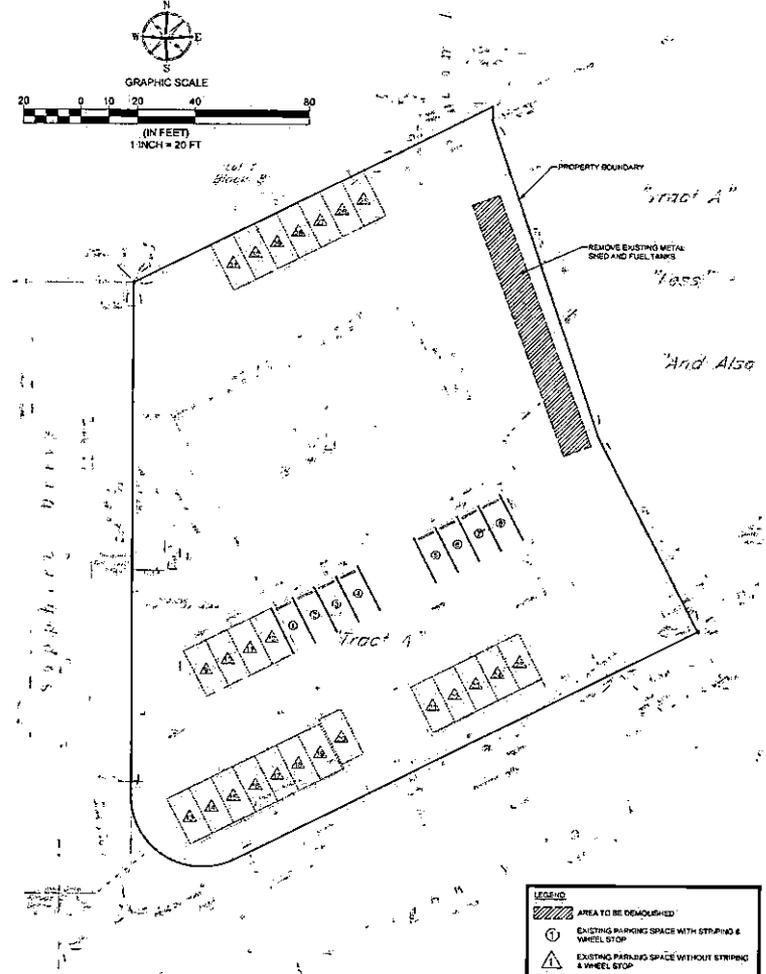


SCOPE OF WORK

BUILD A NEW 2 STORY ACCESSORY STRUCTURE TO BE USED AS ADDITIONAL STORAGE SPACE FOR THE EXISTING BUILDING.

INDEX OF DRAWINGS

SHEET	TITLE
C-1.0	COVER SHEET & EXISTING SITE PLAN
C-2.0	PROPOSED SITE PLAN
C-3.0	PROPOSED DRAINAGE PLAN
L-1.0	PROPOSED LANDSCAPE PLAN
A-1.0	ARCHITECTURAL FLOOR PLANS
A-1.1	ARCHITECTURAL ROOF PLAN
A-2.0	BUILDING ELEVATIONS
A-2.1	BUILDING ELEVATIONS



1 EXISTING SITE PLAN
SCALE: 1" = 20'



Alexander N. Fernandez, PE
5562 1st Avenue Unit 102
Key West, FL 33040
305-395-0521
alex@atlanticenglkeys.com

OFFICE SUPPLY STORAGE
FOR
FLORIDA KEYS ELECTRIC INC.
905 OVERSEAS HWY, BIG COPPITT KEY, FL

NO.	DATE	REVISIONS

This plan has been digitally signed and sealed. It is the responsibility of the professional engineer to ensure that the documents are not copied, modified, or altered and that the original documents are retained in any electronic copies.

Alexander N. Fernandez, PE
FL License No. 121252

COVER SHEET & EXISTING SITE PLAN

Sheet: C-1.0
Date: 11/13/2024

Attachment C

Florida Keys Electric – Big Coppitt Key

ITE Trip Generation Manual (11th Edition) Excerpts

Land Use: 180

Specialty Trade Contractor

Description

A specialty trade contractor is a business primarily involved in providing contract repairs and services to meet industrial or residential needs. This land use includes businesses that provide the following services: plumbing, heating and cooling, machine repair, electrical and mechanical repair, industrial supply, roofing, locksmith, weed and pest control, and cleaning.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 2010s in Texas.

Source Numbers

889, 890

Specialty Trade Contractor (180)

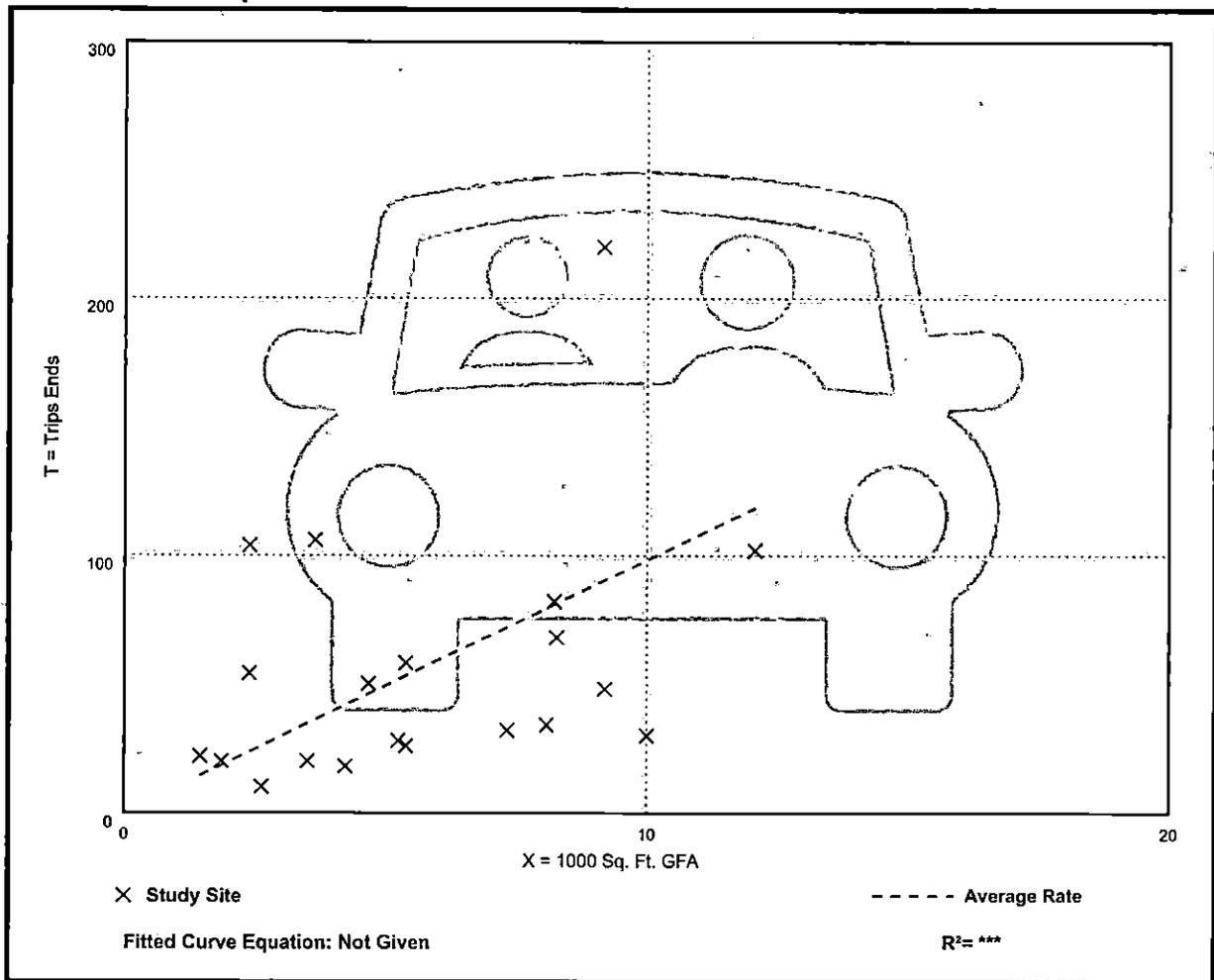
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 20
Avg. 1000 Sq. Ft. GFA: 6
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
9.82	3.00 - 43.33	8.56

Data Plot and Equation



Specialty Trade Contractor (180)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 20

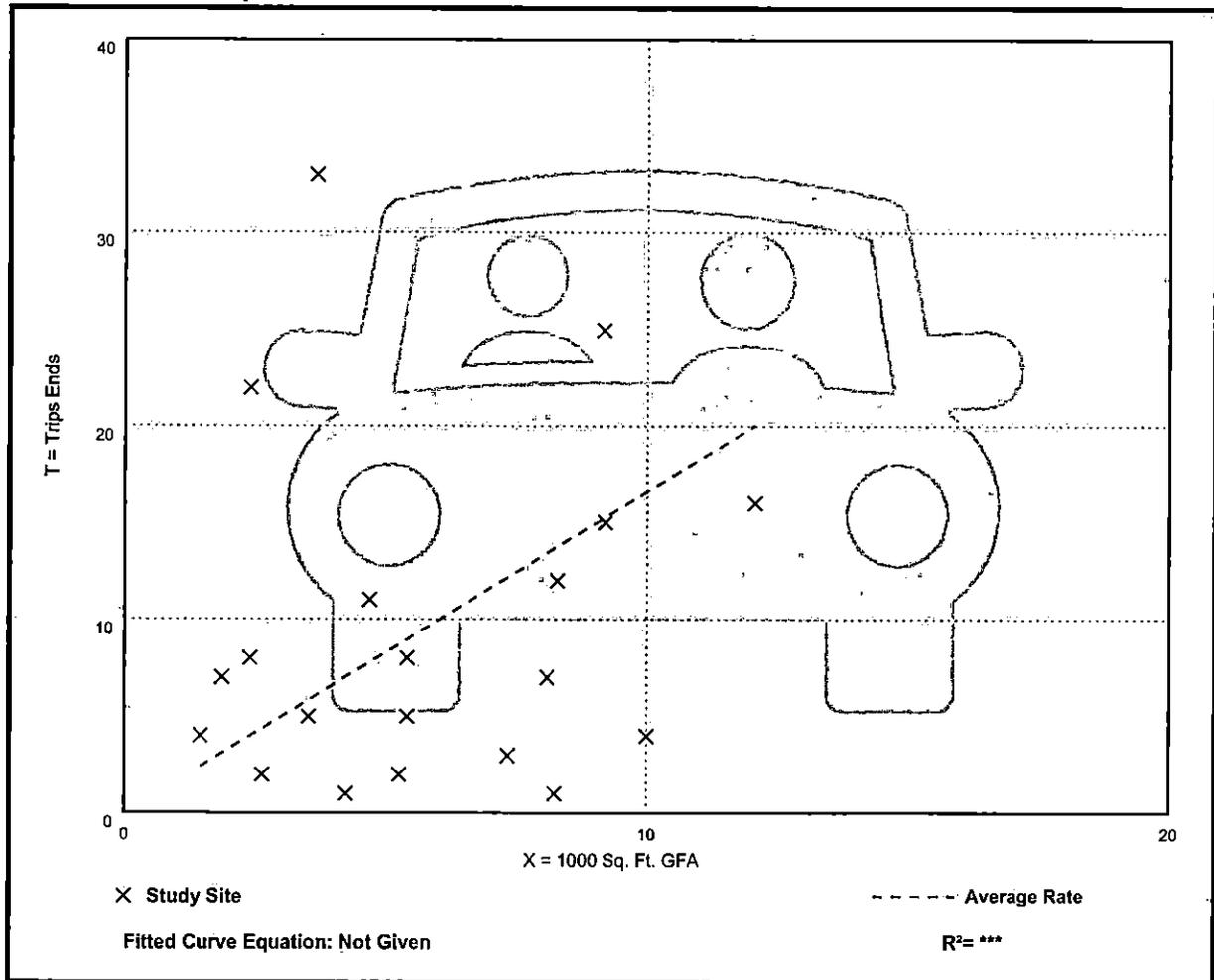
Avg. 1000 Sq. Ft. GFA: 6

Directional Distribution: 74% entering, 26% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.66	0.12 - 9.17	2.00

Data Plot and Equation



Specialty Trade Contractor (180)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 19

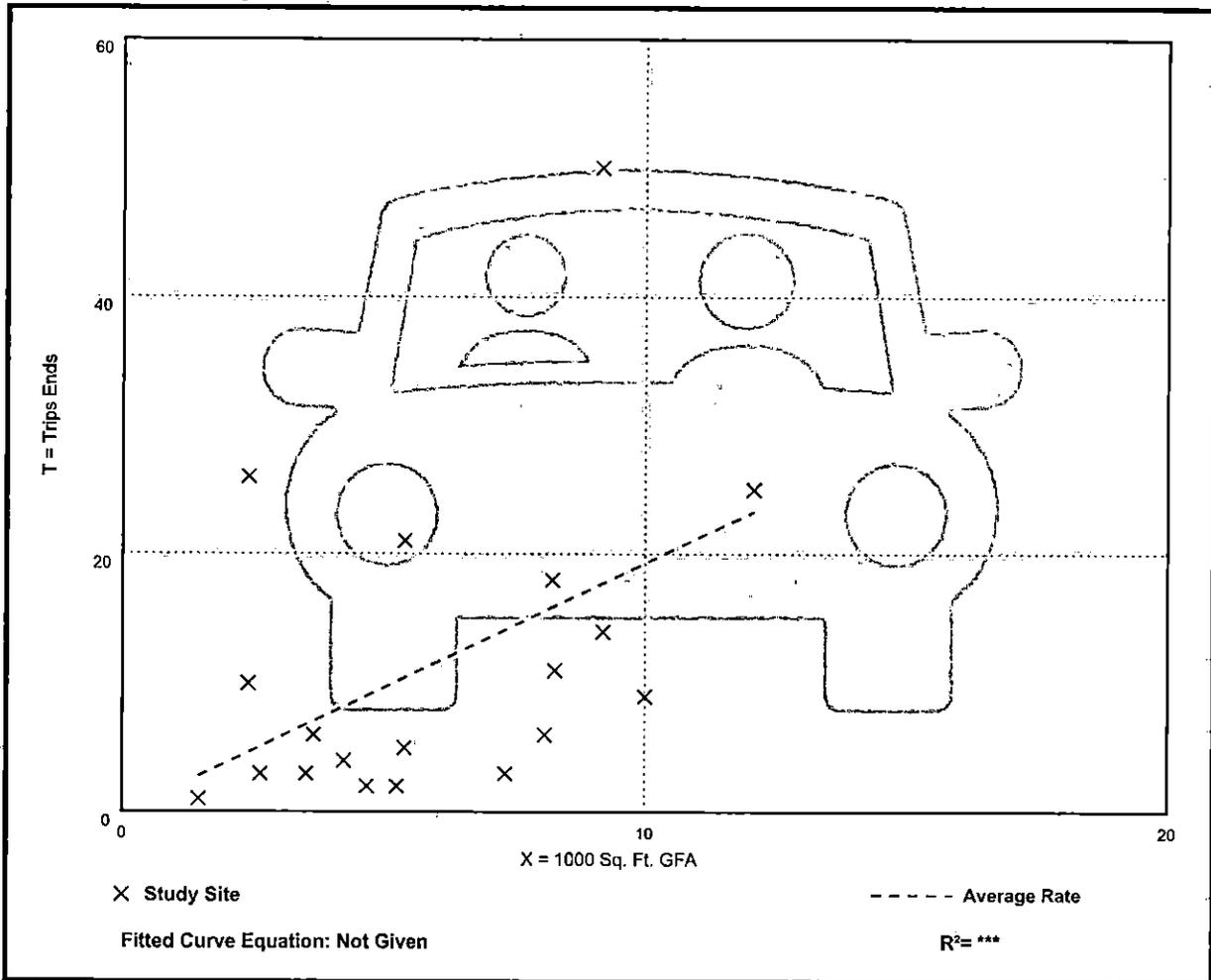
Avg. 1000 Sq. Ft. GFA: 6

Directional Distribution: 32% entering, 68% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.93	0.38 - 10.83	1.98

Data Plot and Equation



Attachment D

Florida Keys Electric – Big Coppitt Key

Monroe County Level of Service and Reserve Capacity Tables

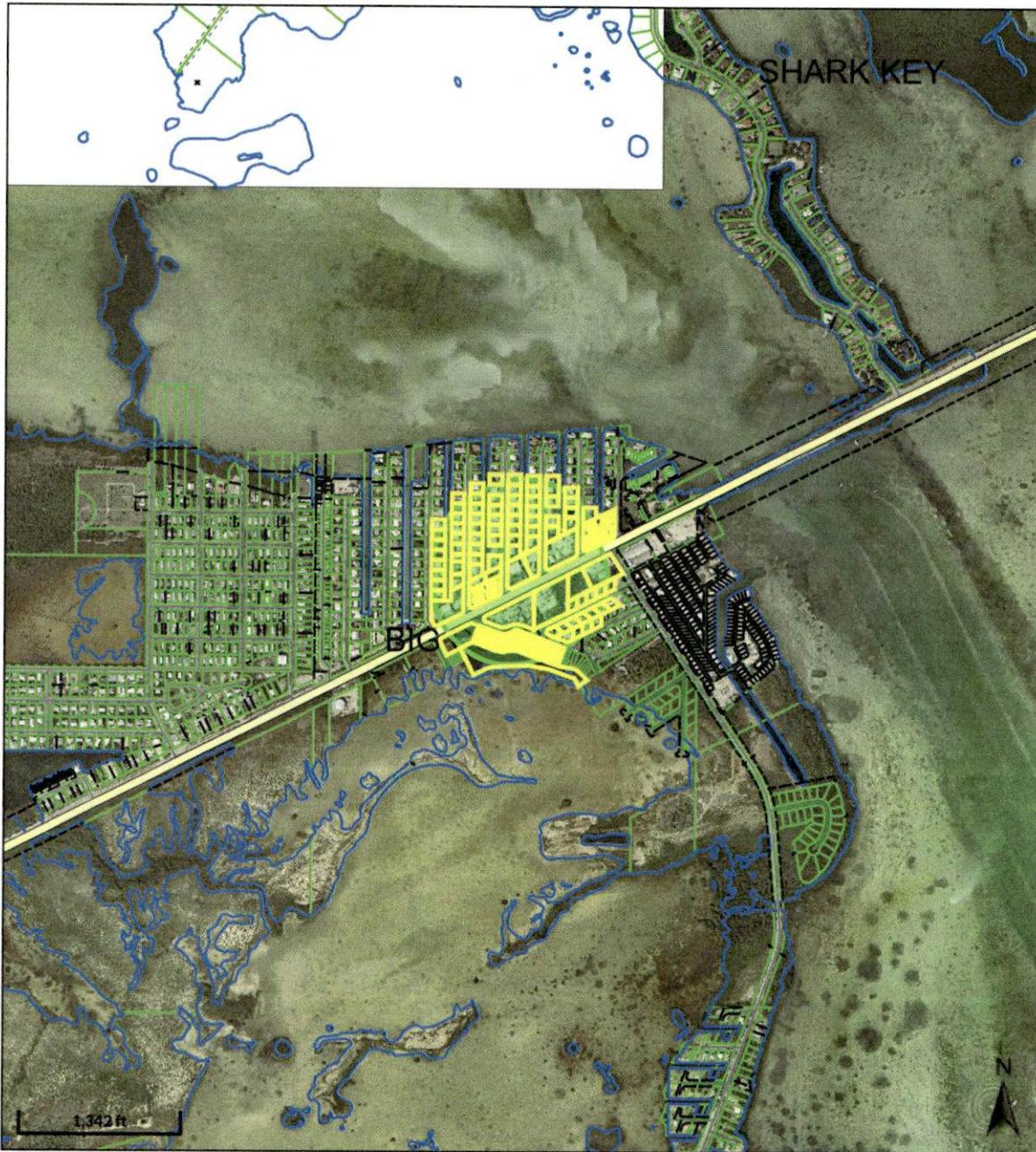
2021 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2021		2017
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)
1 Stock Island (4.0 - 5.0)	1.10	4-L/D	30/35/45	40.1	N/A	22.0	40.0	A	18.0	3,279	3,474	1,348
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	45/55	54.7	N/A	50.2	59.9	A	9.7	6,265	7,876	6,071
3 Big Coppitt (9.0- 10.5)	1.5	2-L/U	45/55	46.3	N/A	41.8	47.5	B	5.6	1,391	1,921	1,341
4 Saddlebunch (10.5- 16.5)	5.8	2-L/U	45/55	53.6	N/A	49.1	53.5	B	4.3	4,130	6,513	4,034
5 Sugarloaf (16.5- 20.5)	3.9	2-L/U	45	45.0	6.8	33.7	48.8	A	15.1	9,752	10,856	7,944
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	3,064	3,920	3,188
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	46.1	B	5.6	2,040	2,791	1,639
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	46.5	A	6.0	2,285	3,063	2,133
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	48.8	A	8.3	2,886	3,589	2,504
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	5.9	34.6	42.7	A	8.1	4,561	5,511	1,295
11 Bahia Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	54.8	A	6.9	7,998	10,730	6,723
12 7-Mile Bridge (40.0- 47.0)	6.8	2-L/U	45/55	54.4	N/A	49.9	53.2	B	3.3	3,716	6,508	3,603
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.5	N/A	22.0	39.6	A	17.6	21,276	22,590	19,221
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.6	2.1	48.0	51.4	C	3.4	3,603	6,183	3,286
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	53.2	C	2.7	1,207	2,344	1,252
16 Long (63.0- 73.0)	9.9	2-L/U	45/50/55	53.4	N/A	48.9	49.9	C	1.0	1,639	5,619	2,459
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	45/50/55	52.5	N/A	48.0	48.2	C	0.2	149	1,939	224
18 Tea Table (77.5- 79.5)	2.2	2-L/U	45	45.0	N/A	40.5	46.6	A	6.1	2,222	2,965	(692)
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45	45.0	N/A	40.5	35.3	E	-5.2	(3,531)	(2,187)	(883)
20 Windley (84.0- 86.0)	1.9	2-L/U	45	45.0	N/A	40.5	39.3	D	-1.2	(378)	271	157
21 Plantation (86.0- 91.5)	5.8	2-L/U	35/45	43.0	5.9	32.6	34.7	C	2.0	1,921	3,524	3,266
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.2	3.1	39.6	49.4	A	9.8	12,983	15,580	8,876
23 Key Largo (99.5- 106.0)	6.8	4-L/D	45	45.0	5.4	35.1	45.0	A	9.9	11,148	13,095	8,333
24 Cross (106.0- 112.5)	6.2	2-L/U	45/55	51.4	N/A	46.9	49.1	C	2.2	2,259	4,618	5,852
Overall	108.3					45.0	45.5	C	0.5	N/A		

Attachment E

Florida Keys Electric – Big Coppitt Key

Roadway Segment Analysis



Overview



Legend

-  Major Roads
-  Centerline
-  Easements
-  Hooks
-  Lot Lines
-  Road Center
-  Rights of Way
-  Shoreline
-  Condo Building
-  Key Names
-  Parcels

Date created: 1/28/2025
Last Data Uploaded: 1/28/2025 1:21:11 AM

Developed by  SCHNEIDER
GEOSPATIAL

	ParcelId	OwnerName	OwnerAddress1	OwnerAddress2	OwnerAddress3	OwnerCityStZip	Country
1	00154650-000000	15 DOLPHIN ROAD LLC	1101 17th St			Key West, FL 33040	
2	00155820-000300	AGUILAR NATALIE ANN	3 Opal Dr			Key West, FL 33040	
3	00156510-000000	ANDERSON ERIC MICHAEL	308 Avenue A			Key West, FL 33040	
4	00154730-000000	ARNOLD DORIS	23 Flipper Rd			Key West, FL 33040	
5	00154640-000000	ARNOLD DORIS R	23 Flipper Rd			Key West, FL 33040	
6	00155740-000000	ATTIS CATHERINE M	1279 SW 4th Ter			Pompano Beach, FL 33060	
7	00156220-000000	AUSTIN DAVID R	4 Emerald Dr			Key West, FL 33040	
8	00156320-000270	BACON CEASHA GARDNER	825 Overseas Hwy	Unit 7		Key West, FL 33040	
9	00156451-000000	BATTILLO JOHN V AND CHIANG FONG LIVING TRUST 03/17/2008	4110 Domain Ct			Melbourne, FL 32934	
10	00156310-000100	BELLA CONSTRUCTION OF KEY WEST INC	35 Diamond Dr			Key West, FL 33040	
11	00154620-000000	BERTUCCI RAMON	12 Dolphin Rd			Key West, FL 33040	
12	00155820-000100	BONTO ARLENE C	1 Opal Dr			Key West, FL 33040	
13	00156210-000000	BORTNER BENJAMIN LIVING TRUST 03/11/2024	C/O BENJAMIN BORTNER TRUSTEE	3 Emerald Dr		Key West, FL 33040	
14	00155410-000000	BOT TIIF	C/O DEP DIVISION OF STATE LANDS	3900 Commonwealth Blvd Mail Station 108		Tallahassee, FL 32399	
15	00155940-000000	BRAUCH CHARLOTTE ANNYCE	408 River Bank Ln			Granbury, TX 76049	
16	00155700-000000	BUDDE BERT J	17 Aquamarine Dr			Key West, FL 33040	
17	00156320-000230	CABRERA NESTOR	825 Overseas Hwy	Unit 3		Key West, FL 33040	
18	00154630-000000	CARABALLO JR DANNY	13 Dolphin Rd			Key West, FL 33040	
19	00156480-000000	CASTRO EDGUIN	1 Tamarind Dr			Key West, FL 33040	
20	00155720-000000	CHARITY JENNIFER ANNE	2 Diamond Dr			Key West, FL 33040	
21	00154880-000000	CIRCLE K PROPERTIES INC	PO Box 52085			Phoenix, AZ 85072	
22	00154890-000000	CIRCLE K STORES INC	C/O PROPERTY TAX DPT	PO Box 52085 Dc- 17		Phoenix, AZ 85072	
23	00156020-000000	DIAZ EDUARDO	7 Sapphire Dr			Key West, FL 33040	
24	00156320-000300	DIAZ LAZARO	825 Overseas Hwy	Unit 10		Key West, FL 33040	
25	00154710-000000	FARKAS BEVERLY M	5 Bamboo Ter			Key West, FL 33040	
26	00156320-000280	FERRELL JUSTIN T	825 Overseas Hwy	Unit 8		Key West, FL 33040	
27	00155830-000000	FLORIDA KEYS MOSQUITO CONTROL DISTRICT	18 Aquamarine Dr			Key West, FL 33040	
28	00154870-000000	G AND L ENTERPRISES OF THE FLORIDA KEYS 1	5216 Overseas Hwy			Key West, FL 33040	
29	00154720-000000	GONZALEZ JR ROBERT	26 F Cross St			Key West, FL 33040	
30	00156540-000000	GUERRY JULIETA R	PO Box 75			Key West, FL 33041	
31	00156320-000260	HABITAT FOR HUMANITY OF KEY WEST AND THE LOWER FLORID.	825 Overseas Hwy	Unit 6		Key West, FL 33040	
32	00155820-000000	HABITAT FOR HUMANITY OF KW AND LOW FLA KEYS INC	PO Box 5873			Key West, FL 33045	
33	00154700-000000	HAMEZA VIKTORIA	20 Flipper Rd			Key West, FL 33040	
34	00156440-000000	HARDMAN HEATHER LYNN	22 Emerald Dr			Key West, FL 33040	
35	00156490-000000	HEDRICK-WALKER JENA LEIGH	2 Tamarind Dr			Key West, FL 33040	
36	00155920-000000	HEIMANN TINA M	16 Dlamond Dr			Key West, FL 33040	
37	00156320-000240	HERNANDEZ REINALDO M CANIZARES	825 Overseas Hwy	Unit 4		Key West, FL 33040	
38	00156000-000000	HILLER EDWARD	5 Sapphire Dr			Key West, FL 33040	
39	00156390-000000	HILLMANN DAWNA M	281 SW Hatteras Ct			Palm City, FL 34990	
40	00156120-000000	HORNE DEBRA E	17 Sapphire Dr			Key West, FL 33040	
41	00156100-000000	HUBBELL CAROL ANN	15 Sapphire Dr			Key West, FL 33040	
42	00154610-000000	ISAACSON MAX	318 Cypress St	Apt A		Alameda, CA 94501	
43	00156320-000101	ISLAND WEST INVESTMENT CORPORATION	1213 14th St			Key West, FL 33040	
44	00155540-000000	KARCHER DANNY L AND DORIS D JOINT LIVING TRUST 10/22/220	2360 Seton Ln			Largo, FL 33774	
45	00156320-000100	KW EMERALD LLC	8191 N Tamiami Trl	Ste 175		Sarasota, FL 34243	
46	00155680-000000	LEOPARD LARRY	15 Aquamarine Dr			Key West, FL 33040	
47	00156270-000000	LEX-DEN INVESTMENTS LLC	5225 SW 122nd Ave			Miami, FL 33175	
48	00156420-000000	LOPEZ RAMOS HECTOR ROGELIO	20 Emerald Dr			Key West, FL 33040	
49	00154600-000000	LOVE SUSAN E IRREVOCABLE TRUST 02/28/2022	C/O CHRISTOPHER C KEY TRUSTEE	2447 Weigl Rd		Saginaw, MI 48609	
50	00155710-000000	LOWE-WATLER MEYLAN THERESA	PO Box 5325			Key West, FL 33045	
51	00156320-000210	LYONS MARLON C	825 Overseas Hwy	Unit 1		Key West, FL 33040	
52	00156130-000000	MASON DENISE R	18 Sapphire Dr			Key West, FL 33040	
53	00156010-000000	MCCARTY JOHN F	6 Sapphire Dr			Key West, FL 33040	
54	00156450-000000	MCLAUGHLIN THOMAS R	24 Emerald Dr			Key West, FL 33040	
55	00156430-000000	MILLER ADELITA T	2 Emerald Dr			Key West, FL 33040	

56	00156320-000200	MONROE COUNTY	1100 Simonton St	Ste 205	Key West, FL 33040
57	00155820-001600	MULLEN NICHELLE S	16 Opal Dr		Key West, FL 33040
58	00155930-000000	NEILSON DANIEL M	1330 Duncan St		Key West, FL 33040
59	00156190-000000	NGUYEN TUYEN	30 Emerald Dr		Key West, FL 33040
60	00156320-000220	NIEVES GABRIEL	825 Overseas Hwy	Unit 2	Key West, FL 33040
61	00155691-000400	NORTH CAROLINA PROPERTIES I LLC	195 Pine Ln		Whiteville, NC 28472
62	00154530-000000	OCONNELL TIFFANY M SILVERS	3 Dolphin Rd		Key West, FL 33040
63	00155691-000100	OHMAN ERIC	4 Gibb Ln		Islip, NY 11751
64	00155820-001700	OWENS MARISSA L	17 Opal Dr		Key West, FL 33040
65	00155190-000000	PALMHURST LLC	5002 N Bay Rd		Miami Beach, FL 33140
66	00155670-000000	PAOLUCCI ANTHONY O	14 Aquamarine Dr		Key West, FL 33040
67	00155820-001500	PATRICK JUDY ANN	15 Opal Dr		Key West, FL 33040
68	00155750-000000	PERRY JACOB E	5 Diamond Dr		Key West, FL 33040
69	00155990-000000	PHELPS JAMES LIVING TRUST 07/25/2024	C/O JAMES PHELPS CO-TRUSTEE	4 Sapphire Dr	Key West, FL 33040
70	00156150-000000	PIENCZYKOWSKI DANIEL	20 Sapphire Dr		Key West, FL 33040
71	00154540-000000	PIERCE DAVID M	4 Dolphin Rd		Key West, FL 33040
72	00156500-000000	PIKE JEANETTE M	3 Tamarind Dr		Key West, FL 33040
73	00154560-000000	RAINS PENNY LYNN	235 Geiger Rd		Key West, FL 33040
74	00156250-000000	REINKEMEYER STEVEN	7 Emerald Dr		Key West, FL 33040
75	00155890-000000	RINEER FREDERICK B	13 Diamond Dr		Key West, FL 33040
76	00156520-000000	ROBINSON SUSAN PATRICIA ANN	1514 Duncan St		Key West, FL 33040
77	00156030-000000	ROSTRON PENNY A	2500 Tiltons Corner Rd		Wall Township, NJ 07719
78	00156550-000000	ROTH PRODUCTION TRUST 7/27/2021	8 Tamarind Dr		Key West, FL 33040
79	00155910-000000	SAUNDERS WILLIAM	15 Diamond Dr		Key West, FL 33040
80	00156400-000000	SCAGLIONE JANICE	7508 Hawks Landing Dr		West Palm Beach, FL 33412
81	00155950-000000	SCHMITT THOMAS C REVOCABLE TRUST OF 2004	3951 Vista Moraine Dr		Hubertus, WI 53033
82	00156320-000290	SIMMONS QUASHANTI N	825 Overseas Hwy	Unit 9	Key West, FL 33040
83	00156180-000000	SIMONS MEGAN J	1113 17th Ter		Key West, FL 33040
84	00156320-000250	SONZOGNI GINA MARIE	825 Overseas Hwy	Unit 5	Key West, FL 33040
85	00154590-000000	STOCK ISLAND REALTY LLC	3930 S Roosevelt Blvd	N307	Key West, FL 33040
86	00156260-000000	STROBLE SAMARNG	8 Emerald Dr		Key West, FL 33040
87	00154520-000000	SWEETING FRANCENA AIMEE	62 Lobstertail Rd		Big Pine Key, FL 33043
88	00156410-000000	TABAG ERLINDA S	19 Emerald Dr		Key West, FL 33040
89	00156140-000000	TABAG LUCIA S	19 Sapphire Dr		Key West, FL 33040
90	00155820-001400	TEATE LORI ANNE	14 Opal Dr		Key West, FL 33040
91	00156200-000000	TINAYA LUZ S	2 Emerald Dr		Key West, FL 33040
92	00156470-000000	TROSSET III ROBERT F	23 Cactus Dr		Key West, FL 33040
93	00156230-000000	TURNER CARLA	5 Emerald Dr		Key West, FL 33040
94	00120980-000000	UTILITY BOARD OF THE CITY OF KEY WEST	1001 James St		Key West, FL 33040
95	00155820-000200	VALEUS GERMAIN	2 Opal Dr		Key West, FL 33040
96	00156160-000000	VAN LOON ANGELA W	21 Sapphire Dr		Key West, FL 33040
97	00154550-000000	VAUGHN HARRIETTE G	5 Dolphin Rd		Key West, FL 33040
98	00155980-000000	VEACH CHARLES	3 Sapphire Dr		Key West, FL 33040
99	00155970-000000	WELSH JOHN J	2 Sapphire Dr		Key West, FL 33040
100	00155960-000000	WELSH JOHN J REV LIVING TRUST 1/10/2017	2 Sapphire Dr		Key West, FL 33040
101	00155900-000000	WERNER KAREN DARLENE	14 Diamond Dr		Key West, FL 33040
102	00155820-001800	WHITE ABIGAIL SUSANNA	18 Opal Dr		Key West, FL 33040



(305) 295-1000
1001 James Street
PO Box 6100
Key West, FL 33040-6100
www.KeysEnergy.com

UTILITY BOARD OF THE CITY OF KEY WEST

December 17, 2024

Florida Keys Electric Inc
905 Overseas Hwy
Key West, FL 33040

RE: 905 Overseas Hwy, Key West, Florida, 33040

Dear Mr. Vazquez:

This is to acknowledge that the above-mentioned party has begun a coordination process with Keys Energy Services (KEYS).

KEYS' Engineering Section requests that they be provided with a full set of plans and a Project Review Form (separate form for each new meter) for the referenced project.

These plans are necessary for us to ensure that there is adequate service for your project, as well as our existing, surrounding customers.

Please return the full set of plans and the Project Review Form to one of our Customer Programs Representatives.

Should you have any questions, please contact me at (305) 295-1080.

Sincerely,

Milagros Gartenmayer
Customer Programs Representative

MG/mc

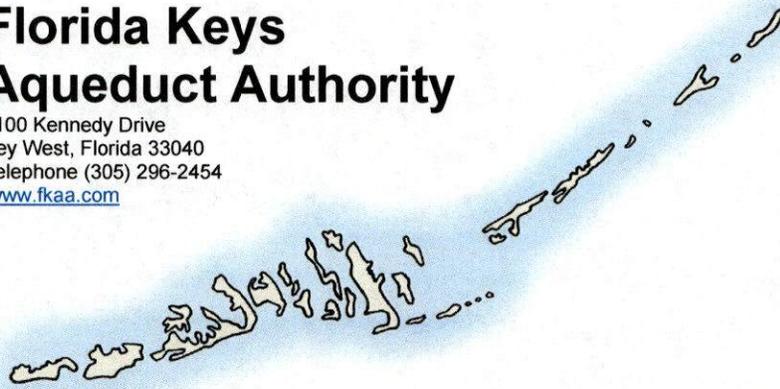
c:

M. Alfonso, Supervisor of Engineering



Florida Keys Aqueduct Authority

1100 Kennedy Drive
Key West, Florida 33040
Telephone (305) 296-2454
www.fkaa.com



J. Robert Dean
Chairman
District 3

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Vice-Chairman
District 2

Antoinette M. Appell
Secretary/Treasurer
District 4

Nicholas W. Mulick
District 5

Cara Higgins
District 1

Gregory W. Veliz
Executive Director

December 20, 2024

Florida Keys Electric
905 Overseas Hwy.
Big Coppitt Key, Florida 33040

RE: Office Supply Storage for Florida Keys Electric
905 Overseas Hwy, Big Coppitt Key
RE#: 00156310-000000
FKAA Account number: 539210-021858

To Florida Keys Electric,

This letter will serve as preliminary coordination of the above referenced project with the Florida Keys Aqueduct Authority.

There is an existing 4" water main adjacent to this property on Sapphire Road and an existing 12" water main on Overseas Highway. There is an existing 5/8" water meter and reclaimed water meter currently serving this property.

There is an existing 8-inch gravity wastewater main on Sapphire Road and this property is currently connected to the existing wastewater system.

A set of Civil and Architectural plans dated 12-13-24 has been reviewed. The floor plans are labeled "Supplies Stocking Area" and no plumbing fixtures are indicated. These plans show no additional impact to the existing water and wastewater system.

Should you have any questions or require any further information please feel free to call me.

Sincerely,
Florida Keys Aqueduct Authority

Kimberly Judge
Digitally signed by Kimberly
Judge
Date: 2024.12.20 09:01:11 -05'00'

Kimberly Judge
Utility Design Supervisor

CC Anna Fernandez, Customer Service Manager - Tavernier
Yusi Bonachea, Customer Service Manager - Marathon
Danielle Mendez, Customer Service Manager - Key West

County of Monroe
The Florida Keys



BOARD OF COUNTY COMMISSIONERS

Mayor James K. Scholl, District 3
Mayor *Pro Tem* Michelle Lincoln, District 2
Craig Cates, District 1
David Rice, District 4
Holly Merrill Raschein, District 5

January 27, 2025

Attn: Jess Goodall
Smith/Hawks
138 Simonton St.
Key West FL. 33040

Ref.: 905 Overseas Highway, Big Coppitt Key, Florida

Owners: Florida Keys Electric
905 Overseas Highway
Key West, FL. 33040

Parcel ID: 00156310-000000

Alk: 1201731

Dear Mr. Goodall,

After review of the proposed site plan for 905 Overseas Hwy., Big Coppitt, which you submitted for a Minor Conditional Use Approval, I find there is sufficient placement and designation for municipal solid waste receptacles for the above referenced property.

While recycling is not mandatory, it is strongly encouraged throughout residential and business properties. Providing a recycling container allows for assistance in protecting our planet and becomes part of the solution in reducing the carbon footprint. If additional information is needed on, how to set-up recycling for this property, please contact this office for the Recycling Coordinator and Outreach for assistance, Melody Tuschel, at 305-509-0325.

Sincerely,

Cheryl Sullivan

Cheryl Sullivan, Director of Solid Waste Management
Monroe County, Florida

County of Monroe
The Florida Keys



**OFFICE OF THE
FIRE MARSHAL**
7280 Overseas Hwy
Marathon, FL 33050
Phone: (305) 289-6020

January 24, 2025

Jess Goodall
Smith Hawks
138 Simonton Street,
Key West, FL 33040

Sent Via Email

**RE: Letter of Coordination, Minor Conditional Use Application
905 Overseas Hwy, Big Coppitt Key**

Dear Ms. Goodall,

This letter of coordination is being provided to confirm that the Fire Marshal's Office has reviewed the submittal for the proposed development of parcel nos. 00156310-000000, at 905 Overseas Hwy, Big Coppitt.

The following will summarize preliminary fire department requirements:

- Submittal shall provide a "Determination of Needed Fire Flow" report for each structure following guidance from ISO: <https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf>
- Plans shall identify water supply for fire suppression which is a requirement of the Florida Fire Prevention Code, current edition. This includes coordination with the Florida Keys Aqueduct Authority for planning and design of all related systems, including but not limited to fire lines, fire hydrants, fire pumps, and fire suppression systems.
- Submittal shall include plan sufficient for and/or identification of fire hydrant(s) and/or fire well(s) in accordance with the needed fire flows.
- Plans for the structure shall identify fire sprinkler system(s). If applicable, storage and parking underneath the structure shall be included in the fire sprinkler system coverage. Note that permits for this system shall be submitted separately by an appropriately licensed contractor. Design criteria shall meet the requirements of NFPA 13, 14, 24, and 25, as well as any applicable requirements identified by the Fire Marshal's Office.
- Plans for the structure shall identify fire alarm system(s). Systems must meet the applicable criteria per NFPA 72, for the occupancy type, as well as any applicable requirements identified by the Fire Marshal's Office, following submittal of full plans. Note that permits for this system shall be submitted separately by an appropriately licensed contractor.
- Plans shall meet the requirements provided in Chapter 18, Fire Department Access and Water Supplies, NFPA 1. This includes the access roads, parking and turnaround requirements. Please show all dimensions and line of sight information from Overseas Highway.
- Plans shall identify the marked fire lanes. Please distinguish fire lane(s) from loading zones.
- Plans for each structure must include a Life Safety Plan, with square footage, type of construction, occupant load, etc. For the restaurant area, please identify seating inside and outside, as applicable.
- In accordance with Chapter 15, NFPA 1, please note that new development and redevelopment projects may be required to provide a Fire Department Service Delivery Concurrency Evaluation at the expense of the developer, including the cost of a third-party evaluator (See attached).

- Plans shall list references for all applicable Fire and Life Safety Codes, and Standards used for design. As a minimum, the Design criteria shall comply with the Florida Fire Prevention Code, 8th edition, 2023, effective December 31, 2023, consisting of NFPA 1, NFPA 101, F.S. 633 and F.A.C. Chapter 69A.

The attachment provides the fire department construction related requirements for your review. Please note, this review and comments are preliminary in nature and additional conditions may be required upon submittal of the project for permitting.

The Fire Marshal's Office is committed to a fire prevention program that places a high priority on the welfare and safety of the public while minimizing potential fire and life safety hazards. This office welcomes questions or meetings to assist your team in completing plans for the project. We look forward to working with you.

If you have any questions or require further information, please do not hesitate to call me at the Fire Marshal's Office (305) 289-6020.

Sincerely,



Division Chief Craig Marston, M.A.
Fire Marshal

Attachment

c: Ilze Aguila, Planning Commission Supervisor



Construction Related Fire Department Requirements

The following are the requirements that the Fire Marshal's Office (FMO) will review during plans examination and inspections. All documents, such as permits, reports and revisions referenced herein must be submitted **through** the Building Department. *Please note that private inspection providers are not authorized to perform inspections for fire department requirements.* This document is intended to facilitate the permitting process however is not meant to include every requirement necessary. Additional conditions may be required.

General / Site Plan.

1. Site Plan shall clearly identify the location of the project within the parcel and adjacent roadways.
2. Site Plan shall identify ingress/egress locations, measurements, and protective measures during construction.
3. All construction plans shall identify water supply for fire suppression which is a requirement of the Florida Fire Prevention Code, current edition. This includes coordination with the Florida Keys Aqueduct Authority for planning and design of all related systems, including but not limited to fire lines, fire hydrants, fire pumps, and fire suppression systems.
4. Site plan must contain and clearly show the locations for all hydrant(s), arterial mains, feeder mains and stub out main sizes, including point of service from FCAA source.
5. Provide reference to current edition of NFPA 241 and Chapter 16 NFPA 1, Standard for Safeguarding Construction, Alteration and Demolition Operations, which shall be maintained for duration of work.
6. No vertical construction or storage of combustible material on site shall be permitted until fire hydrants (fire wells) are installed, inspected, flow tested, and approved for service by the Fire Marshal's office.
Note: Slabs can be poured, non-combustible walls can be erected, no combustible framing or roof assemblies may be on site.
7. Fire hydrants shall have proper clearances provided and maintained in accordance with Chapter 18, NFPA 1, and guidelines provided by the Fire Marshal's office. No poles, signs or other obstructions shall be in this clear space.
8. An in-service hydrant is defined as cleared through letter by the Florida Keys Aqueduct Authority (FCAA) and the Florida Department of Environmental Protection (FDEP). After obtaining the DEP clearance all hydrants shall be flow tested. This will be done by a licensed sprinkler or underground contractor, with certified test results being provided to the Monroe County Fire Marshal's office. Hydrants shall be flowed and plotted on a graph certifying the flow meets ISO (Insurance Services Office) flow calculations @ 20psi. Hydrants shall be painted in accordance with NFPA 291, providing proper bonnet and cap colors for the hydrant flow @ 20psi. A blue reflector shall also be provided in the center of the traffic lane closest to the hydrant. A Deputy Fire Marshal will provide a site inspection to verify the flows and accept the system before combustible material is brought on site. This inspection must be scheduled through the Building Department.
9. Plans shall instruct Contractor to call-in required inspections for the water line, including the Fire Marshal's Office for inspections related to the fire suppression system and fire hydrants.
10. Any structure greater than 75 ft above the lowest level of fire department vehicle access, will have an easily accessible and identifiable fire department connection "FDC" leading to a dry standpipe in a stairwell at 1 floor level below the highest working floor.
11. Prior to final approval of construction, it is the responsibility of the property owner or their designee to ensure 99% radio/cellular communication capabilities for all fire and police personnel in accordance



- with NFPA 72 paragraph 24.5.2* Two-Way Radio Communications Enhancement Systems. If a failure occurs, a radio/cellular enhancement system will need to be installed.
12. Access shall be provided to fire crews for site and building construction familiarization (new buildings).
 13. Separate Permits are required for Fire Sprinkler, Fire Alarm, and Fire Extinguishing Systems. Engineered plans (if required), shall be included in the "SEPARATE" permit application documents.
 14. Upon completion of all underground site work, the site should have 360-degree accessibility for emergency apparatus.

Building Design Criteria for New Construction.

1. Identify all applicable Fire and Life Safety Codes and Standards used for design. As a minimum, the Design criteria shall comply with the Florida Fire Prevention Code (FFPC) 8th edition effective December 31, 2023, consisting of NFPA 1, NFPA 101, F.S. 633, & F.A.C. Chapter 69A.
2. For New Construction provide a Life Safety Plan to include the following:
 - a. Identify the Type of Construction.
 - b. Occupancy classification and Occupant load calculations for each Occupancy Type
 - c. Total square footage information.
 - d. Common paths of travel and distances in LF to exits.
 - e. Corridor widths.
 - f. Identify door widths.
 - g. Locations and type of Fire extinguisher(s) with attachment details, in compliance with NFPA 10, including but not necessarily limited to each residential cooking area.
 - h. Locations for Emergency lighting and illuminated exit signage. * (*May be on the lighting/reflective ceiling plan or the LSP, but if on both, plans must be identical.)
3. Provide address numbers placed in a position to be plainly legible and visible from the street or road fronting the property. Additionally, address numbers shall contrast with their background, in accordance with NFPA 1, 10.11.
4. Provide Wall Types (including its joint assemblies) any shafts and chases shown referenced to detailed drawings on plans, UL or equivalent design details.
5. Identify and include the minimum fire resistance of walls, partitions, and opening protectives. Clearly identify fire resistance separations of Structure members and/or Compartmentation of living spaces.
6. Provide fire stopping details and identify required fire resistance rating for each penetration type (To be inspected on "Rough Fire Inspection – 800"). *Note: If Rough inspection is not called in by Contractor, and this inspection is not performed by the Fire Marshal's Office, Contractor shall be responsible for removing any work covering fire stopping, etc. for the inspection to be completed.*
7. Provide fire stopping details and identify required fire resistance rating between occupancies.
8. Provide a complete Interior finish schedule including wall coverings, floor finishes, furnishings and draperies. Identify and include the minimum interior finish classification(s).
9. Provide Exit access, exit, and exit discharge information that complies with Chapter 7 of NFPA 101.
10. Provide Exit illumination that complies with Chapter 7 of NFPA 101.
11. Provide Emergency lighting and exit signs that comply with Chapter 7 of NFPA 101.
12. Each required exit has to be equipped with exit sign/emergency light combo fixture.
13. Provide Exit corridors that comply with Chapters 7 and 8 of NFPA 101.
14. Provide Stairs with sufficient details including all dimensions such as width, headroom, rise, run, etc. to ensure compliance with Chapter 7 of NFPA 101.
15. Provide Handrail and guard detail including all dimensions-extension, rejections, height, etc.
16. Provide Ramp Detail including all dimensions, show slope in ratio, etc.
17. Provide Doors, locks, latches, and alarm devices with sufficient details such as rating, hardware, width, assembly, etc. on schedule to ensure compliance with Chapter 7 of NFPA 101.



18. Provide a complete Window Schedule including all dimensions, identify egress windows, clear widths, sill height above finished floors, etc.
19. Occupant load and classification shall comply with Chapter 7 of NFPA 101.
20. Accessible means of egress shall comply with Chapter 7 of NFPA 101.
21. If Mechanical Plans, the proper location of Duct Detectors in the supply & return for systems greater than 2000 CFM or 60,000 BTUs and their respective test switches.
22. If Mechanical Plans in a non-sprinklered/non-fire alarm building, the proper location of their respective test switches AND the location of each "Smoke" indicator.
23. If Electrical Plans, the panel schedule needs to indicate which breaker is for the Emergency Lighting and which breaker is for the Fire Alarm Control Panel "FACP" in an alarmed structure. The Fire Alarm breaker must be locked. Note: Only Fire Alarm Contractor shall install the Fire Alarm Detection System.
24. If Lighting Plans, the location of all illuminated exit signs and emergency lighting must be identical to the LSP.
25. Plans shall identify any hazardous materials to be stored, including type, storage and handling and quantities.
26. Plans for storage facilities shall identify materials to be stored with related quantities and provide the hazard classification types.
27. Identify whether or not the building will contain a fire sprinkler or fire alarm system.
28. Any Fire System related work shall require a "SEPARATE" permit from the specific trade performing the work.

Fire Department Access.

1. Design shall meet the requirements provided in Chapter 18 Fire Department Access and Water Supplies, NFPA 1.
2. Note on plans that "Emergency Access for Fire Apparatus, Emergency Medical Vehicles and Water Supplies shall be maintained unobstructed at all times."
3. Ingress/Egress shall provide inside turning radius of 25 ft. clear and an outside turning radius of 50 ft. clear.
4. The plan for Ingress/Egress for Fire Department Access roads shall have an unobstructed width of not less than 20 ft., an unobstructed vertical clearance of not less than 13 ft., 6 in., and be designed and maintained to support imposed loads of fire apparatus (44 tons which includes Fire Apparatus and EMS Rescue Vehicles), all clearly shown on the plan, and shall be provided with an all-weather driving surface. (NFPA 1 Chapter 18 & NFPA 241 Chapter 7).
5. There shall be no parking on both sides of the street.
6. An approved turnaround for fire apparatus shall be provided where an access road is a dead-end and is in excess of 150 feet. The turnaround shall have a minimum centerline radius of 50 ft. The grade, surface and location of the fire lane shall be approved by the Fire Marshal's Office.
7. A Tee or Y turnaround may be accepted, upon review by the Fire Marshal's Office. See Exhibit A for example.
8. Secondary paved access or an emergency vehicle access to this site may be required or necessary, Per NFPA 1 Chapter 18, upon review by the Fire Marshal's Office.
9. Provide Automatic access at points of ingress and egress to be activated by "Electronic Siren Welp and Wail Modes" (for gated businesses/developments/communities).
10. Provide for Knox Box, with notation to coordinate installation with Monroe County Fire Marshal's Office. The Knox Box for new buildings shall be mounted and have the following placed inside of the box:
 - a. Keys to the following:
 - 1) Main entrance.
 - 2) All mechanical and electrical rooms.



- 3) Emergency elevator operations (2 keys).
 - 4) Fire alarm panel.
 - 5) Pull stations.
 - b. Business card of 24/7 emergency point of contact.
11. Plans for gated developments, subdivisions, etc., require compliance with NFPA 1, Section 18.2.2.2 related to fire department access. The department does not specify any particular product other than the following: "Remote activation by operation of electronic siren - wail or yelp."
 12. Fire Lanes: Required fire lanes shall be provided. Such lanes shall have a surface designed to accommodate fire apparatus with a minimum weight of 41 tons.
 13. Fire lanes shall be marked with freestanding signs with the wording, "**NO PARKING FIRE LANE**" or similar wording. Such signs shall be 12 inches by 18 inches with a white background and red letters and shall be a maximum of seven feet in height from the roadway to the bottom part of the sign. The signs shall be within sight of the traffic flow and be a maximum of 60 feet part.
 14. Access to building: A fire department access road shall extend to **within 50 feet** (15 meters) of a single exterior door providing access to the interior of the building.
 15. Additional requirements: Fire department access roads shall be provided such that any portion of the facility or any portion of an exterior wall of the first story of the building is located not more than 150 feet (46 meters) from fire department access roads as measured by an approved route around the exterior of the building or facility.
 16. Multiple Access Roads: More than one fire department access road shall be provided when it is determined by the AHJ that access by a single road could be impaired by vehicle congestion, condition of terrain, climatic conditions, or other factors that could limit access.

Docks, Marinas and Boat Slips.

1. Plan submittals shall confirm with all applicable standards for construction and operation of marinas, boatyards, yacht clubs, boat condominiums, docking facilities associated with residential condominiums, multiple-docking facilities at multiple-family residences, and all associated piers, docks, and floats as identified in NFPA 303, most recent edition.
2. Plans shall also identify any hazardous materials to be stored, including type, storage and handling and associated quantities.

Water Supply for Fire Suppression. The following water supply design requirements, references and notations shall be provided on the Plans:

1. Provide the "Determination of Needed Fire Flow" Calculations/Report which will identify the water supply required for fire suppression for each building, including the fire sprinkler system, with the building Plans Permit submittal. These Calculations/Report may be provided directly on the plans or submitted separately with a reference on Plans to this Report. Separate reports, etc. must be submitted through the Building Department. Guidance to prepare these "Calculations/Report" may be found in NFPA 1, Chapter 18 and/or at the following website:
<https://www.isomitigation.com/siteassets/downloads/guide-determinerequiredfireflow.pdf>
2. Provide plan for sufficient fire hydrant(s) and/or fire well(s) in accordance with the needed fire flow calculations.
3. Design shall meet the requirements provided in Chapter 18 Fire Department Access and Water Supplies, NFPA 1.
4. Plans shall provide for the installation of Fire hydrant(s) and/or Fire well(s) such that the coverage for each building can be provided by fire suppression apparatus.
5. Provide locations for the point of service from the FKAA water main, and locations of the Backflow preventer, Post indicator valve and fire hydrant(s) and/or fire well(s) on the Site Plan.
6. Provide hydraulic nodal information on plans.



7. Where no reliable water service is within ¼ mile of the site then Chapter 29, NFPA 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting, will apply.
 - a. A water supply for fire protection, either temporary or permanent, shall be made available as soon as combustible material accumulates. There shall be no delay in the installation of fire protection equipment.
8. Fire main that is separate from water service, in accordance with NFPA 25 and NFPA 13. This includes permitting and coordination with the FKAA and other utilities as applicable.
9. **Underground Fireline:** See General and Specialty Inspection Requirements.
10. Provide copy of FKAA permit(s) prior to 800 Rough Inspections to the Fire Marshal through the Building Department.
11. Fire Well Installations may only be performed by licensed Water Well Construction contractors in accordance with Chapter 62-531, F.A.C.
12. In accordance with Chapter 62-532 Fire Well installations shall obtain a State of Florida Department of Environmental Protection (FDEP) Water Well Permit in accordance with Chapter 62-532, F.A.C. prior to construction and provide this permit with the Monroe County Building permit application for the Fire Well for review by the Fire Marshal's Office.
13. Upon completion of the Fire Well installation, the contractor shall submit a Water Well Completion report to the FDEP in accordance with Chapter 62-532.410 F.A.C. A copy of this report shall also be submitted to the Monroe County Building Department for review as part of the 892 Final Inspection.
14. Fire Hydrants and Fire Wells installed on private property shall be required to file an annual testing and maintenance agreement prior to submittal of building permit (NFPA 291, NFPA 25 and NFPA 42).

Fire Sprinkler System. The following design requirements, references and notations shall be provided on the Plans:

1. Provide Separate "Fire Sprinkler System Plans" submittal by state licensed fire sprinkler contractor, pursuant to Chapters 489 and 633, F.S.
2. Design criteria shall meet the requirements of NFPA 13, 14, 24, and 25, as well as any applicable requirements identified by the Fire Marshal's Office.
3. If this plan is not submitted with the original permit set, provide notation that a follow up permit will be submitted.
4. Provide details for sprinkler heads, hangars, control valve, main drain, auxiliary drain, fire department connection, water flow alarm and system air vent.
5. Clearly identify the location, pipe dimensions and diameter for the fire main point of service from the FKAA water supply.
6. Required inspections include aboveground visual of piping and connections, hangers, heads, and other components under an 800 Rough Fire Inspection, called in through the Building Department. Hydrostatic pressure test, as per NFPA 13, and flow and tamper switch operation required under 891 Final Fire with Acceptance Inspection, called in through the Building Department.
7. Copies of the Contractor's Material and Test Certificates for both the underground and aboveground piping shall be provided to Deputy Fire Marshal/Fire Marshal's Office upon completion of the hydrostatic tests by submission through the Building Department, which is required for the 892 Final Fire Inspection, called in through the Building Department.
8. Fire Sprinkler contractor shall also provide the following upon the 892 Final Inspection by submission through the Building Department:
 - a. Fire Pump testing certificate (new buildings).
 - b. Hydraulic plates.



- c. Spare Heads and associated wrenches.
- d. Escutcheons/cover plates.
- e. Copy of plans – 4” PVC by FACP.
- f. Copy of Maintenance Contract.
- g. All signage per Code requirements.

Fire Alarm System. The following design requirements, references and notations shall be provided on the Plans:

1. Provide Separate “Fire Alarm System Plan” submittal by licensed fire alarm contractor.
2. If submitted in full plan set, provide “Fire Alarm System Plans” on separate designated sheets, in compliance with the current adopted NFPA 72: *National Fire Alarm and Signaling Code*.
3. If this plan is not submitted with the original permit set, provide notation that a separate follow up permit application will be submitted.
4. Systems must meet the applicable criteria per NFPA 72, and the occupancy type, as well as any applicable requirements identified by the Fire Marshal’s Office.
5. Provide all manufacturer’s product (cut) sheets.
6. Requires remote annunciator(s) for each building.
7. Clearly identify and locate FACP on plans with smoke detector above it.
8. The Fire Marshal’s Office requires an inspection for a “Fire Alarm System” which includes testing of any and all components of the system, per NFPA 72.
9. Commercial Cooking Fixed Suppression System Plans must be submitted by a Florida licensed contractor for review, permitting, and all associated inspections per NFPA 1, NFPA 17, 17A, and 96.
10. Hood duct inspections require a “liquid” or “light test” of all seams and welds on sections of ductwork being installed. Once ductwork has been installed, a liquid or light test inspection will be required on welds and seams necessary to install ductwork.
11. Final inspections for alarm systems shall include a function test to verify the proper operation of all system components, including fuel shut off, etc.
12. Fire Alarm contractor shall also provide the following upon final inspection:
 - a. Location of electrical panel and breaker associated with the panel.
 - b. Contact number inside of the panel door.
 - c. Account number inside of the panel door.
 - d. All strobes within visual of another shall be in synchronization.
 - e. Record of Completion.
 - f. Monitoring Contract.
 - g. Maintenance Contract.
 - h. Copy of plans – 4” PVC by FACP.

Commercial Cooking Fire Suppression System.

1. Provide separate “Fire Suppression System Plans” submittal by state licensed fire suppression system contractor, pursuant to Chapters 489 and 633, F.S.
2. Design criteria shall meet the requirements of NFPA 10, 13, 17A and 96, as well as, meeting any applicable requirements identified by the Fire Marshal’s Office.
3. If this plan is not submitted with the original permit set, provide notation that a follow up permit will be submitted.
4. Fire Alarm contractor shall also provide the following upon final inspection:

UL-300:

 - a. Notification Device.
 - b. Gas company representative.
 - c. Electrical Inspector.



- d. Representative of the business (owner/manager).
 - e. Chain.
 - f. Shunt Trip test.
 - g. Chocks.
 - h. Pre-Engineered Restaurant Fire Suppression Systems Report.
 - i. Signage.
5. FM-200:
- j. Notification Device.
 - k. Fan test – Enclosure Integrity Report.
 - l. Signage.

Above Ground and Underground Fuel Tanks.

- 1. Plans must be submitted by a Florida licensed contractor for review, permitting, and any associated inspections.
- 2. All tanks and installation(s) shall meet the requirements per NFPA 30, NFPA 30A, or NFPA 30B, as deemed applicable by the Fire Marshal's Office.
- 3. All underground tanks require inspections of slab, anchors, piping, and any associated components.
- 4. All aboveground tanks require inspections of supports, mounting, strapping, other protective requirements, and any associated components.

Propane Tanks.

- 1. Plans must be submitted by a Florida licensed contractor for review, permitting, and any associated inspections.
- 2. All tanks and installation(s) shall meet the requirements per NFPA 10, 54, 55, and 58, and any other standard or Code as deemed applicable by the Fire Marshal's Office.

Telecommunications Towers, structures and facilities.

- 1. Plans shall meet the requirements provided in Chapter 18 Fire Department Access and Water Supplies, NFPA 1.
- 2. Plans shall comply with NFPA 1, Section 18.2.2.2 related to fire department access. The department does not specify any particular product other than the following: "Remote activation by operation of electronic siren - wail or yelp."
- 3. Plans shall comply with NFPA 101, including maintenance of the means of egress in the event of fire or other emergency.
- 4. Plans shall meet the requirements as provided in NFPA 70, including grounding, lightning arresters and emergency and standby power systems.
- 5. Provide for "Red Model 1403 Knox Box," with notation to coordinate installation with Monroe County Fire Marshal's Office. The Knox Box for new buildings shall be mounted and have the following placed inside of the box:
 - c. Keys to the following:
 - 1) Main entrance.
 - 2) All mechanical and electrical rooms.
 - 3) Emergency elevator operations (2 keys).
 - 4) Fire alarm panel.
 - 5) Pull stations.
 - d. Business card of 24/7 emergency point of contact.
- 6. Access shall be provided to fire crews for site and building construction familiarization (new buildings).



Two Way Radio Communications System / Bi-Directional Amplifier (BDA)

Per Florida Statute 633.202 Florida Fire Prevention Code, Ch. 18, the authority having jurisdiction shall determine the minimum radio signal strength for fire department communications in all new high-rise and existing high-rise buildings. Existing buildings are not required to comply with minimum radio strength for fire department communications and two-way radio system enhancement communications as required by the Florida Fire Prevention Code until January 2, 2022. However, by December 31, 2019, an existing building that is not in compliance with the requirements for minimum radio strength for fire department communications must apply for an appropriate permit for the required installation with the local government agency having jurisdiction and must demonstrate that the building will become compliant by January 1, 2022. Existing apartment buildings are not required to comply until January 1, 2025. However, existing apartment buildings are required to apply for the appropriate permit for the required communications installation by December 31, 2022.

Modern building design and construction techniques, especially those required to satisfy requirements for LEED-certified building designs, make it difficult or impossible for the County’s 911 system to provide reliable two-way radio coverage for first responders operating inside of buildings. Two-way radio communications enhancement systems help ensure the safety of building occupants and first responders by extending the coverage of a public safety communications system to the interior areas of the building through the use of special bi-directional amplifiers (BDAs) and a network of indoor antennas strategically located to provide reliable public safety radio system coverage throughout the interior of a building. The BDA and network of antennas is known collectively as a Distributed Antenna System (DAS). DAS systems must be designed, installed, maintained and repaired by qualified personnel to ensure that they meet the coverage reliability requirements of NFPA72-2013 and do not cause unintended harmful interference to the County’s radio system or other users of the RF spectrum licensed by the Federal Communications Commission (FCC).

A Public Safety DAS System or ERRCS is a radio frequency-based wireless communication system used by first responders such as police, fire, emergency services, disaster response agencies, and homeland security. Public Safety frequencies utilize analog and digital technology and operate in bands from 150 Mhz to 800 Mhz. First responders require seamless communication to carry out their mission, including but not limited to in-building coverage. Bi-Directional Amplifiers (BDA) are utilized to propagate coverage within a structure that due to construction densities, may block RF signal. A public safety DAS is a distributed antenna system connected to a BDA to amplify a signal within the structure and allow transmit and receive signals to the base station. The internal array of antennas and BDA are connected to a donor antenna on the property that communicates to the transmitting base station antenna.

1. BDA systems shall be required to be submitted on a separate building permit.
2. The Florida Fire Prevention Code provides that the Authority Having Jurisdiction can require maintaining adequate fire department radio signal strength inside any building (new or existing), F.S. 633.202.
3. Approved Plans to include written sequence of operation, as-built drawings, and operation and maintenance manuals on site. (NFPA 72-14.6.1.1 and NFPA 1221)
4. Disciplines required for site planning, design and testing include, but may not be limited to, the following:
 - a. BDA/DAS Installer,
 - b. Fire Alarm Company,



- c. Monroe County Sheriff's Office Radio Communications Officer at (305) 292-6035 (coordinate location of telecommunication tower/antenna prior to design),
 - d. Electrical Subcontractor,
 - e. Building Department inspector(s)/Electrical Inspector(s), f) Fire Marshal's Office inspector.
 - f. *Note:* If the on-site testing is not properly coordinated with the above disciplines, then the testing may have to be repeated.
5. Plans/Permit shall identify the organization responsible for the electrical system (NFPA 70-110.21).
 6. Plans shall identify the masts and metal structures supporting the antennae are grounded and lightning protection is provided, as required by the National Electric Code (NFPA 70-810.21). This shall be demonstrated during an 891 inspection.
 7. Plans shall identify that the lightning system shall be grounded in accordance with NFPA 70, Chapter 8.
 8. Lightning protection shall comply with NFPA 780 and NFPA 96A. Where required by NFPA 780, system components shall be listed and labeled. Contractor shall provide documentation from one of the following:
 - a. UL Master Label inspection,
 - b. Lightning Protection Institute
 9. Openings and penetrations shall be properly sealed (NFPA 70-820.26). This requirement will be reviewed during an 800 inspection.
 10. Plans shall identify a pathway of survivability in accordance with pathway survivability levels identified in NFPA 72-12.4 / 24.3.6.8. Where fire survivability is required, a listed electrical circuit protective system or a fire-rated cable that is listed to maintain circuit integrity shall be used.
 11. The system components shall be approved and compatible with the public safety radio system, included are the repeaters, transmitters, receivers, signal boosters, cabling and the finer distributed antenna system (NFPA 72-24.5.2.5.1).
 12. All repeaters, transmitters, receivers, signal booster components and battery system components are contained and installed in a UL approved NEMA 4 or 4 X Type enclosures (NFPA 72-24.5.2.5.2).
 13. The Fire Alarm System supervisory and trouble signals were activated and annunciated by the Fire Alarm panel for the following (NFPA 72-24.5.2.6.1 (2) and (3)):
 - a. Antenna Malfunction (FA system supervisory and Signal booster trouble indicated),
 - b. Signal Booster Failure (FA system supervisory and Signal booster trouble indicated),
 - c. Low-Battery capacity, alarming at 70% of capacity (Factory tested for this percentage -label on inside of battery back enclosure),
 - d. Active system component failure,
 - e. Loss of normal AC Power (FA system supervisory and Signal booster trouble indicated),
 - f. Failure of Battery Charger (FA system supervisory and Signal booster trouble indicated),
 - g. Monitoring for integrity of the system shall comply with NFPA 72-10.6.9 / 12.6),
 - h. Above items shall be reviewed during inspection.
 14. The integrity of the circuit monitoring signal boosters and power supplies shall comply with section 10.6.9 and 12.6 and shall be reviewed during inspection.



- a. All monitoring of system components must provide notification of system integrity automatically within 200 seconds (3 min, 20 seconds) (NFPA 72-24.5.2.6.1(1), NFPA 72-12.6.1).
 - b. Above items shall be reviewed during inspection.
15. Plans shall identify a dedicated monitoring panel providing visual and labeled notification(s) that is located in the Emergency Command Center and provided indications of the following occurrences for each signal booster (NFPA 72-24.5.2.6.2):
- a. BDA disconnect notification shall be immediate to 3 minutes and 20 seconds. These criteria will be reviewed during inspection:
 - b. Loss of AC Power,
 - c. BDA-Failure of Battery Charger,
 - d. BDA-Signal Booster Trouble,
 - e. BDA-Low Battery Capacity,
 - f. BDA-AC Power Fail
 - g. Remove BDA-Antenna Fail
16. Inspection shall confirm that Radio Coverage was provided throughout the building as a percentage of floor area as follows:
- a. Verify signal heat map for internal antennae locations,
 - b. Contact public safety dispatch for a testing radio channel and test areas throughout the building, including one (1) inspection in the BDA equipment room, one (1) inspection outside and one (1) inspection walking the building with the map performing radio tests to other inspectors.
 - c. Inspectors will verify signal strength from the signal strength chart from the installer).
 - d. Critical areas 99% floor area radio coverage (NFPA 72-24.5.2.2.1 / NFPA 1221). Critical areas include emergency command centers, fire pump rooms, exit stairs and passageways, elevator lobbies, standpipe cabinets, sprinkler sectional valve locations and other areas deemed critical by the Fire Marshal's Office.
 - e. General building use areas 90% floor area radio coverage (NFPA 72-24.5.2.2.2).
 - f. Areas that do not pass the coverage percentage testing will be identified on the inspection report.
 - g. Inspection report shall document radio coverage and be submitted to the building department as part of the 892 inspection for approval by the Fire Marshal's Office.
17. Plans shall identify two (2) independent and reliable power supplies shall be provided and function, one (1) primary and one (1) secondary (NFPA 72-10.6.3.2 / 24.5.2.5.5) as listed. These requirements will be reviewed during the 891 inspection.
- a. Primary, use one of the following:
 - i. Commercial light and power,
 - ii. Engine driven or equivalent and where person trained to operate is on duty at all times,
 - iii. Engine driven generator or equivalent arranged for cogeneration with commercial light and power.
 - b. Secondary, use one of the following:
 - i. A storage of batteries dedicated to the system with at least 12 hours of 100% system operation capacity and arranged per NFPA 72-10.6.10.



- ii. Automatic starting engine driven generator serving the dedicated branch circuit or the system with at least 12 hours of 100% system operation capacity and storage batteries dedicated to the system with at least two (2) hours of 100% system operation capacity and arranged in accordance with section 10.6.11.3 (NFPA 72-24.5.2.5.5.2).
18. Plans shall identify the minimum signal strength inbound -95dBm provided throughout the coverage area (NFPA 72-24.5.2.3.1). These requirements will be reviewed during the 891 inspection.
 19. Plans shall identify the minimum signal strength outbound -95dBm provided at the donor site from the coverage area (NFPA 72-24.5.2.3.2). These requirements will be reviewed during the 891 inspection.
 20. Plans shall identify the Donor Antenna, including isolation to be maintained between donor antennae and all inside antennas and shall be a minimum of 15dB above the signal booster gain under all operating conditions (NFPA 72-24.5.2.3.3). These requirements will be reviewed during the 891 inspection.
 21. Plans shall identify that the signal boosters shall be FCC certified and verified by approved documentation provided during the 891 inspection (NFPA 72-24.5.2.5.4) These requirements will be reviewed during the 891 and 892 inspections.
 22. Plans shall identify that the signal boosters are compatible with both analog and digital communications simultaneously at the time of installation (NFPA 72-24.5.2.5.4). These requirements will be reviewed during the 891 inspections.
 23. Plans shall provide signage where the signal booster equipment is located and is accessible to Monroe County Fire Rescue (Section 10.18.3.2) with the following:
 - a. Fire Rescue / Building department signal booster permit number and Service Provider Name and Contact phone number.
 24. Plans shall identify that in BDA/DAS Equipment Room, a labeled binder is provided for all BDA/DAS Equipment (NFPA 72-14.6.1.1). Note the BDA/DAS records shall be separate from fire alarm records. This binder shall include the following:
 - a. Manufacturer's specifications,
 - b. As-built drawings,
 - c. Post signal heat map,
 - d. Maintenance Repair log,
 - e. Post repair signal strength measurements,
 - f. Maintenance Contract

These requirements will be reviewed during the 891 and 892 inspections.

25. Provide NFPA 72 Completion documentation for the installation from fire alarm contractor and/or master electrical contractor, in accordance with Section 489, Florida Statutes. This requirement will be reviewed during the 892 inspection.
26. Provide documentation that a maintenance and service agreement has been entered into between the property owner and service provider for the fire alarm transmitter. All components and signal



strength level testing shall be required annually (NFPA 72-14.4.10.1 and 14.4.10.6, NFPA 72-14.6.1.1). These requirements will be reviewed during the 891 and 892 inspections.

27. The BDA/DAS systems are required to be inspected and tested annually or whenever structural changes occur including additions or remodels that could materially change the original field of performance tests. Contact the Office of the Fire Marshal (305) 289-6020 to schedule.
28. The Fire Marshal's Office should be notified in advance and shall direct the annual test procedures and requirements. *Note:* Typically annual tests require several systems to be verified. RF emitting devices and system components should be tested to ensure that the gain is the same as it was at initial installation and acceptance. Backup batteries and power supplies should be tested under load for one (1) hour to verify that these will operate appropriately during a power outage.
29. The occurrence of any fault in an emergency responder radio coverage system where the system function is decreased shall result in the transmission of a supervisory signal to a supervisory service. Systems that are out-of-service for more than four (4) hours shall be required to provide notification to the Fire Marshal's Office (305) 289-6020.
30. All relevant documentation for the BDA/DAS system, including the acceptance and annual maintenance test reports, must be kept on the building premises and be made available to the Fire Marshal's Office during the annual Fire and Life Safety inspection for the building or upon request.

General Inspection Requirements.

1. Rough, Final with Acceptance test and Final without Acceptance tests (800, 891 and 892) inspections shall be required for "Site Plan" work associated with water lines for fire suppression.
2. Additionally, Rough, Final with Acceptance test and Final without Acceptance tests (800, 891 and 892) inspections shall be required for "Docks, Marinas and Slips" where work is related to requirements of NFPA 303.
3. All fire related inspections are required to be scheduled at least 1 day prior to the inspection and must be called in through the Building Department's Inspection Line (IVR System).
4. All inspection time requests are for either morning or afternoon, no specific times will be given.
5. Inspections are conducted Monday through Friday 8:00 AM to 4:00 PM.
6. "Courtesy or miscellaneous inspections" cannot be performed by the Fire Marshal's Office.
7. If a Deputy Fire Marshal is on site and observes work that has not been called in for an inspection, an inspection result will not be filed. Inspections shall be requested through the Building Department inspection line in order for results to be posted to the building permit.
8. All ROUGH Inspections are to be called in by the sub-contractor, as applicable.
9. All FINAL Inspections are to be scheduled by permit number.
10. All FINAL Inspections are to be called in by the General Contractor.
11. A representative of each trade shall be on site at the time of their respective inspection.



12. The Permit card and a copy of all approved/stamped plans shall be on site for each of the inspections being conducted.
13. Additional inspection requirement details will be provided on the Fire Marshal's Office inspection checklist.

Specialty Inspections Requirements.

1. Fire Main Inspection:
 - a. Installation requires Contractor V license, Ch. 633.102, F.S.
 - b. Includes 800 Rough Fire inspections for review of bedding, pipe joints, thrust blocks and a flush and flow test shall be included as part of this inspection.
 - c. An 891 Final Fire w/Acceptance test will include a hydrostatic test.
 - d. Prior to scheduling an 892 Final Fire w/o Acceptance test, Contractor shall submit through the Building Department permit all documentation related to the fire suppression system including but not limited to material and testing certifications, in accordance with NFPA 24, 25 and 72.

2. Fire Hydrant Inspection:
 - a. Includes 800 Rough Fire inspections for review of placement and flush and flow test, clear water.
 - b. An 891 Final Fire w/Acceptance Inspection, hydrostatic test and submit a water flow summary to the Fire Marshal through the Building Department (permit) and keep copy on job site.
 - c. An 892 Final Fire w/o Acceptance Inspection, submit Contractor's Material and Test Certificate for Underground Piping to the Fire Marshal through the Building Department permit (file) and copy on job site.

3. Fire Well Inspection:
 - a. Contractor must obtain and maintain on site a State of Florida Department of Environmental Protection (FDEP) Water Well Permit in accordance with Chapter 62-532, F.A.C.
 - b. Includes 800 Rough Fire inspections for review of placement and flush and flow test, clear water.
 - c. An 891 Final Fire w/Acceptance Inspection, flow test with gauge to verify appropriate GPM in accordance with design and submit certification to the Fire Marshal through the Building Department permit (file) and keep copy on job site.
 - d. Upon completion of the Fire Well installation, contractor shall submit a Water Well Completion report to the FDEP in accordance with Chapter 62-532.410 F.A.C. A copy of this report shall also be submitted to the Monroe County Building Department for review as part of the 892 Final Inspection.
 - e. An 892 Final Fire w/o Acceptance Inspection, submit Contractor's Material and Test Certificate for Underground Piping to the Fire Marshal through the Building Department permit (file) and copy on job site.

4. Fire Sprinkler Scheduling Requirements:
 - a. Coordinate with Fire Alarm/Fire Suppression System inspections.
 - b. All rough inspections are to be scheduled by the sub-contractor performing the work.



- c. Rough inspections to include:
 - 1. All underground.
 - 2. All flushing prior to connection to the fire sprinkler riser.
 - 3. Fire pump acceptance testing.
 - 4. Existing construction - 1 hard-lid inspection per job.
 - 5. New construction, commercial – 1 hard-lid inspection per floor.
 - 6. New construction to including hotels, apartments, residential board and care – 1 hard-lid inspection per wing, each floor.
 - 7. New construction, residential – 1 hard-lid inspection.
 - d. Final Inspection called in by the General Contractor.
2. Fire Alarm Scheduling Requirements:
- a. Coordinate with Fire Sprinkler/Fire Suppression System inspections.
 - b. The sub-contractor performing the work is not to call for inspection.
 - c. Final Inspection called in by the General Contractor to ensure coordination of systems.
3. Fire Suppression Scheduling Requirements:
- a. Coordinate with Fire Alarm/Fire Sprinkler system inspections.
 - 1) UL-300, Kitchen Suppression Systems:
 - a) The sub-contractor performing the work is not to call for inspection.
 - 2) FM-200, Clean Agent Systems:
 - a) The requirements listed in section 1 above.
 - b) Fan-Pressure Test to be called in by the sub-contractor performing the work.
 - b. Final Inspection must be called in by the General Contractor.
4. Petroleum Fuel Tank Scheduling Requirements:
- a. The sub-contractor shall call in Underground visualization of mounting.
 - b. The sub-contractor shall call in the pressure test of gas lines.
 - c. Final Inspection called in by the General Contractor.

Note that new development(s) may be required to provide a Fire Department Service Delivery Concurrency Evaluation at the expense of the developer, including the cost of a third-party evaluator, in accordance with Chapter 15, NFPA 1 at the discretion of the Fire Marshal.

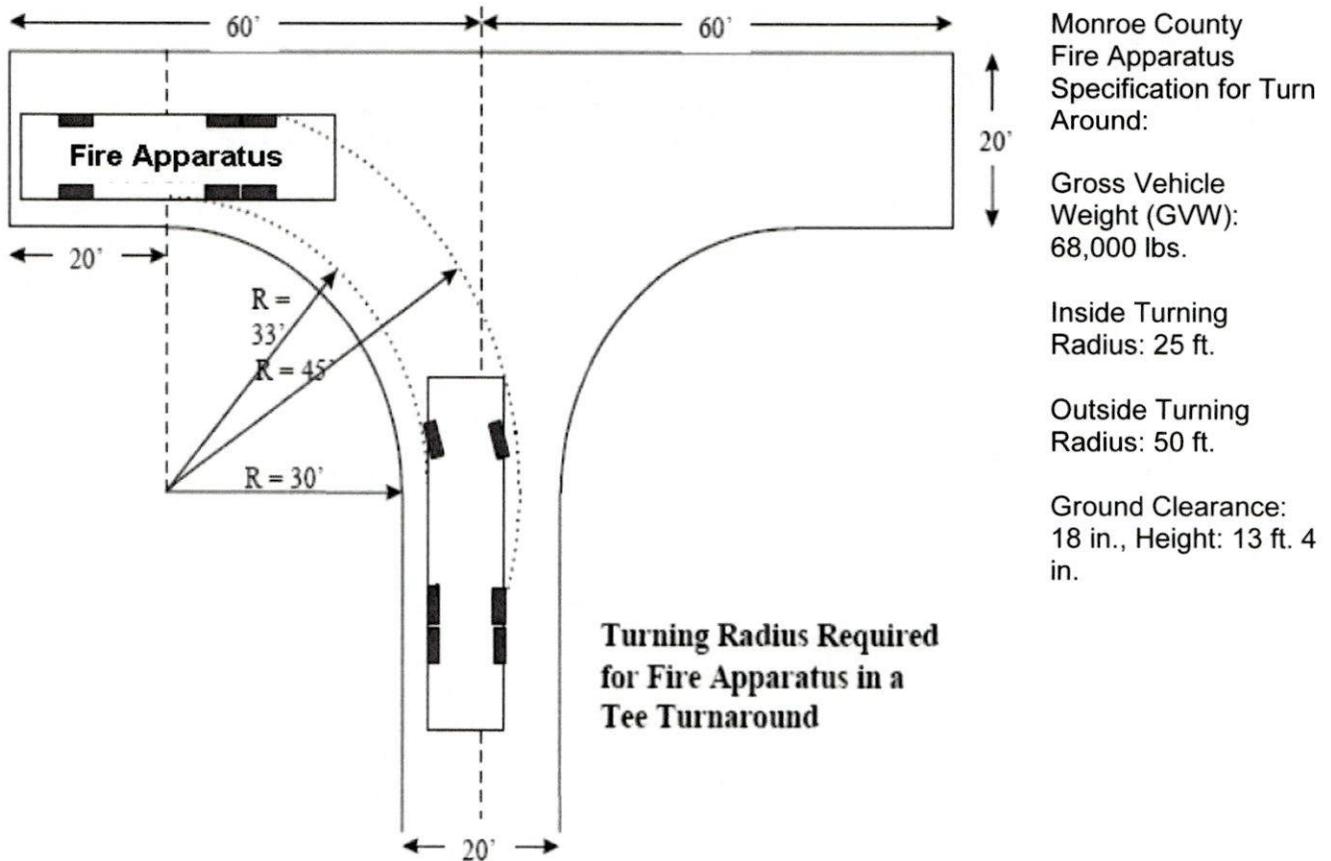
Please use this document as a resource. The Fire Marshal's Office can be contacted at (305) 289-6020.

A handwritten signature in black ink, appearing to read "Craig Marston".

Craig Marston
Fire Marshal
Monroe County Fire Rescue



Exhibit A
Tee Turn Around Example



Applicable code references from Florida Fire Prevention Code and NFPA 1 Chapter 18

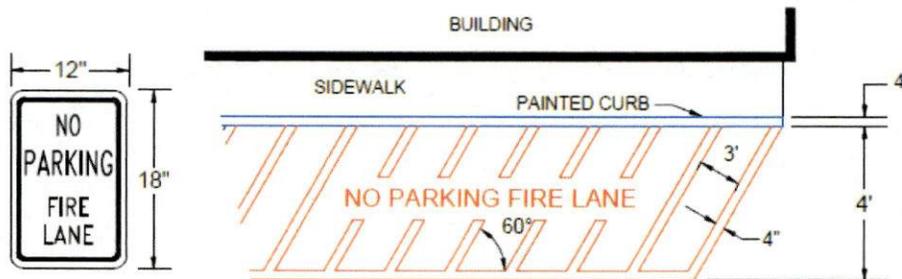
- 18.2.3.4.1.1 Fire department access roads shall have an unobstructed width of not less than 20 ft (6.1 m).
- 18.2.3.4.1.2 Fire department access roads shall have an unobstructed vertical clearance of not less than 13 ft 6 in. (4.1 m).
- 18.2.3.4.1.2.2 Vertical clearances or widths shall be increased when vertical clearances or widths are not adequate to accommodate fire apparatus.
- 18.2.3.4.2 **Surface.** Fire department access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be provided with an all-weather driving surface.
- 18.2.3.4.3.1 The turning radius of a fire department access road shall be as approved by the AHJ
- 18.2.3.4.3.2 Turns in fire department access roads shall maintain the minimum road width.
- 18.2.3.4.4 **Dead Ends.** Dead-end fire department access roads in excess of 150 ft (46 m) in length shall be provided with approved provisions for the fire apparatus to turn around.



Exhibit B
Fire Lane Markings - Example

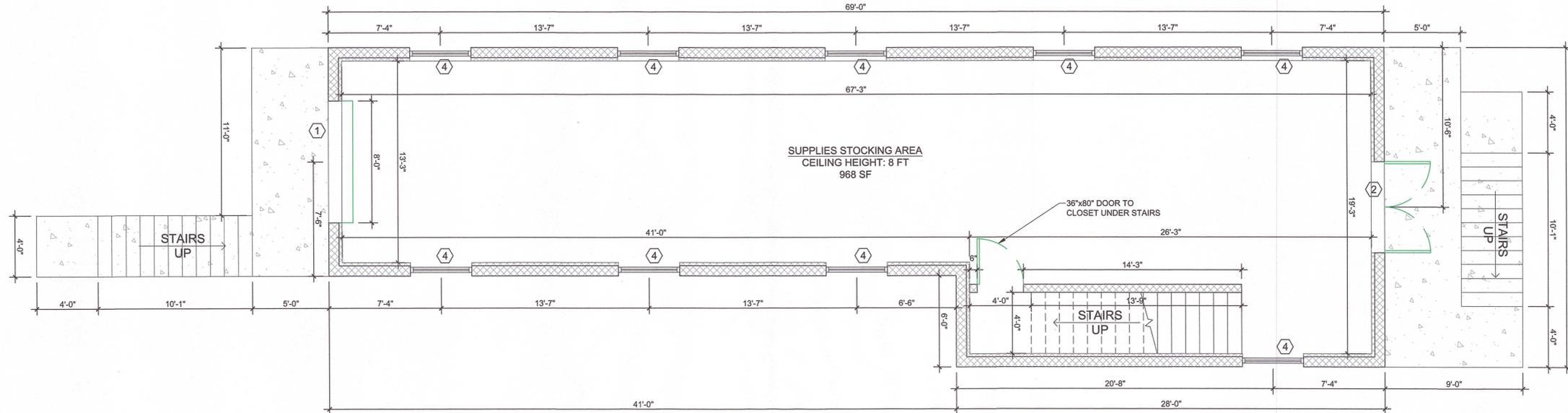


1. Signs shall be high intensity retroreflective, twelve (12) inches wide by eighteen (18) inches in height, white with three inch high red letters not less than one half inch wide to read "NO PARKING FIRE LANE".
2. Signs shall be double faced, face the direction of traffic flow and spaced not greater than sixty (60) feet apart. No part of the Fire Lane shall be further than 30 feet from a sign.
3. Signs shall be mounted on metal posts, not less than two (2) inches in size.
4. The minimum height, measured vertically from the bottom of the sign to the top of the curb, or in the absence of curb, measured vertically from the bottom of the sign to the elevation of the near edge of the traveled way shall be 5 feet and the maximum to the bottom of the sign shall be 7 feet.
5. Where a curb is provided, four inches (4") of curb top and face shall be painted Traffic Yellow (FDOT Traffic Rated Pavement Paint). Stripes shall be four inches (4") wide extending outward to a width of four (4') feet from curb with three (3') feet between each stripe. Striping shall be two (2) coats of Yellow, FDOT Traffic Rated Pavement Paint.
6. Letters shall be not less than four (4") inches in height and not less than two (2") inches in width within the striping (between the posted signs) to read "NO PARKING FIRE LANE." Lettering shall be Traffic Yellow, FDOT Traffic Rated Pavement Paint.
7. Signs and Painted Markings shall be maintained by the Property Owner.

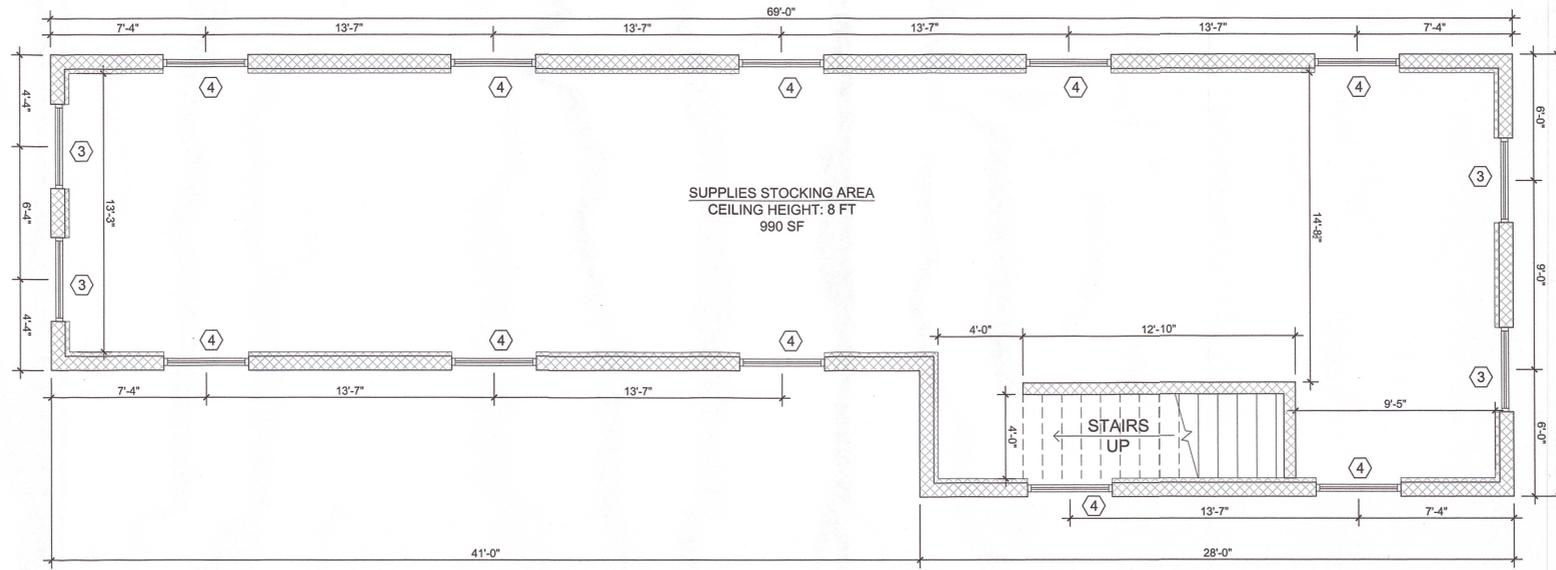


DOOR & WINDOW SCHEDULE					
MARK	DESCRIPTION	DIMENSIONS (WxH)	DESIGN PRESSURES PER ASCE 7-16 (PSF)	MANUFACTURER & MODEL NUMBER	WINDLOAD RATING & APPROVAL NUMBER
①	ROLL UP GARAGE DOOR	8'-0" x 6'-8"	+42.5 / -46.6	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
②	FRENCH DOOR	6'-0" x 6'-8"	+43.4 / -47.5	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
③	HORIZONTAL ROLLER	4'-0" x 4'-0"	+46.3 / -60.1	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
④	HORIZONTAL ROLLER	4'-0" x 3'-0"	+47.2 / -51.2	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR

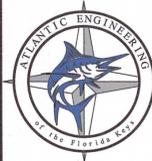
- ADDITIONAL NOTES:
 1. CONTRACTOR TO PROVIDE THE NOAS.
 2. CONTRACTOR TO FIELD VERIFY ALL WINDOW DIMENSIONS.
 3. CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION.
 4. ALL WINDOWS AND DOORS SHALL BE IMPACT RATED.



1 1ST FLOOR PLAN
 A-1.0 SCALE: 1/4" = 1'-0"



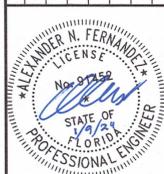
2 2ND FLOOR PLAN
 A-1.0 SCALE: 1/4" = 1'-0"



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 305-395-0521
 alex@atlanticengflkeys.com

OFFICE SUPPLY STORAGE
 FOR
 FLORIDA KEYS ELECTRIC INC.
 905 OVERSEAS HWY, BIG COPPITT KEY, FL

REVISIONS:	REMARKS
No.	DATE

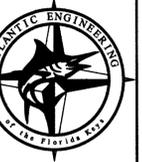


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ARCHITECTURAL
 FLOOR PLANS

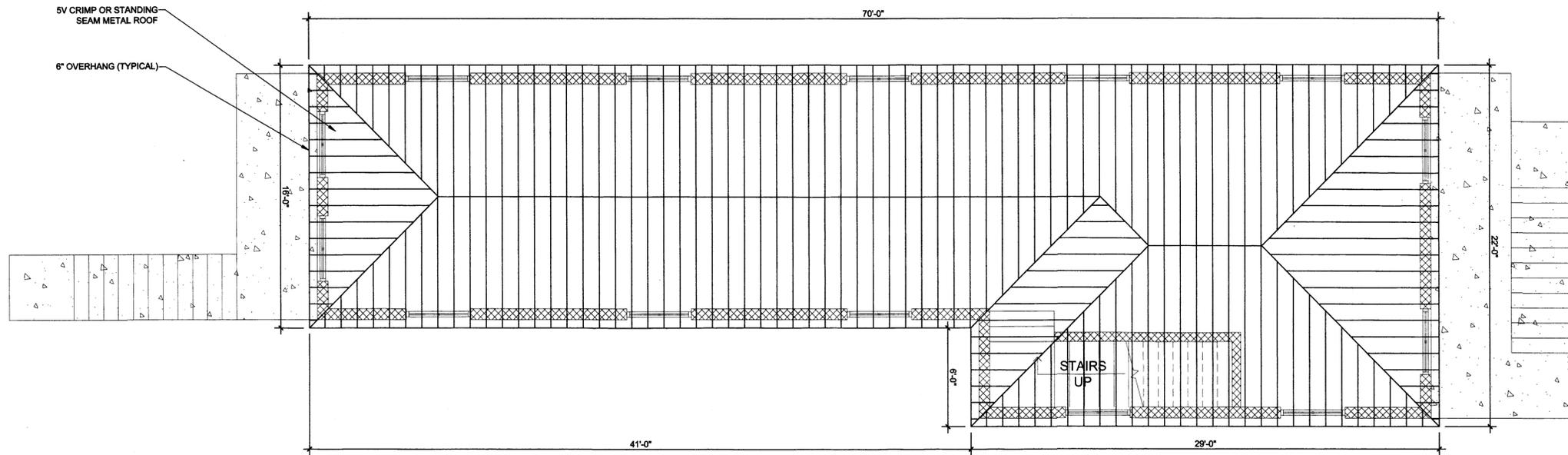
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1 ROOF PLAN
 A-1.1 SCALE: 1/4" = 1'-0"

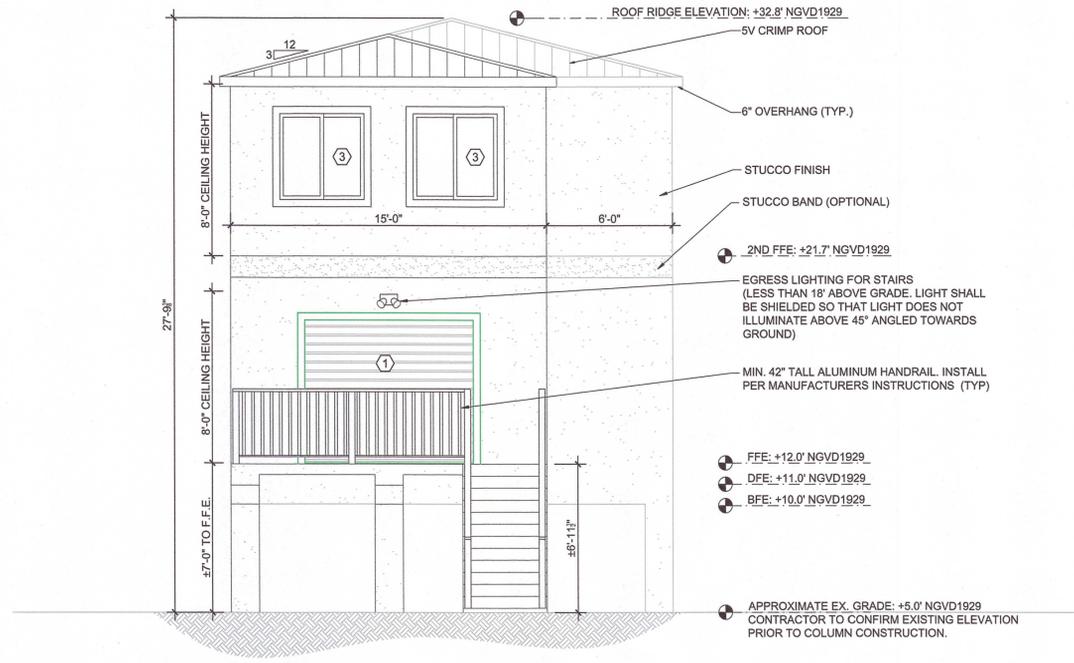
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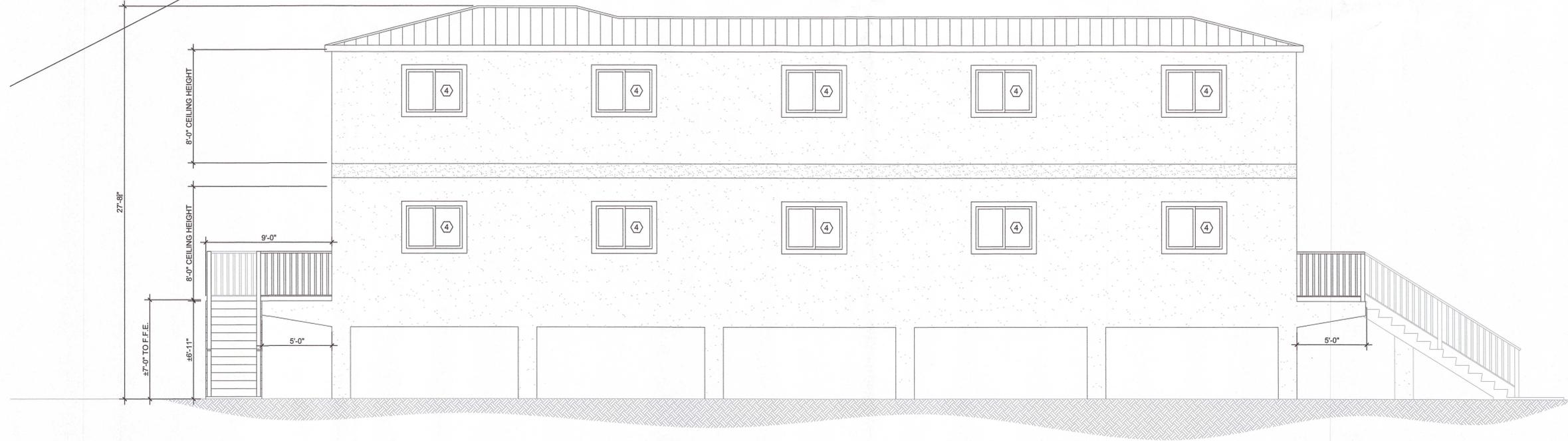
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 Title:
 ARCHITECTURAL
 ROOF PLAN

Sheet:
A-1.1
 Date: 12.13.2024

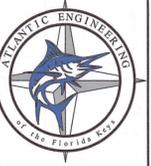
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1 SOUTH ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
A-2.0 SCALE: 1/4" = 1'-0"



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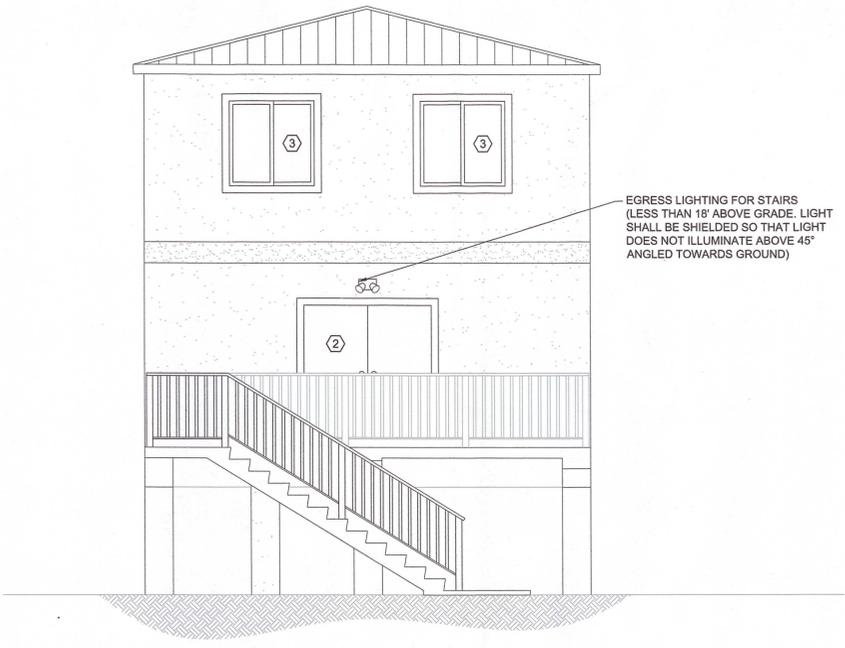
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905 OVERSEAS HWY, BIG COPPITT KEY, FL

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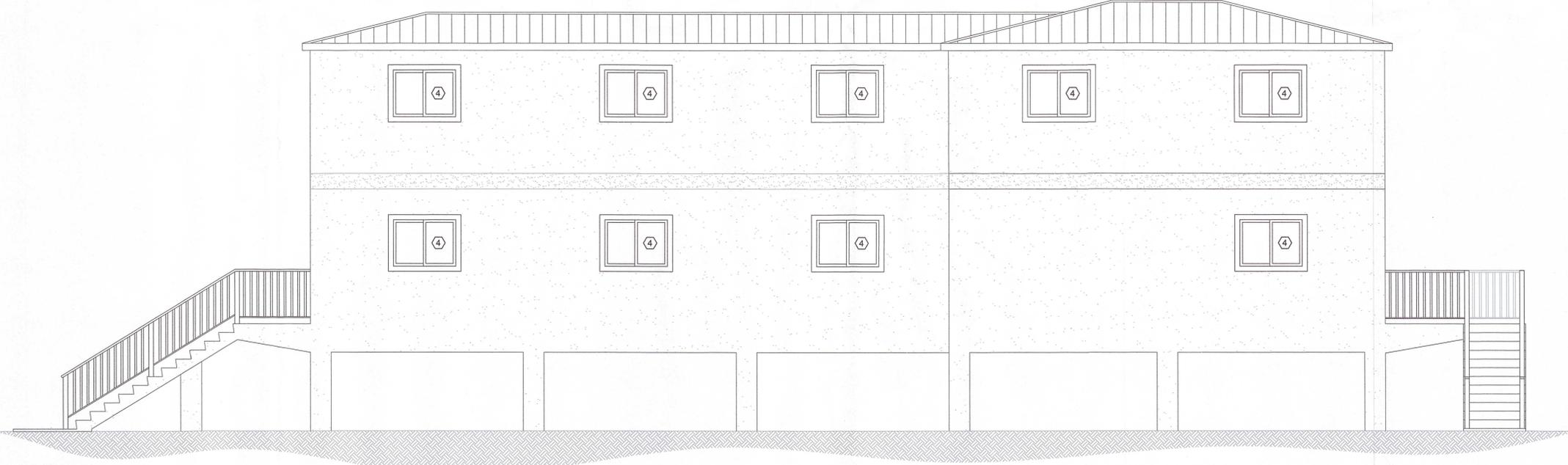


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Title: BUILDING ELEVATIONS
Sheet: A-2.0
Date: 12.13.2024

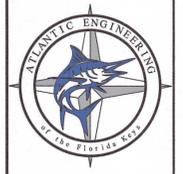
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1 NORTH ELEVATION
A-2.1 SCALE: 1/4" = 1'-0"



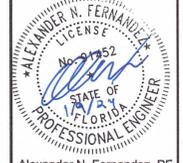
2 EAST ELEVATION
A-2.1 SCALE: 1/4" = 1'-0"



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OFFICE SUPPLY STORAGE
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905 OVERSEAS HWY, BIG COPPIIT KEY, FL

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Title: BUILDING ELEVATIONS

Sheet: A-2.1
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AMENDMENT TO CONDITIONAL USE (MINOR CONDITIONAL USE)
FOR

905 OVERSEAS HIGHWAY OFFICE SUPPLY STORAGE

PART OF SECTION 22, TOWNSHIP 67, RANGE 26
BIG COPPITT KEY, FLORIDA

SITE INFORMATION

ADDRESS: 905 OVERSEAS HIGHWAY, BIG COPPITT KEY
RE #: 00156310-000000
LEGAL DESCRIPTION: PT TRACT A PORPOISE POINT SECTION FIVE PB5-119 BIG COPPITT KEY
OWNER: FLORIDA KEYS ELECTRIC INC.
ZONING: SC (SUBURBAN COMMERCIAL)
TIER DESIGNATION: TIER III (INFILL AREA)
F.L.U.M.: MC (MIXED USE/COMMERCIAL)
FLOOD ZONE: AE
BASE FLOOD ELEVATION: +10.0' NGVD1929
DESIGN FLOOD ELEVATION: +11.0' NGVD1929
F.I.R.M.:

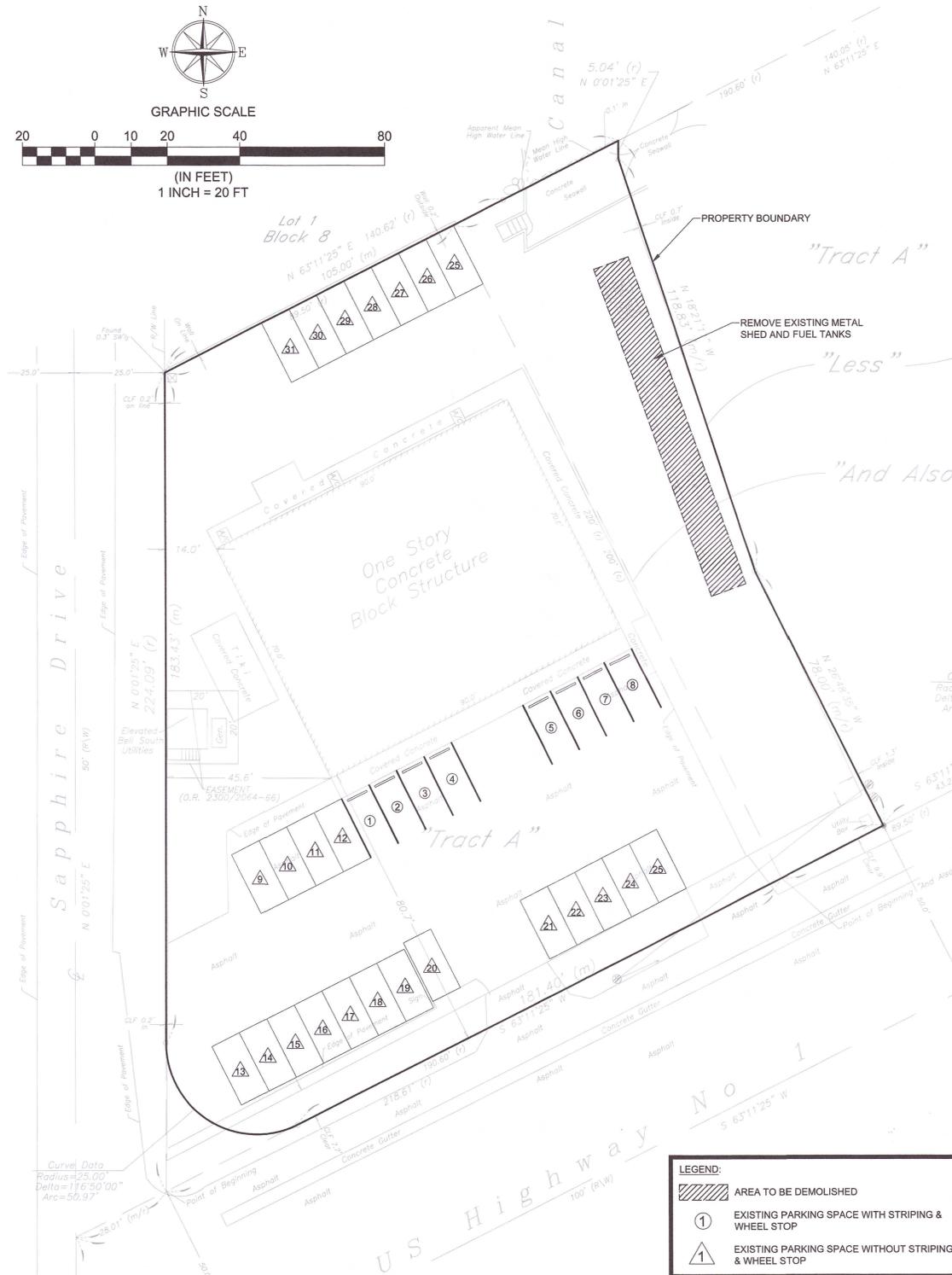
COMMUNITY NUMBER: 125129
MAP NUMBER: 12087C
PANEL: 1532
SUFFIX: K
DATE: 02-18-05
SETBACKS:
PRIMARY FRONT: 25 FT
SECONDARY FRONT: 15 FT
SIDE YARD: 10 FT; 5 FT
REAR YARD: 10 FT
SHORELINE: 20 FT

SCOPE OF WORK

BUILD A NEW, 2 STORY ACCESSORY STRUCTURE TO BE USED AS ADDITIONAL STORAGE SPACE FOR THE EXISTING BUILDING.

INDEX OF DRAWINGS

SHEET	TITLE
C-1.0	COVER SHEET & EXISTING SITE PLAN
C-2.0	PROPOSED SITE PLAN
C-3.0	PROPOSED DRAINAGE PLAN
L-1.0	PROPOSED LANDSCAPE PLAN
A-1.0	ARCHITECTURAL FLOOR PLANS
A-1.1	ARCHITECTURAL ROOF PLAN
A-2.0	BUILDING ELEVATIONS
A-2.1	BUILDING ELEVATIONS



1 EXISTING SITE PLAN
SCALE: 1" = 20'-0"



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Title:

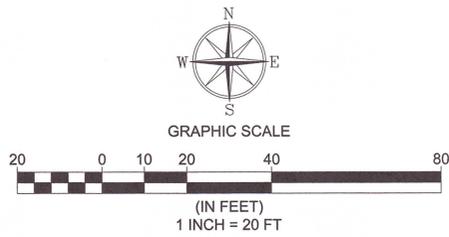
COVER SHEET & EXISTING SITE PLAN

Sheet:

C-1.0

Date: 12.13.2024

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DENSITY & INTENSITY TABLE					
LAND USE	FAR / DENSITY	SIZE OF SITE (UPLAND)	MAXIMUM ALLOWED	PROPOSED / EXISTING	POTENTIAL USED
OFFICE	0.4	35,021.20 SF	14,008.48 SF	5,609 SF	40.04 %
LIGHT INDUSTRIAL	0.3	35,021.20 SF	10,506.36 SF	2,457 SF	23.39 %
TOTAL					63.42 %

PARKING CALCULATIONS

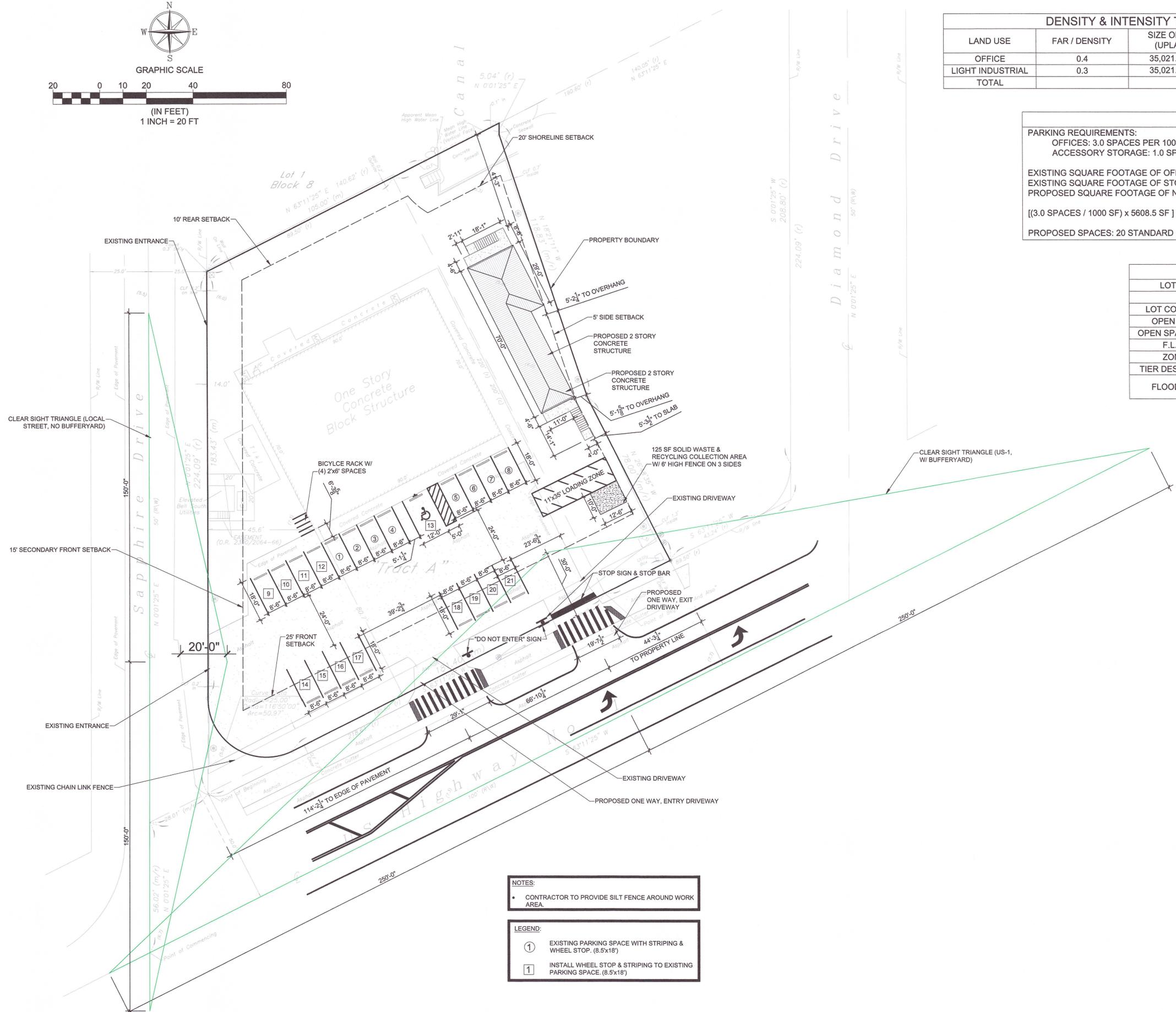
PARKING REQUIREMENTS:
 OFFICES: 3.0 SPACES PER 1000 SF
 ACCESSORY STORAGE: 1.0 SPACES PER 1000 SF

EXISTING SQUARE FOOTAGE OF OFFICE SPACE: 5608.5 SF
 EXISTING SQUARE FOOTAGE OF STORAGE SPACE: 500 SF
 PROPOSED SQUARE FOOTAGE OF NEW ACCESSORY STORAGE SPACE: 1957.0 SF

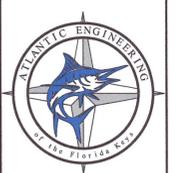
$[(3.0 \text{ SPACES} / 1000 \text{ SF}) \times 5608.5 \text{ SF}] + [(1.0 \text{ SPACES} / 1000 \text{ SF}) \times (1957.0 \text{ SF} + 500.0 \text{ SF})] = 19.3 \text{ SPACES (20 SPACES)}$

PROPOSED SPACES: 20 STANDARD + 1 ADA = 21 TOTAL

SITE DATA TABLE			
LOT SIZE	35,021.2 SF		
	EXISTING	REQUIRED	PROPOSED
LOT COVERAGE	20,750.7 SF (59.3%)	28,017.0 SF (80%MAX)	21,966.0 SF (62.7%)
OPEN SPACE	14,270.5 SF (40.7%)	7004.2 SF (20% MIN)	13,055.2 SF (37.3%)
OPEN SPACE RATIO	0.407	0.20	0.373
F.L.U.M.	MC (MIXED USE COMMERCIAL)		
ZONING	SC (SUBURBAN COMMERCIAL)		
TIER DESIGNATION	TIER III (INFILL AREA)		
FLOOD ZONE	AE-10; COMMUNITY NUMBER: 125129; MAP NUMBER: 12087C; PANEL: 1532; SUFFIX K; DATE: 2.18.2005		



- NOTES:**
- CONTRACTOR TO PROVIDE SILT FENCE AROUND WORK AREA.
- LEGEND:**
- ① EXISTING PARKING SPACE WITH STRIPING & WHEEL STOP. (8.5x18')
 - 1 INSTALL WHEEL STOP & STRIPING TO EXISTING PARKING SPACE. (8.5x18')



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 905 OVERSEAS HWY., BIG COPPIT KEY, FL

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PROPOSED SITE PLAN

Sheet: C-2.0
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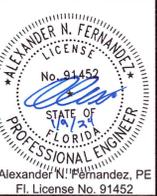
1 PROPOSED SITE PLAN
 SCALE: 1" = 20'-0"



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 Title:
 PROPOSED DRAINAGE PLAN
 Sheet:
C-3.0
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POSTDEVELOPMENT - PREDEVELOPMENT		
QPOST - QPRE [25YR/72HR]	0.0362 IN	
VOLUME = QA [25YR/72HR]	0.0291 IN	0.002422 AC-FT

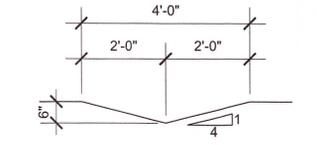
WATER QUALITY		
PROJECT AREA	0.8040 AC	
NEW IMPERVIOUS AREA	0.0143 AC	
% NEW IMPERVIOUS	1.78%	

2.5 INCHES * % NEW IMPERVIOUS * TOT. PROJ. AREA = 0.002985 AC-FT

WATER QUANTITY VS. WATER QUALITY	
QUANTITY	0.002422 AC-FT
QUALITY	0.00298 AC-FT

SWALE VOLUME REQUIRED	
130.02 CU. FT	0.00298 AC-FT

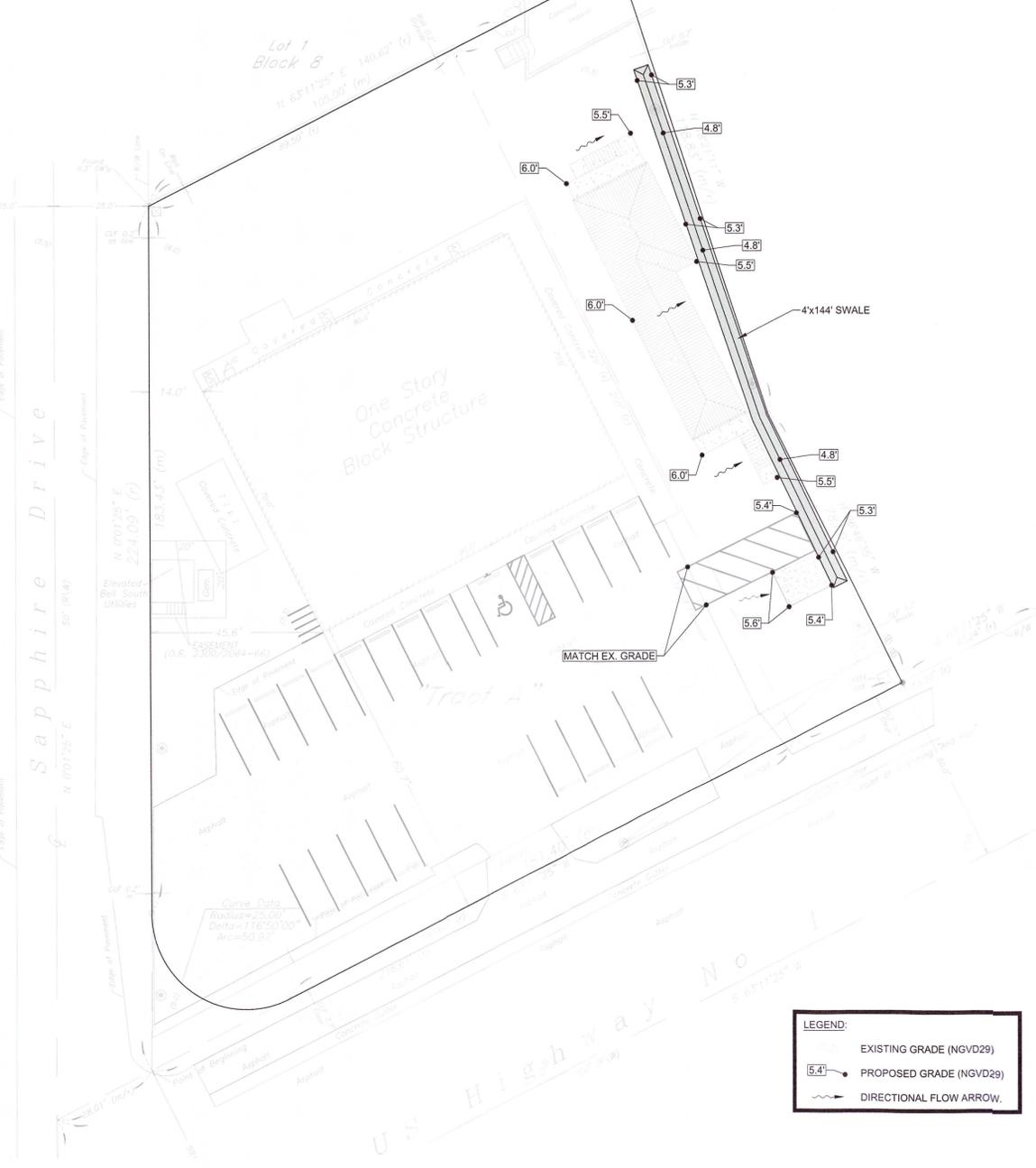
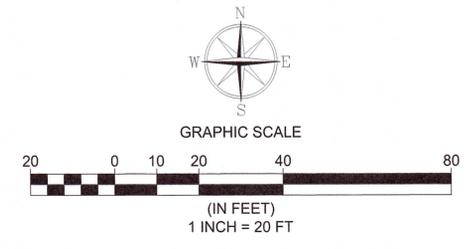
1 CU. FT / FT
 144 LINEAR FT = 144 CF PROVIDED



2 SWALE DETAIL
 SCALE: N.T.S.

WATER QUANTITY - PREDEVELOPMENT
 PROJECT AREA 0.80 AC
 PERVIOUS AREA 0.31 AC
 IMPERVIOUS AREA 0.49 AC
 % IMPERVIOUS 60.94%
 RAINFALL FOR 25YR/72 HR EVENT (P) 11.00 IN
 DEPTH TO WATER TABLE 2.85 FT
 UNDEVELOPED AVAILABLE STORAGE 1.88 IN
 SOIL STORAGE (S) 0.73 IN
 QPRE = (P - 0.2S)^2 / (P + 0.8S) [25YR/72HR] 10.17 IN

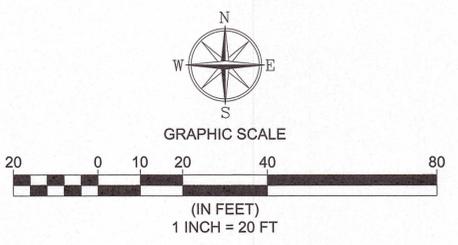
WATER QUANTITY - POSTDEVELOPMENT
 PROJECT AREA 0.80 AC
 PERVIOUS AREA 0.30 AC
 IMPERVIOUS AREA 0.50 AC
 % IMPERVIOUS 62.72%
 RAINFALL FOR 25YR/72HR EVENT (P) 11.00 IN
 DEPTH TO WATER TABLE 2.85 FT
 DEVELOPED AVAILABLE STORAGE 1.88 IN
 SOIL STORAGE (S) 0.70 IN
 QPOST = (P - 0.2S)^2 / (P + 0.8S) [25YR/72HR] 10.20 IN



LEGEND:

(Symbol)	EXISTING GRADE (NGVD29)
(Symbol)	PROPOSED GRADE (NGVD29)
(Symbol)	DIRECTIONAL FLOW ARROW.

1 PROPOSED DRAINAGE PLAN
 SCALE: 1" = 20'-0"



1 PROPOSED LANDSCAPE PLAN
L-1.0 SCALE: 1" = 20'-0"

LEGEND:

- ✱ CHRISTMAS PALM (GROUP OF 3) - (NON NATIVE) - EXISTING
- FOUNTAIN GRASS - (NON NATIVE) - EXISTING
- ARECA PALM GROUP - (NON NATIVE) - EXISTING
- ⊙ FISHTAIL PALM GROUP - (NON NATIVE) - EXISTING
- SABAL PALMETTO - (NATIVE) - CANOPY
- ⊙ THRINAX MORRISII - (NATIVE) - UNDERSTORY
- ✱ JAMAICA CAPER - (NATIVE) - SHRUB

NOTE: PLANTS LISTED BE BE USED AS ALTERNATIVES TO PLANTS LISTED ON PLAN. ALL PLANTS LISTED ARE NATIVE SPECIES.

SCIENTIFIC NAME :	SCIENTIFIC NAME :	COMMON NAME :	SIZE :	NOTES :	SUN EXPOSURE :
CANOPY	BURSERIA SIMARUBA COCOLOBA DIVERSIFOLIA CONOCARPUS ERECTUS SWEIETENIA MAHAGONI PISCIDIA PISCIPULA	GUMBO LIMBO TREE PIGEON PLUM GREEN BUTTWOOD MAHOGONY JAMAIACAN DOGWOOD	40' - 50' (25'-30' SP.) 15' - 40' (20'-35' SP.) 15' - 40' (10' - 25' SP.) 40' - 50' (40'-60' SP.) 30' - 50'	SHADE AND ORNAMENTAL, RECOMMENDED AS A GOOD HURRICANE RESISTANT TREE EXCELLENT ORNAMENTAL TREE, IS RESISTANT TO WIND, SALT CONDITIONS AND DROUGHT SALT AND WIND TOLERANT, BEST SURVIVOR UNDER SEVER SUN CONDITIONS RESISTANT TO WIND DAMAGE, LARGE CANOPY SHADE TREE HIGHLY DROUGHT TOLERANT	PARTIAL SHADE OR FULL PARTIAL SHADE OR FULL PARTIAL SHADE OR FULL FULL SUN FULL SUN
UNDERSTORY	CLUSEA ROSEA GUAIACUM SANCTUM CONOCARPUS ERECTUS 'SILVER'	PITCH APPLE, AUTOGRAPH TREE LIGNUMVITAE SILVER BUTTWOOD	20' - 30' (8'-15' SP.) 8' - 12' (8'-12' SP.) 15' - 25'	SMALL TREE, GOOD PARKING LOTS SLOW GROWING SMALL TREE SALT AND WIND TOLERANT, BEST SURVIVOR UNDER SEVER SUN CONDITIONS	FULL TO PARTIAL SUN, SHADE FULL TO PARTIAL SUN PARTIAL SHADE OR FULL SUN
SHRUB	MYRCIANTHES FRAGANS CHRYSOBALANUS ICACO CAPPARIS CYNOPHALLAPHORA HAMELIA PATENS PSYCHOTRIA NERVOSA	SIMPSON'S STOPPER COCOPLUM JAMAICA CAPER FIREBUSH WILD COFFEE	6' - 20' 10' - 20' 6' - 20' (8'-12' SP.) 5' - 15' 4' - 6'	SMALL SCALE, AVOID DENSE PLANTINGS, GOOD FOR GROUND COVER GREAT USE FRO HEDGE AND HAS A GREAT GREEN COLOR FOLIAGE GREAT UNDERSTORY TREE IN PARTIAL SHADE/PARTIAL BEST USED FOR MASSING, CAN GET VERY LARGE NATIVE, GOOD FOR WET OR DRY	FULL SUN TO PARTIAL SHADE FUN SUN SHADE TO PARTIAL SUN SHADY TO LOW SUN SUN TO PARTIAL SHADE

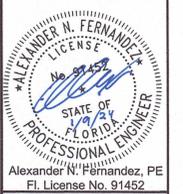
LANDSCAPE BUFFERYARD REQUIREMENTS	CANOPY		UNDERSTORY		SHRUB	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED	REQUIRED	PROPOSED
US 1 MAJOR STREET BUFFER CLASS C BUFFER - 10 FT (222 FT)	(5 / 100 FT) 12 PLANTS	12 NEW	(2 / 100 FT) 5 PLANTS	5 NEW	(20 / 100 FT) 45 PLANTS	45 NEW
SC / IS DISTRICT BOUNDARY BUFFER CLASS D BUFFER - 20 FT (141 FT)	(6.6 / 100 FT) 10 PLANTS	10 NEW	(3.3 / 100 FT) 5 PLANTS	5 NEW	(28 / 100 FT) 40 PLANTS	40 NEW



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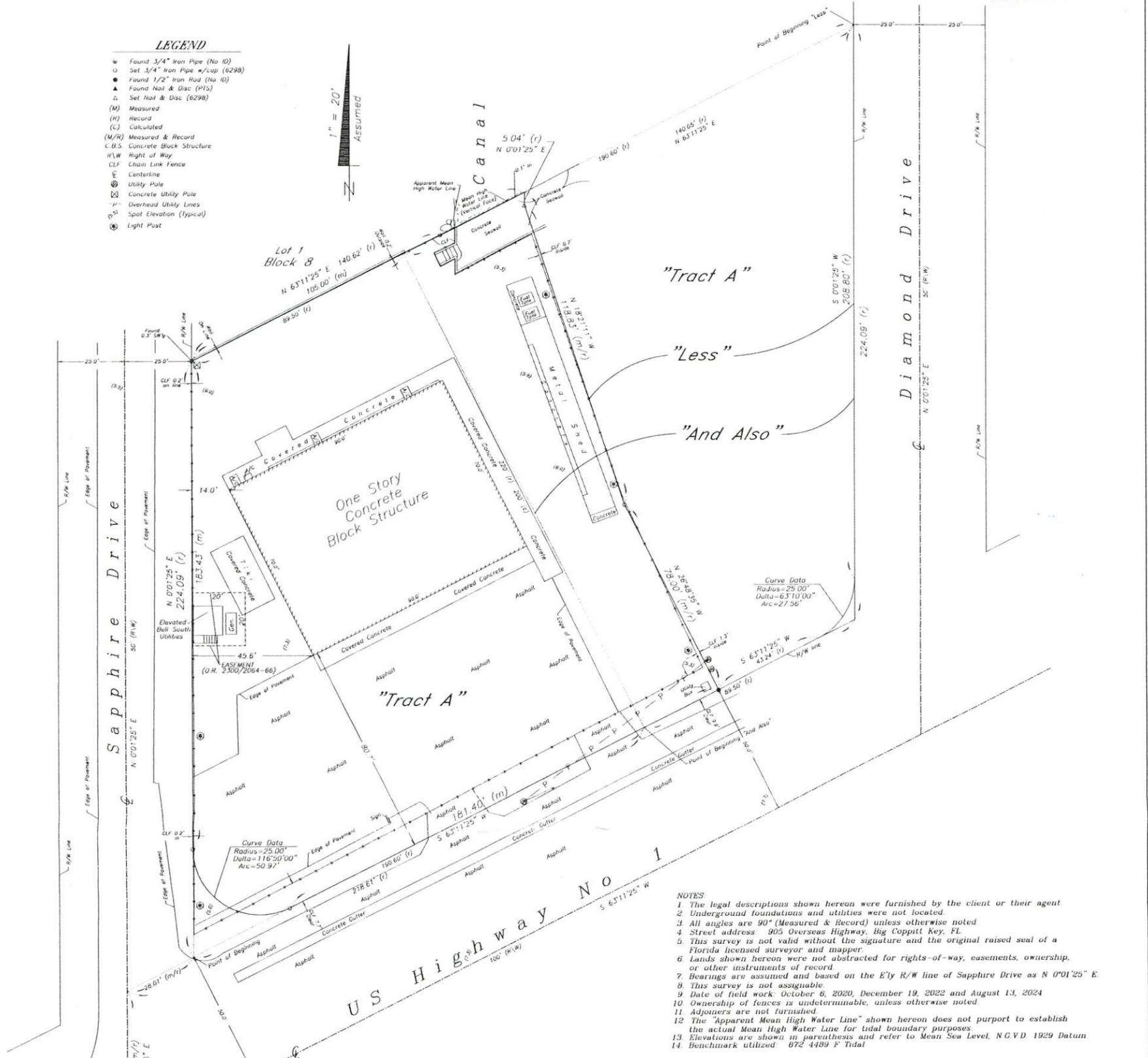
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Title:
PROPOSED LANDSCAPE PLAN

Sheet:
L-1.0

Date: 12.13.2024

- LEGEND**
- Found 3/4" Iron Pipe (No ID)
 - Set 3/4" Iron Pipe w/Cap (6298)
 - Found 1/2" Iron Rod (No ID)
 - ▲ Found Nail & Disc (PLS)
 - △ Set Nail & Disc (6298)
 - (M) Measured
 - (H) Record
 - (C) Calculated
 - (M/R) Measured & Record
 - C.B.S. Concrete Block Structure
 - R/W Right of Way
 - CLF Chain Link Fence
 - Contourline
 - Utility Hole
 - Concrete Utility Pole
 - Overhead Utility Lines
 - Spot Elevation (Typical)
 - Light Post



- NOTES**
1. The legal descriptions shown herein were furnished by the client or their agent
 2. Underground foundations and utilities were not located
 3. All angles are 90° (Measured & Record) unless otherwise noted
 4. Street address: 905 Overseas Highway, Big Coppitt Key, FL
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown herein were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. Bearings are assumed and based on the E/W R/W line of Sapphire Drive as N 0°01'25" E. This survey is not assignable.
 8. Date of field work: October 8, 2020, December 19, 2022 and August 13, 2024
 9. Ownership of fences is undeterminable, unless otherwise noted
 10. Adjoiners are not furnished.
 11. The "Apparent Mean High Water Line" shown herein does not purport to establish the actual Mean High Water Line for tidal boundary purposes.
 12. Elevations are shown in parenthesis and refer to Mean Sea Level, NGVD 1929 Datum
 13. Benchmark utilized: 872 4489 F Tidal

BOUNDARY SURVEY OF:
Part of Tract A of Porpoise Point Section Five, recorded in plat thereof recorded in Plat Book 5, Page 119, in the office of the Clerk of the Court, in and for Monroe County, Florida, said part or portion being described as follows:
Beginning at the intersection of the centerline of U.S. Highway No. 1 and the centerline of Sapphire Drive a distance of 56.02 feet, thence proceeding in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 224.09 feet to a point, which is the Northwest corner of said Tract A, thence in a Northerly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 218.61 feet to a point, which is the Northeast corner of said Tract A, thence in a Southeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 190.60 feet to the point or place of beginning.

AND ALSO:
Part of Tract A of Porpoise Point, Section 5, according to the plat thereof recorded in Plat Book 5, Page 119, in the office of the Clerk of the Circuit Court, in and for Monroe County, Florida, said part or portion being described as follows:
Beginning at the intersection of the centerline of U.S. Highway No. 1 and the centerline of Sapphire Drive as depicted upon said plat of subdivision and proceeding thence in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 56.02 feet, thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 218.61 feet to the point of beginning, thence proceed in a Northerly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 89.50 feet to a point, which is the Southeast corner said Tract A; thence proceed in a Northerly direction and parallel to the centerline of Diamond Drive, a distance of 224.09 feet to a point which is the Northeast corner of said Tract A; thence in a Southeasterly direction and parallel with the centerline of U.S. Highway No. 1 a distance of 190.60 feet to a point; thence at right angles proceed in a Southeasterly direction a distance of 220 feet to point or place of beginning.

LESS:
A parcel of land being a portion of Tract A as shown on the Plat of Porpoise Point Section Five, recorded in Plat Book 5, Page 119, Public Records of Monroe County, Florida and being more particularly described as follows:
Beginning at Northeast corner of Tract A of the above mentioned plat; thence South 0 degrees, 01 minutes, 25 seconds West along the West right-of-way line of Diamond Drive 208.80 feet to the beginning of a curve, concave to the Northwest having a radius of 25.00 feet and a right-of-way line of Diamond Drive 208.80 feet to the beginning of a curve, concave to the Northwest having a radius of 25.00 feet and a central angle of 63 degrees 10 minutes, 00 seconds; thence Southwesterly along the arc of said curve 27.56 feet to a point on the Northerly right-of-way line of U.S. Highway No. 1; thence South 63 degrees, 11 minutes, 25 seconds West along said right-of-way line 43.24 feet; thence North 26 degrees, 48 minutes, 35 seconds West 78.00 feet; thence North 18 degrees 21 minutes 11 seconds West 118.83 feet; thence North 0 degrees, 01 minutes, 25 seconds East 5.04 feet to a point on the Southerly right-of-way line of a 50 feet wide canal, said point also being on the centerline of said canal; thence North 63 degrees 11 minutes, 25 seconds East 140.05 feet to the Point of Beginning of the herein described Parcel.

BOUNDARY SURVEY FOR: Florida Keys Electric, Inc.; Raymond Vazquez;
First State Bank of the Florida Keys;
The Closing Department, Inc.;
Westcor Land Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

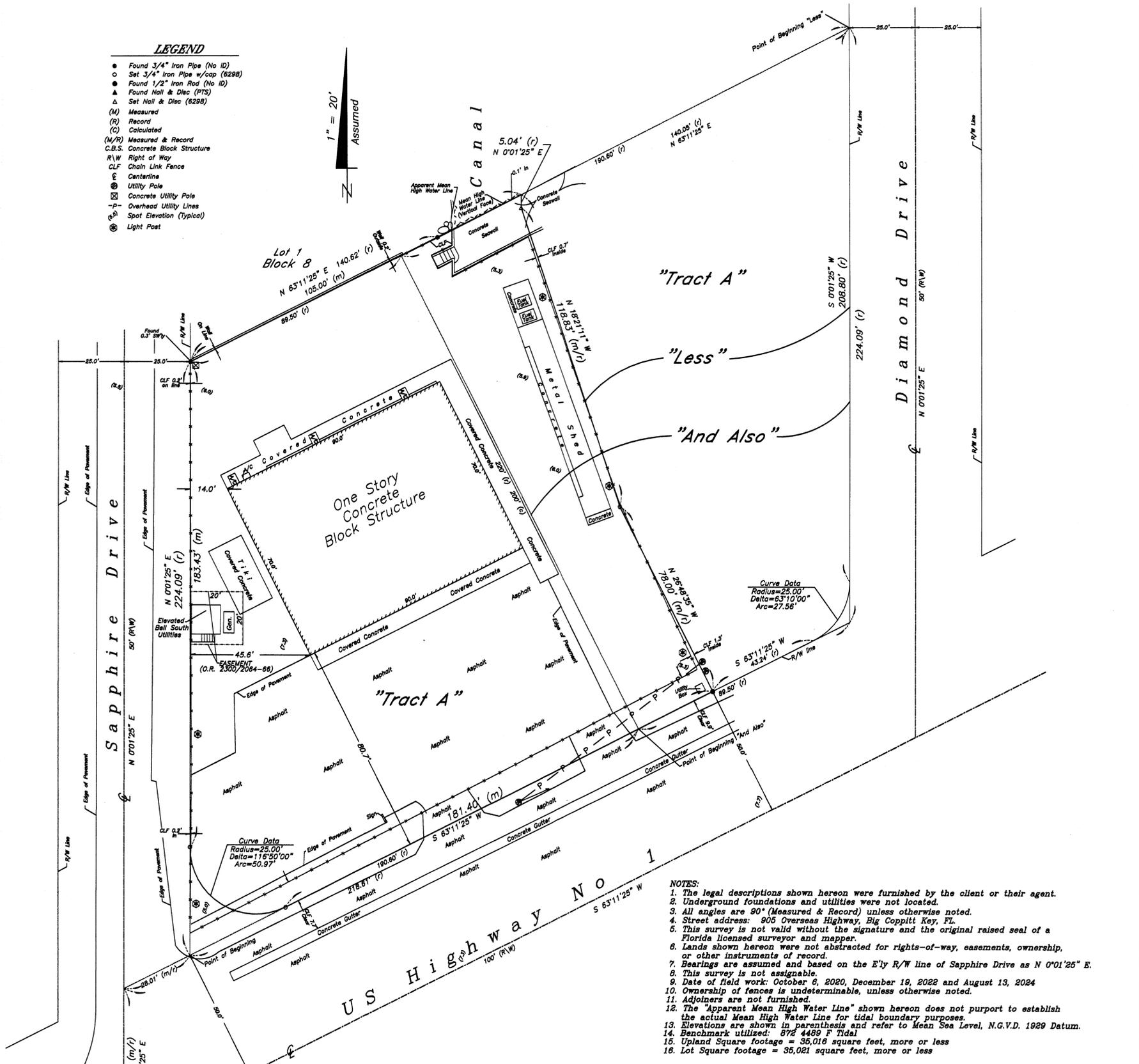
J. LYNN O'FLYNN, INC.
Janet L. O'Flynn
J. Lynn O'Flynn, PSM
Florida Reg #6298
October 18, 2020

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY J. LYNN O'FLYNN, PSM ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



<p>Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.</p> <p>J. LYNN O'FLYNN, Inc. Professional Surveyor & Mapper PSM #6298 3430 Duck Ave., Key West, FL 33040 (305) 296-7422 FAX (305) 296-2244</p>	<p>Boundary Survey Map of Part of Tract A, Porpoise Point, Section 5 according to Plat Book 5, Page 119</p>	<p>DRAWN BY: JLO</p>	<p>REVISIONS: 1. Updated 2. Updated</p>	<p>DATE: 12-20-22 8-14-24</p>	<p>SHEET: 1</p>
		<p>CHECKED BY: DD</p>	<p>DATE: 10-18-20</p>	<p>DATE: 10-18-20</p>	<p>SHEET: 1</p>

- LEGEND**
- Found 3/4" Iron Pipe (No ID)
 - Set 3/4" Iron Pipe w/cap (6298)
 - Found 1/2" Iron Rod (No ID)
 - ▲ Found Nail & Disc (PTS)
 - ▲ Set Nail & Disc (6298)
 - (M) Measured
 - (R) Record
 - (C) Calculated
 - (M/R) Measured & Record
 - C.B.S. Concrete Block Structure
 - R/W Right of Way
 - CLF Chain Link Fence
 - ⊕ Centerline
 - ⊕ Utility Pole
 - ⊕ Concrete Utility Pole
 - Overhead Utility Lines
 - ⊕ Spot Elevation (Typical)
 - ⊕ Light Post



- NOTES:**
1. The legal descriptions shown hereon were furnished by the client or their agent.
 2. Underground foundations and utilities were not located.
 3. All angles are 90° (Measured & Record) unless otherwise noted.
 4. Street address: 905 Overseas Highway, Big Coppitt Key, FL.
 5. This survey is not valid without the signature and the original raised seal of a Florida licensed surveyor and mapper.
 6. Lands shown hereon were not abstracted for rights-of-way, easements, ownership, or other instruments of record.
 7. Bearings are assumed and based on the Ely R/W Line of Sapphire Drive as N 0°01'25" E.
 8. This survey is not assignable.
 9. Date of field work: October 6, 2020, December 19, 2022 and August 13, 2024
 10. Ownership of fences is undeterminable, unless otherwise noted.
 11. Adjoiners are not furnished.
 12. The "Apparent Mean High Water Line" shown hereon does not purport to establish the actual Mean High Water Line for tidal boundary purposes.
 13. Elevations are shown in parenthesis and refer to Mean Sea Level, N.G.V.D. 1929 Datum.
 14. Benchmark utilized: 87E 4489 F Tidal
 15. Upland Square footage = 36,016 square feet, more or less
 16. Lot Square footage = 35,021 square feet, more or less

BOUNDARY SURVEY OF:
Part of Tract A of Porpoise Point Section Five, recorded in plat thereof recorded in Plat Book 5, Page 119, in the office of the Clerk of the Court, in and for Monroe County, Florida, said part or portion being described as follows:
Beginning at the intersection of the centerline of U.S. Highway No. 1 and the centerline of Sapphire Drive as depicted upon said plat of subdivision and proceeding thence in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 56.02 feet; thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No.1 a distance of 28.01 to the Point of Beginning, which point is the Southwesterly corner of said Tract A; thence in a Northerly direction and parallel with the centerline of Sapphire Drive 224.09 feet to a point, which is the Northwest corner of said Tract A; thence in a Northeasterly direction and parallel with the centerline of U.S. Highway No.1 89.50 feet; thence at right angles to said last mentioned course and in a Southeasterly direction 200 feet to the Northwesterly right-of-way line of U.S. Highway No.1; thence at right angles in a Southwesterly direction along the Northwesterly right-of-way line of U.S. Highway No.1, 190.60 feet to the point or place of beginning.

ALSO:
Part of Tract A of Porpoise Point, Section 5, according to the plat thereof recorded in Plat Book 5, Page 119, in the office of the Clerk of the Circuit Court, in and for Monroe County, Florida, said part or portion being described as follows:
Beginning at the intersection of the centerline of U.S. Highway No.1 and the centerline of Sapphire Drive as depicted upon said plat of subdivision and proceeding thence in a Northerly direction and parallel with the centerline of Sapphire Drive a distance of 56.02 feet; thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No.1 a distance of 218.61 to the point of beginning; thence proceeding in a Northeasterly direction and parallel with the centerline of U.S. Highway No.1 a distance of 89.50 feet to a point, which is the Southeast corner said Tract A; thence proceed in a Northerly direction and parallel to the centerline of Diamond Drive, a distance of 224.09 feet to a point which is the Northeast corner of said Tract A; thence in Southwesterly direction and parallel with the centerline of U.S. Highway No.1 a distance of 190.60 to a point; thence at right angles proceed in a Southeasterly direction a distance of 220 feet to point or place of beginning.

LESS:
A parcel of land being a portion of Tract A as shown on the Plat of Porpoise Point Section Five, recorded in Plat Book 5, Page 119, Public Records of Monroe County, Florida and being more particularly described as follows:
Beginning at Northeast corner of Tract A of the above mentioned plat; thence South 0 degrees, 01 minutes, 25 seconds West along the West right-of-way line of Diamond Drive 208.80 feet to the beginning of a curve, concave to the Northwest having a radius of 25.00 feet and a central angle of 83 degrees 10 minutes, 00 seconds; thence Southwesterly along the arc of said curve 27.56 feet to a point on the Northerly right-of-way line of U.S. Highway No. 1; thence South 63 degrees, 11 minutes, 25 seconds West along said right-of-way line 43.24 feet; thence North 26 degrees, 48 minutes, 35 seconds West 78.00 feet; thence North 18 degrees 21 minutes 11 seconds West 118.83 feet; thence North 0 degrees, 01 minutes, 25 seconds East 5.04 feet to a point on the Southerly right-of way line of a 50 feet wide canal, said point also being on the centerline of said canal; thence North 63 degrees 11 minutes, 25 seconds East 140.05 feet to the Point of Beginning of the herein described Parcel.

BOUNDARY SURVEY FOR: Florida Keys Electric, Inc.; Raymond Vazquez;
First State Bank of the Florida Keys;
The Closing Department, Inc.;
Westcor Land Title Insurance Company;

I HEREBY CERTIFY that this survey was made under my responsible charge and meets the Standard of Practice as set forth by the Florida Board of Professional Surveyors & Mappers in Chapter 5J-17, Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

J. LYNN O'FLYNN, INC.
Digitally signed by Janet L.
O'Flynn
Date: 2025.05.05 12:46:49
J. Lynn O'Flynn, PSM
Florida Reg. #6298
October 18, 2020

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY J. LYNN O'FLYNN, PSM ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



Not valid without the signature and original raised seal of a Florida licensed Surveyor and Mapper.

J. LYNN O'FLYNN, Inc.
Professional Surveyor & Mapper
PSM #6298
3430 Duck Ave., Key West, FL 33040
(305) 296-7422 FAX (305) 296-2444

Boundary Survey Map of
Part of Tract A, Porpoise
Point, Section 5 according to
Plat Book 5, Page 119

DRAWN BY: JLO
CHECKED BY: DD
DATE: 10-18-20

REVISIONS:
1. Updated 12-20-22
2. Updated 8-14-24
3. Add square feet 5-2-25
4.
5.
6.
7.

DATE: 10-18-20

SHEET: 1
OF: 1

AMENDMENT TO CONDITIONAL USE (MINOR CONDITIONAL USE)
FOR
**905 OVERSEAS HIGHWAY
OFFICE SUPPLY STORAGE**

PART OF SECTION 22, TOWNSHIP 67, RANGE 26
BIG COPPITT KEY, FLORIDA

SITE INFORMATION

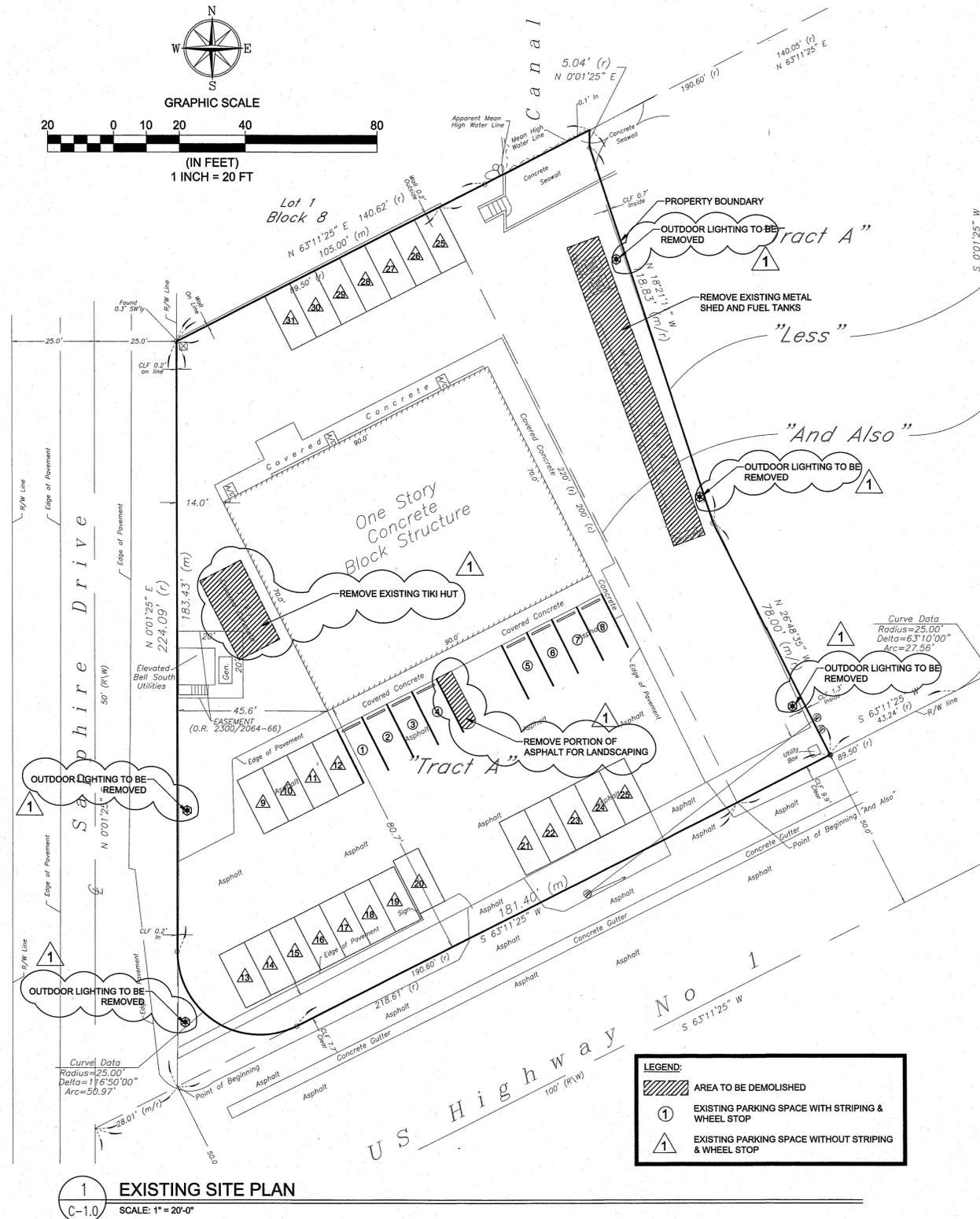
ADDRESS: 905 OVERSEAS HIGHWAY, BIG COPPITT KEY
RE #: 00156310-000000
LEGAL DESCRIPTION: PT TRACT A PORPOISE POINT SECTION FIVE PB5-119 BIG COPPITT KEY
OWNER: FLORIDA KEYS ELECTRIC INC.
ZONING: SC (SUBURBAN COMMERCIAL)
TIER DESIGNATION: TIER II (INFILL AREA)
F.L.U.M.: MC (MIXED USE/COMMERCIAL)
FLOOD ZONE: AE
BASE FLOOD ELEVATION: +10.0' NGVD1929
DESIGN FLOOD ELEVATION: + 11.0' NGVD1929
F.I.R.M.:
COMMUNITY NUMBER: 125129
MAP NUMBER: 12087C
PANEL: 1532
SUFFIX: K
DATE: 02-18-05
SETBACKS:
PRIMARY FRONT: 25 FT
SECONDARY FRONT: 15 FT
SIDE YARD: 10 FT; 5 FT
REAR YARD: 10 FT
SHORELINE: 20 FT

SCOPE OF WORK

BUILD A NEW, 2 STORY ACCESSORY STRUCTURE TO BE USED AS ADDITIONAL STORAGE SPACE FOR THE EXISTING BUILDING.

INDEX OF DRAWINGS

SHEET	TITLE
C-1.0	COVER SHEET & EXISTING SITE PLAN
C-2.0	PROPOSED SITE PLAN
C-3.0	PROPOSED DRAINAGE PLAN
L-1.0	PROPOSED LANDSCAPE PLAN
A-1.0	ARCHITECTURAL FLOOR PLANS
A-1.1	ARCHITECTURAL ROOF PLAN
A-2.0	BUILDING ELEVATIONS
A-2.1	BUILDING ELEVATIONS



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alex@atlanticegflkeys.com

OFFICE SUPPLY STORAGE
FOR
FLORIDA KEYS ELECTRIC INC.
905 OVERSEAS HWY, BIG COPPITT KEY, FL

REVISIONS:	REMARKS
No.	COUNTY COMMENTS
1	



Alexander N. Fernandez, PE
Fl. License No. 91452
Title:
COVER SHEET & EXISTING SITE PLAN
Sheet:
C-1.0
Date: 12.13.2024

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2025-022
SEP 03 2025
MONROE COUNTY
PLANNING DEPT.



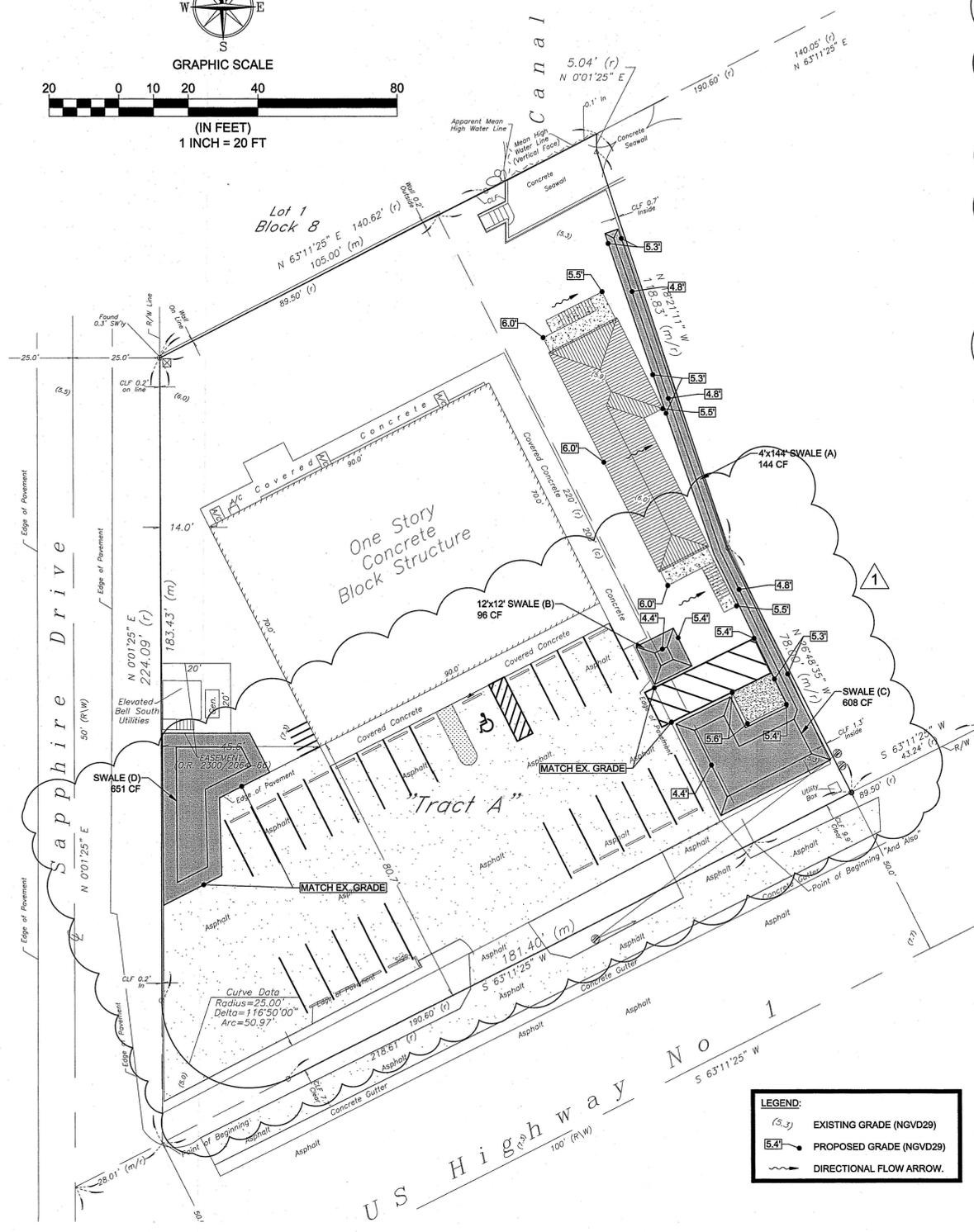
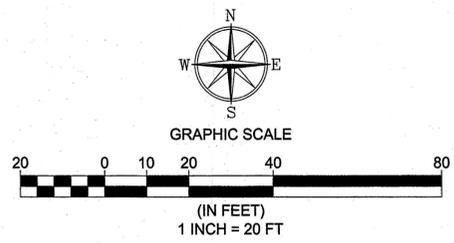
Alexander N. Fernandez, PE
 5582 1st Avenue Unit 102
 Key West, FL 33040
 305-395-0521
 alex@atlanticegfl.com

OFFICE SUPPLY STORAGE
 FOR
 FLORIDA KEYS ELECTRIC INC.
 905 OVERSEAS HWY, BIG COPPITT KEY, FL

NO.	DATE	REVISIONS/REMARKS
1	6/26/2025	COUNTY COMMENTS

RECEIVED
 2025-034
 SEP 03 2025
 MONROE COUNTY PLANNING DEPT.

Alexander N. Fernandez, PE
 FL License No. 91452
 Title: PROPOSED DRAINAGE PLAN
 Sheet: C-3.0
 Date: 12.13.2024



LEGEND:

(5.3)	EXISTING GRADE (NGVD29)
5.4	PROPOSED GRADE (NGVD29)
→	DIRECTIONAL FLOW ARROW.

1 PROPOSED DRAINAGE PLAN
 C-3.0 SCALE: 1" = 20'-0"

WATER QUANTITY - PREDEVELOPMENT

PROJECT AREA	0.80 AC
PERVIOUS AREA	0.31 AC
IMPERVIOUS AREA	0.49 AC
% IMPERVIOUS	60.95%
RAINFALL FOR 25YR/24 HR EVENT (P)	8.00 IN
DEPTH TO WATER TABLE	2.85 FT
UNDEVELOPED AVAILABLE STORAGE	1.88 IN
SOIL STORAGE (S)	0.73 IN
QPRE = (P - 0.2S)^2 / (P + 0.8S) [25YR/24HR]	7.18 IN

WATER QUANTITY - POSTDEVELOPMENT

PROJECT AREA	0.80 AC
PERVIOUS AREA	0.31 AC
IMPERVIOUS AREA	0.49 AC
% IMPERVIOUS	61.43%
RAINFALL FOR 25YR/24HR EVENT (P)	8.00 IN
DEPTH TO WATER TABLE	2.85 FT
DEVELOPED AVAILABLE STORAGE	1.88 IN
SOIL STORAGE (S)	0.73 IN
QPOST = (P - 0.2S)^2 / (P + 0.8S) [25YR/24HR]	7.19 IN

POSTDEVELOPMENT - PREDEVELOPMENT

QPOST - QPRE [25YR/24HR]	0.0095 IN
VOLUME = QA [25YR/24HR]	0.0076 IN 0.000634 AC-FT

WATER QUALITY

PROJECT AREA	0.8039 AC
NEW IMPERVIOUS AREA	0.0039 AC
% NEW IMPERVIOUS	0.49%

2.5 INCHES * % NEW IMPERVIOUS * TOT. PROJ. AREA 0.000814 AC-FT

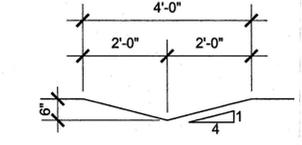
WATER QUANTITY VS. WATER QUALITY

QUANTITY	QUALITY
0.000634 AC-FT	0.00081 AC-FT

SWALE VOLUME REQUIRED

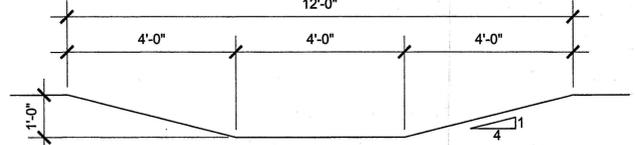
35.44 CU. FT	0.00081 AC-FT
--------------	---------------

1 CU. FT / FT
 144 LINEAR FT = 144 CF PROVIDED



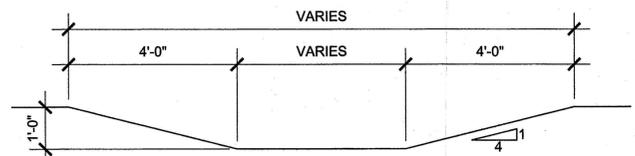
2 SWALE DETAIL (A)
 C-3.0 SCALE: N.T.S.

8 CU. FT / FT
 12 LINEAR FT = 96 CF PROVIDED

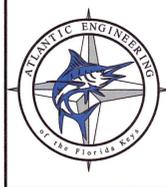


3 SWALE DETAIL (B)
 C-3.0 SCALE: N.T.S.

SWALE (C) VOLUME = 608 CF
 SWALE (D) VOLUME = 651 CF



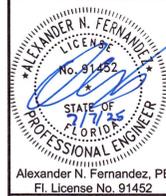
4 SWALE DETAIL (B)
 C-3.0 SCALE: N.T.S.



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 305-395-0521
 alex@atlanticeingflkeys.com

OFFICE SUPPLY STORAGE
 FOR
 FLORIDA KEYS ELECTRIC INC.
 905 OVERSEAS HWY, BIG COPPITT KEY, FL

No.	DATE	COUNTY COMMENTS	REVISIONS
1	6.25.2025		



Alexander N. Fernandez, PE
 FL License No. 91452
 Title: PROPOSED LANDSCAPE PLAN
 Sheet: L-1.0
 Date: 12.13.2024

NOTE: PLANTS LISTED BE BE USED AS ALTERNATIVES TO PLANTS LISTED ON PLAN. ALL PLANTS LISTED ARE NATIVE SPECIES.

SCIENTIFIC NAME :	SCIENTIFIC NAME :	COMMON NAME :	SIZE :	NOTES :	SUN EXPOSURE :
CANOPY	BURSERIA SIMARUBA COCCOLOBA DIVERSIFOLIA CONOCARPUS ERECTUS SWEIETENIA MAHAGONI PISCIDIA PISCIPULA	GUMBO LIMBO TREE PIGEON PLUM GREEN BUTTONWOOD MAHOGONY JAMAICAN DOGWOOD	40' - 50' (25'-30' SP.) 15' - 40' (20'-35' SP.) 15' - 40' (10' - 25' SP.) 40' - 50' (40'-60' SP.) 30' - 50'	SHADE AND ORNAMENTAL, RECOMMENDED AS A GOOD HURRICANE RESISTANT TREE EXCELLENT ORNAMENTAL TREE, IS RESISTANT TO WIND, SALT CONDITIONS AND DROUGHT SALT AND WIND TOLERANT, BEST SURVIVOR UNDER SEVER SUN CONDITIONS RESISTANT TO WIND DAMAGE, LARGE CANOPY SHADE TREE HIGHLY DROUGHT TOLERANT	PARTIAL SHADE OR FULL PARTIAL SHADE OR FULL PARTIAL SHADE OR FULL FULL SUN FULL SUN
UNDERSTORY	CLUSEA ROSEA GUAIAACUM SANCTUM CONOCARPUS ERECTUS 'SILVER'	PITCH APPLE, AUTOGRAPH TREE LIGNUMVITAE SILVER BUTTONWOOD	20' - 30' (8'-15' SP.) 8' - 12' (8'-12' SP.) 15' - 25'	SMALL TREE, GOOD PARKING LOTS SLOW GROWING SMALL TREE SALT AND WIND TOLERANT, BEST SURVIVOR UNDER SEVER SUN CONDITIONS	FULL TO PARTIAL SUN, SHADE FULL TO PARTIAL SUN PARTIAL SHADE OR FULL SUN
SHRUB	MYRGIANTHES FRAGANS CHRYSOBALANUS ICACO CAPPARIS CYNOPHALLAPHORA HAMELIA PATENS PSYCHOTRIA NERVOSA	SIMPSON'S STOPPER COCOPLUM JAMAICA CAPER FIREBUSH WILD COFFEE	6' - 20' 10' - 20' 6' - 20' (8'-12' SP.) 5' - 15' 4' - 6'	SMALL SCALE, AVOID DENSE PLANTINGS, GOOD FOR GROUND COVER GREAT USE FRO HEDGE AND HAS A GREAT GREEN COLOR FOLIAGE GREAT UNDERSTORY TREE IN PARTIAL SHADE BEST USED FOR MASSING, CAN GET VERY LARGE NATIVE, GOOD FOR WET OR DRY	FULL SUN TO PARTIAL SHADE FULL SUN SHADE TO PARTIAL SUN SHADY TO LOW SUN SUN TO PARTIAL SHADE

LANDSCAPE BUFFERYARD REQUIREMENTS	CANOPY		UNDERSTORY		SHRUB	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED	REQUIRED	PROPOSED
US 1 MAJOR STREET BUFFER - 10 FT (222 FT)	(5 / 100 FT) 12 PLANTS	12 NEW	(2 / 100 FT) 5 PLANTS	5 NEW	(20 / 100 FT) 45 PLANTS	45 NEW
SC / IS DISTRICT BOUNDARY BUFFER - 20 FT (141 FT)	(6.6 / 100 FT) 10 PLANTS	10 NEW	(3.3 / 100 FT) 5 PLANTS	5 NEW	(28 / 100 FT) 40 PLANTS	40 NEW

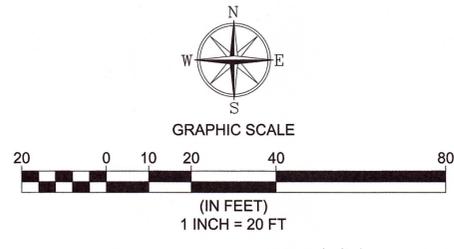
PARKING LOT LANDSCAPING

PARKING LOT AREA = 11000.7 SF
 REQUIRED PARKING LOT LANDSCAPING (20%) = 2200.1 SF
 PROPOSED PARKING LOT LANDSCAPING = 2202.1 SF

1 TREE / 1000 SF = 11 TREES
 4 SHRUBS / 1000 SF = 44 SHRUBS

PARKING LANDSCAPE REQUIREMENTS	CANOPY		UNDERSTORY		SHRUB	
	REQUIRED	PROPOSED	REQUIRED	PROPOSED	REQUIRED	PROPOSED
	6 TREES	6 NEW	5 TREES	5 NEW	44 PLANTS	44 NEW

NOTE: ALTERNATIVE NATIVE PLANTS MAY BE USED SO LONG AS NO MORE THAN 10% CANOPY TREES ARE NATIVE PALMS. ALL SHRUBS IN LANDSCAPE ISLANDS SHALL BE LESS THAN 30". TREES IN LANDSCAPE ISLAND SHALL BE KEPT WITH AT LEAST 4 FT OF CLEAR TRUNK.



LEGEND :

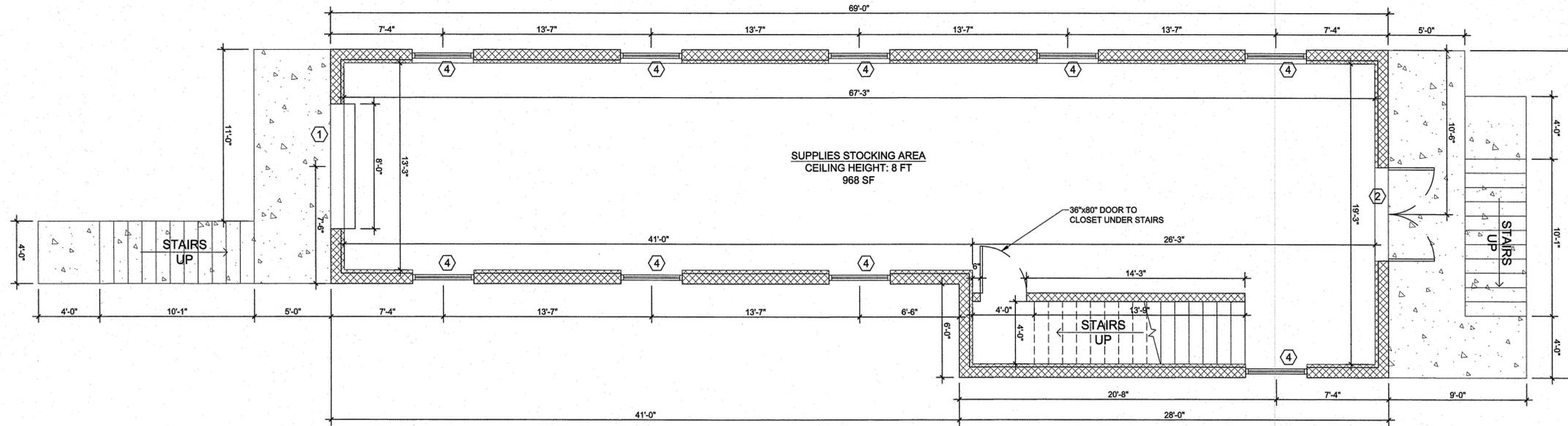
- ★ CHRISTMAS PALM (GROUP OF 3) - (NON NATIVE) - EXISTING
- FOUNTAIN GRASS - (NON NATIVE) - EXISTING
- ARECA PALM GROUP - (NON NATIVE) - EXISTING
- FISHTAIL PALM GROUP - (NON NATIVE) - EXISTING
- SABAL PALMETTO - (NATIVE) - CANOPY
- THRINAX MORRISII - (NATIVE) - UNDERSTORY
- ★ JAMAICA CAPER - (NATIVE) - SHRUB
- GREEN BUTTONWOOD - (NATIVE) - CANOPY
- SILVER BUTTONWOOD - (NATIVE) - UNDERSTORY
- WILD COFFEE - (NATIVE) - SHRUB

1 PROPOSED LANDSCAPE PLAN
 L-1.0 SCALE: 1" = 20'-0"

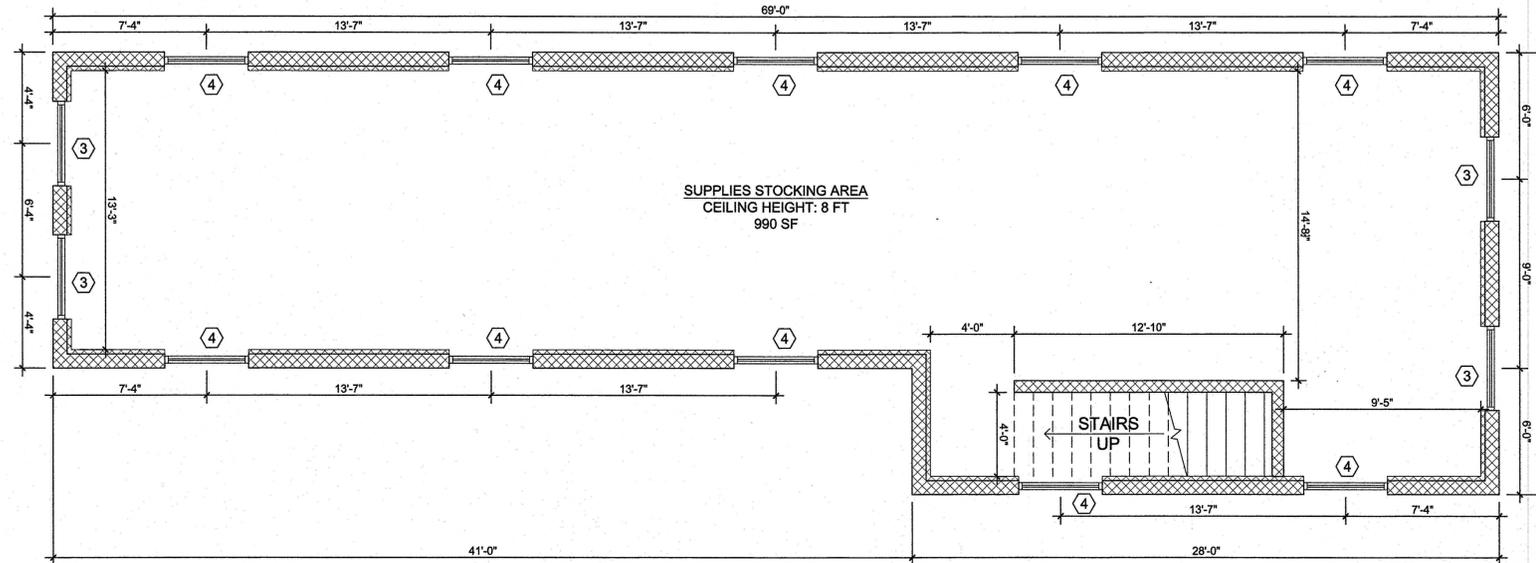
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 2025-022
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 MONROE COUNTY PLANNING DEPT.

DOOR & WINDOW SCHEDULE					
MARK	DESCRIPTION	DIMENSIONS (WxH)	DESIGN PRESSURES PER ASCE 7-16 (PSF)	MANUFACTURER & MODEL NUMBER	WINDLOAD RATING & APPROVAL NUMBER
①	ROLL UP GARAGE DOOR	8'-0" x 6'-8"	+42.5 / -46.6	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
②	FRENCH DOOR	6'-0" x 6'-8"	+43.4 / -47.5	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
③	HORIZONTAL ROLLER	4'-0" x 4'-0"	+46.3 / -60.1	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR
④	HORIZONTAL ROLLER	4'-0" x 3'-0"	+47.2 / -61.2	PROVIDED BY CONTRACTOR	PROVIDED BY CONTRACTOR

- ADDITIONAL NOTES:
 1. CONTRACTOR TO PROVIDE THE NOA'S.
 2. CONTRACTOR TO FIELD VERIFY ALL WINDOW DIMENSIONS.
 3. CONTRACTOR TO FOLLOW ALL MANUF. INSTRUCTIONS FOR INSTALLATION.
 4. ALL WINDOWS AND DOORS SHALL BE IMPACT RATED.



1
A-1.0
1ST FLOOR PLAN
SCALE: 1/4" = 1'-0"



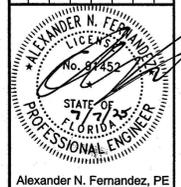
2
A-1.0
2ND FLOOR PLAN
SCALE: 1/4" = 1'-0"



Alexander N. Fernandez, PE
 5582 1st Avenue Unit 102
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OFFICE SUPPLY STORAGE
 FOR
 FLORIDA KEYS ELECTRIC INC.
 905 OVERSEAS HWY, BIG COPPITT KEY, FL

REVISIONS:	REMARKS
No.	DATE
1	6.25.2025

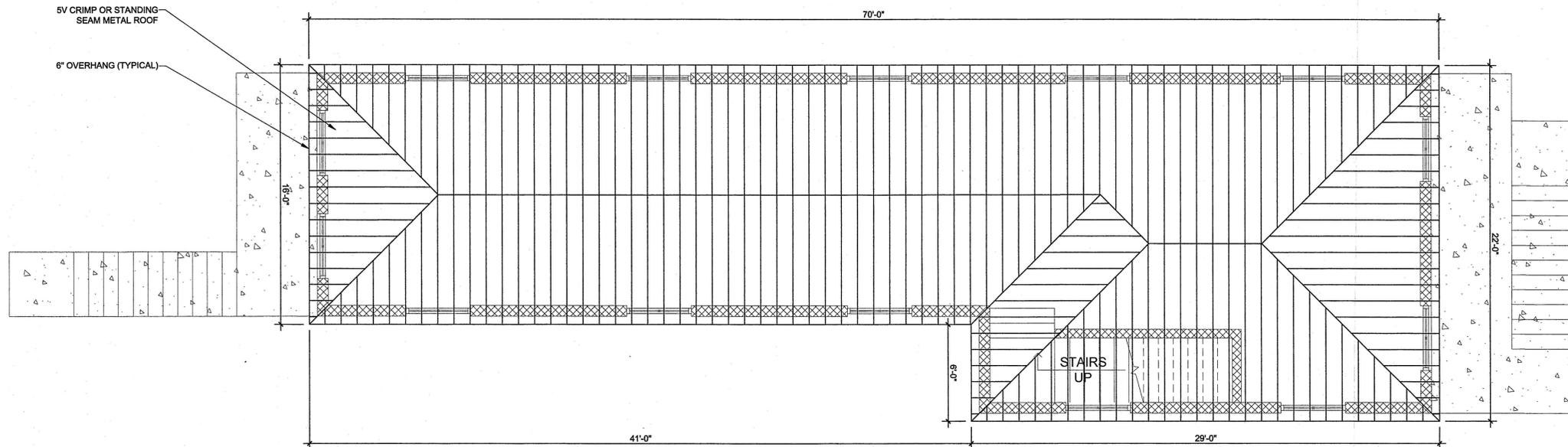


Alexander N. Fernandez, PE
 FL License No. 91452

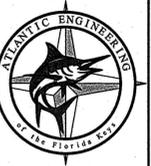
ARCHITECTURAL
 FLOOR PLANS

Sheet:
A-1.0
 Date: 12.13.2024

RECEIVED
 2025-09-03
 SEP 03 2025
 MONROE COUNTY
 PLANNING DEPT.



1 ROOF PLAN
A-1.1 SCALE: 1/4" = 1'-0"



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5582 1st Avenue Unit 102
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305-395-0521
alex@atlanticengflkeys.com

OFFICE SUPPLY STORAGE
FOR
FLORIDA KEYS ELECTRIC INC.
905 OVERSEAS HWY, BIG COPPITT KEY, FL

No.	DATE	REVISIONS:
1	6/26/2025	COUNTY COMMENTS
		REMARKS

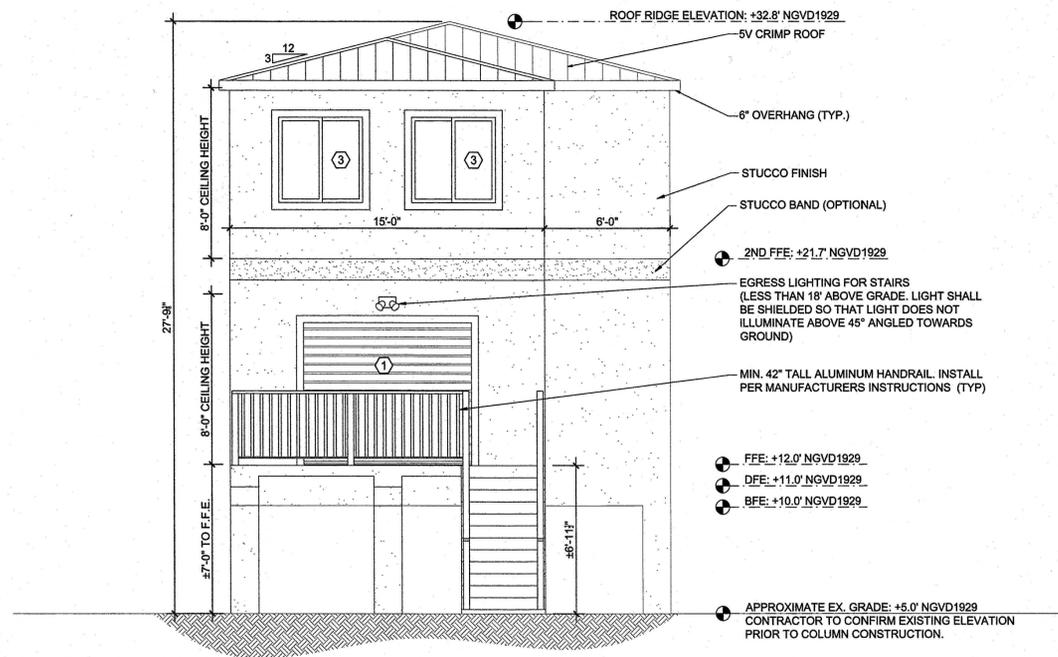


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Fl. License No. 91452

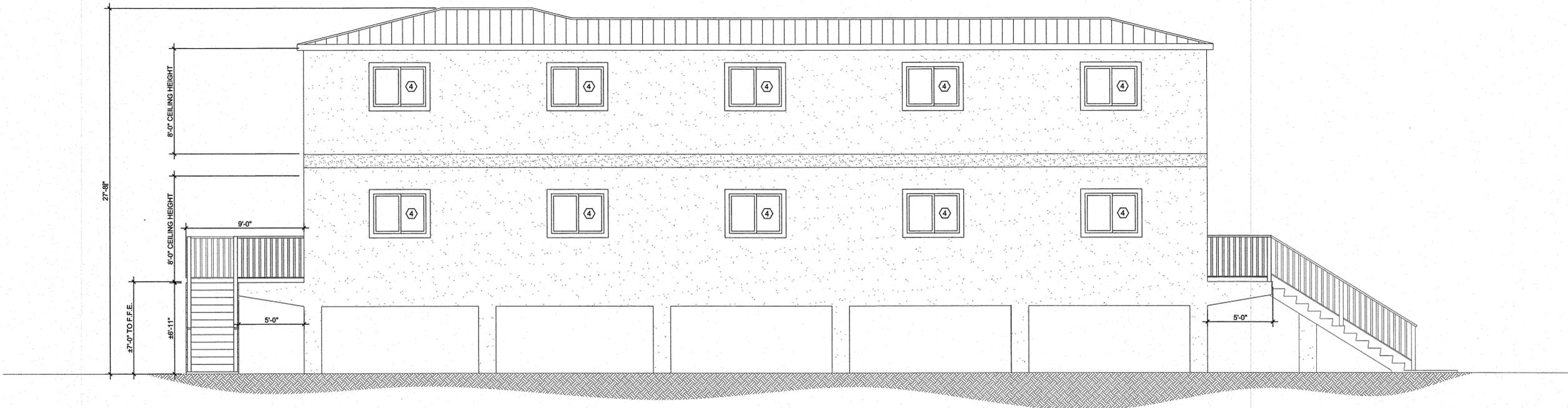
ARCHITECTURAL
ROOF PLAN

Sheet:
A-1.1
Date: 12.13.2024

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MONROE COUNTY
PLANNING DEPT.



1 SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"



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Key West, FL 33040
305-395-0521
alex@atlanticengflkeys.com

OFFICE SUPPLY STORAGE
FOR
FLORIDA KEYS ELECTRIC INC.
905 OVERSEAS HWY, BIG COPPITT KEY, FL

REVISIONS:	REMARKS
No.	DATE
1	8.28.2025
	COUNTY COMMENTS

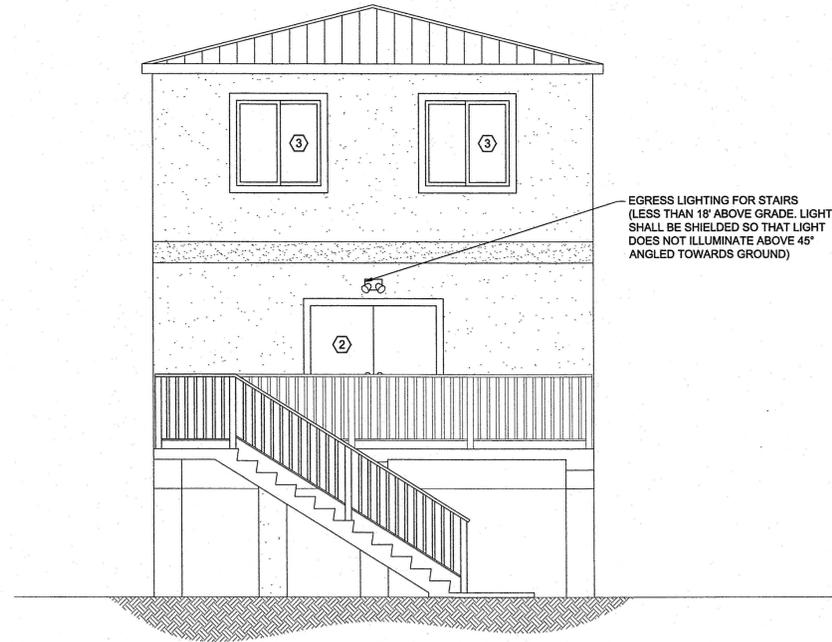


Alexander N. Fernandez, PE
FL License No. 91452

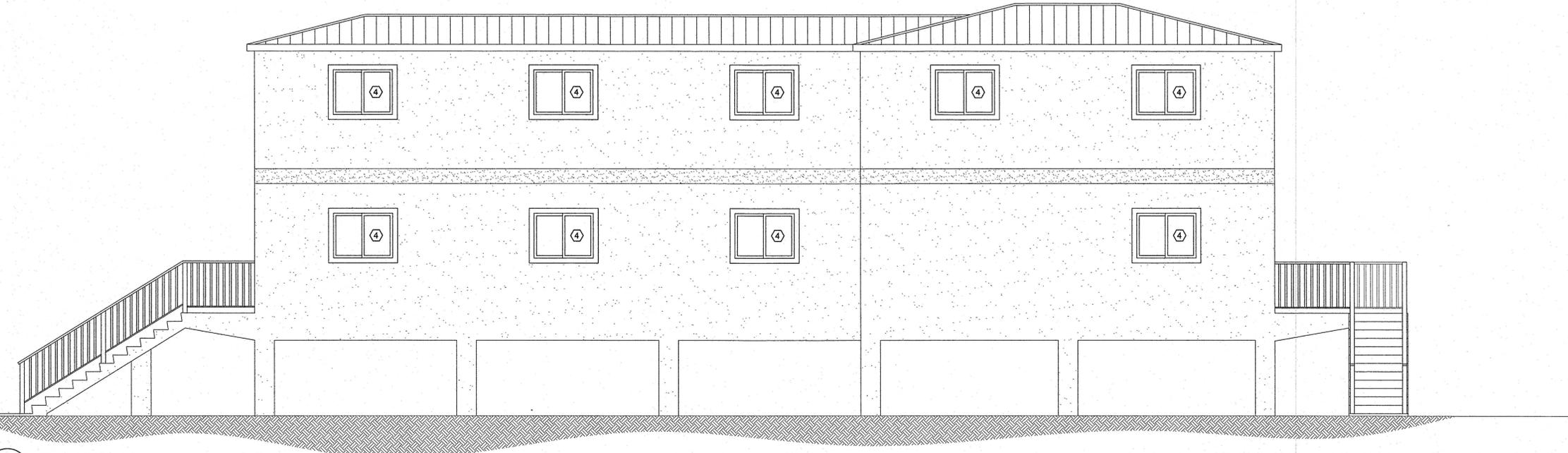
Title:
BUILDING ELEVATIONS

Sheet:
A-2.0
Date: 12.13.2024

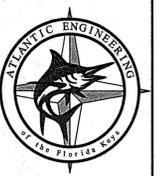
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9025-022
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MONROE COUNTY
PLANNING DEPT.



1 NORTH ELEVATION
 A-2.1 SCALE: 1/4" = 1'-0"



2 EAST ELEVATION
 A-2.1 SCALE: 1/4" = 1'-0"



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Title: BUILDING ELEVATIONS
 Sheet: A-2.1
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