

File #: 2025-112

Owner's Name: 5730 2ND Ave, LLC (Dave Black)

Applicant/Contact: Spottswood Law Firm
(Richard McChesney)

Type of Application: Minor CUP

Key: Stock Island

RE #: 00126290-000000

Additional Information added to File 2025-112

RECEIVED
2025-112
JUL 23 2025

MONROE COUNTY
PLANNING DEPT.

5730 2nd Avenue

Stock Island, Florida

TRAFFIC IMPACT STUDY

prepared for:
Spottswood Spottswood Spottswood Sterling PLLC

KBP CONSULTING, INC.

June 2025

5730 2nd Avenue

Stock Island, Florida

Traffic Impact Study

June 2025

Prepared for:

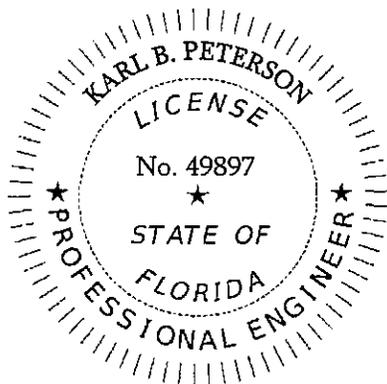
Spottswood Spottswood Spottswood Sterling PLLC

Prepared by:

KBP Consulting, Inc.

APPROVED BY:

THIS DOCUMENT HAS BEEN DIGITALLY SIGNED
AND SEALED BY:



Karl B Peterson 2025.06.24
19:49:43 -04'00'

ON THE DATE ADJACENT TO THE SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST
BE VERIFIED ON ANY ELECTRONIC COPIES.

KBP CONSULTING, INC.
8400 N. UNIVERSITY DRIVE, SUITE 309
TAMARAC, FLORIDA 33321
PH: 954-560-7103
KARL B. PETERSON, P.E. NO. 49897

TABLE OF CONTENTS

INTRODUCTION	1
INVENTORY	3
Existing Land Uses and Access	3
Proposed Land Uses and Access.....	3
EXISTING CONDITIONS.....	4
Existing Roadway Network	4
Existing Traffic Conditions.....	4
TRIP GENERATION	5
TRIP DISTRIBUTION.....	7
TRAFFIC IMPACT ANALYSES	8
Link Analysis	8
US 1 Impacts by Mile Marker	8
SUMMARY & CONCLUSIONS.....	10

- APPENDIX A – Preliminary Site Plan
- APPENDIX B – FDOT Historic Traffic Data
- APPENDIX C – ITE Trip Generation Data
- APPENDIX D – Level of Service and Reserve Capacity Tables

LIST OF FIGURES

FIGURE 1 – Project Location Map	2
---------------------------------------	---

LIST OF TABLES

TABLE 1 – Average Annual Daily Traffic.....	4
TABLE 2 – Trip Generation Analysis.....	6
TABLE 3 – Project Trip Distribution	7
TABLE 4 – Arterial Trip Assignment Summary.....	9

INTRODUCTION

A new building is proposed for a site located on the south side of 2nd Avenue between Maloney Avenue and 2nd Street on Stock Island, Monroe County, Florida. More specifically, the subject site is located at 5730 2nd Avenue near Mile Marker 5 on Overseas Highway / US 1. A Project Location Map is presented in Figure 1 on the following page.

KBP Consulting, Inc. has been retained by Spottswood Spottswood Spottswood Sterling PLLC to conduct a traffic impact study for the proposed building on this site. This study addresses the anticipated trip generation characteristics of the project, the current operating conditions of the surrounding roadway network, the anticipated project traffic impacts along Overseas Highway / US 1 by mile marker, and site access.



FIGURE 1
 5730 2nd Avenue
 Stock Island, Florida

Project Location Map

INVENTORY

Existing Land Uses and Access

The size of the overall site is approximately +/-0.287 acre (12,520 square feet) and the Parcel ID is 00126290-000000. The subject site is developed with a two-story building consisting of 2,337 square feet of office space on the first floor and two (2) residential dwelling units on the second floor. Vehicular access to this site is provided by one (1) full access driveway on 2nd Avenue and perpendicular parking spaces along 2nd Avenue.

Proposed Land Uses and Access

The proposed action involves the construction of a 1,600 square foot light industrial building at the rear of the property. The existing two-story building and its uses will remain. Vehicular access to the site will also remain as is. For the purpose of performing this traffic impact analysis, the project is planned to be completed by late 2026. A preliminary site plan and the building elevations for this project are presented in Appendix A.

EXISTING CONDITIONS

This section of the report addresses the existing roadway network in the study area and current traffic conditions.

Existing Roadway Network

Overseas Highway / US 1 through the study area is a four-lane divided principal arterial roadway (i.e. two eastbound lanes and two westbound lanes). The posted speed limit in the study area is 45 miles per hour (mph) and the Florida Department of Transportation (FDOT) access classification is “3 – Restrictive”. 2nd Avenue is a two-lane locally maintained roadway.

Existing Traffic Conditions

The Florida Department of Transportation (FDOT) maintains five (5) traffic count stations within the immediate proximity of the project site. FDOT Count Station #900048 is located on MacDonald Avenue, 200 feet east of Fifth Street. Station #900165 is located on Overseas Highway / US 1, 200 feet east of the Cow Key Bridge. Station #907070 is located on 5th Avenue, 200 feet east of 5th Street. Station #907086 is located on Maloney Avenue, 400 feet north of Bay Road. And Station #907108 is located on 5th Street, 200 feet south of MacDonald Avenue. Traffic volumes recorded over the last (published) five (5) year period at these stations are summarized in Table 1 below. The data collected at these stations indicates that volumes have been generally steady in recent years. Appendix B contains the historical traffic data obtained from FDOT.

Table 1 5730 2nd Avenue Average Annual Daily Traffic (AADT) Stock Island, Florida					
Year	AADT Stations				
	#900048	#900165	#907070	#907086	#907108
2024	10,600	40,209	2,500	5,000	4,400
2023	10,700	40,193	3,100	5,000	5,300
2022	11,800	39,636	2,900	4,800	5,100
2021	8,100	33,000	2,500	5,300	4,800
2020	10,100	35,408	2,500	5,300	4,800

Compiled by: KBP Consulting, Inc. (June 2025)

TRIP GENERATION

The trip generation for this project was determined using the trip generation information published in the Institute of Transportation Engineers' (ITE) *Trip Generation Manual (11th Edition)*. Based upon this information, the daily, AM peak hour, and PM peak hour trip generation equations and rates for the existing and proposed development are as follows:

General Light Industrial – ITE Land Use #110

- Weekday Trip Generation Rate: $T = 4.87 (X)$
where T = number of trips and X = 1,000 square feet of gross floor area
- Saturday Trip Generation Rate: $T = 0.69 (X)$
- Sunday Trip Generation Rate: $T = 5.00 (X)$
- Daily Weighted Average Rate: $T = 4.29 (X)$
- Peak Hour Trip Generation Rates:
 - AM Peak Hour: $T = 0.74 (X)$ (88% in / 12% out)
 - PM Peak Hour: $T = 0.65 (X)$ (14% in / 86% out)

Multifamily Housing (Low-Rise) – ITE Land Use #220

- Weekday Trip Generation Rate: $T = 6.74 (X)$
where T = number of trips and X = number of dwelling units
- Saturday Trip Generation Rate: $T = 4.55 (X)$
- Sunday Trip Generation Rate: $T = 3.86 (X)$
- Daily Weighted Average Rate: $T = 6.02 (X)$
- Peak Hour Trip Generation Rates:
 - AM Peak Hour: $T = 0.40 (X)$ (24% in / 76% out)
 - PM Peak Hour: $T = 0.51 (X)$ (63% in / 37% out)

Small Office Building – ITE Land Use #712

- Weekday Trip Generation Rate: $T = 14.39 (X)$
where T = number of trips and X = 1,000 square feet of gross floor area
- Saturday Trip Generation Rate: $T = N/A$
- Sunday Trip Generation Rate: $T = N/A$
- Daily Weighted Average Rate¹: $T = 14.39 (X)$
- Peak Hour Trip Generation Rates:
 - AM Peak Hour: $T = 1.67 (X)$ (82% in / 18% out)
 - PM Peak Hour: $T = 2.16 (X)$ (34% in / 66% out)

¹ This land use lacks Saturday and Sunday trip generation data. As a result, the weekday trip generation rate has been applied for the daily analysis.

Table 2 below presents the trip generation analysis for the existing and proposed buildings at 5730 2nd Avenue.

Table 2 5730 2nd Avenue Trip Generation Summary Stock Island, Florida								
Land Use	Size	Daily Trips	AM Peak Hour Trips			PM Peak Hour Trips		
			In	Out	Total	In	Out	Total
<i>Existing</i>								
Small Office Building	2,337 SF	34	3	1	4	2	3	5
Multifamily Housing (Low-Rise)	2 DU	12	0	1	1	1	0	1
Total		46	3	2	5	3	3	6
<i>Proposed</i>								
Small Office Building	2,337 SF	34	3	1	4	2	3	5
Multifamily Housing (Low-Rise)	2 DU	12	0	1	1	1	0	1
General Light Industrial	1,600 SF	7	1	0	1	0	1	1
Total		53	4	2	6	3	4	7
Difference (Proposed - Existing)		7	1	0	1	0	1	1

Compiled by: KBP Consulting, Inc. (June 2025).

Source: Institute of Transportation Engineers (ITE) Trip Generation Manual (11th Edition).

As indicated in Table 2 above, the subject site is estimated to generate 53 daily vehicle trips, six (6) vehicle trips in the AM peak hour (4 inbound and 2 outbound), and seven (7) vehicle trips in the PM peak hour (3 inbound and 4 outbound). When considering the existing development on the site, there will be an increase of seven (7) daily vehicle trips. With 53 gross daily trips, a “Level 1” traffic impact study (as per the Monroe County Traffic Report Guidelines Manual) has been prepared in order to document the traffic impacts to Overseas Highway / US 1.

TRIP DISTRIBUTION

A trip distribution analysis was performed based on the nearby population areas (as documented in the Monroe County Traffic Report Guidelines Manual), the existing transportation network, and the location of the subject project. Table 3 below summarizes the anticipated trip distribution for the 5730 2nd Avenue project.

Table 3	
5730 2nd Avenue	
Project Trip Distribution	
Stock Island, Florida	
Direction	Distribution (%)
East (US 1 North)	25%
West (US 1 South)	45%
South Side of Stock Island (Local)	25%
North Side of Stock Island	5%

Source: KBP Consulting, Inc. (June 2025).

TRAFFIC IMPACT ANALYSES

This section of the report is divided into two parts: 1) link analysis, and 2) Overseas Highway / US 1 impacts by mile marker.

Link Analysis

The link analysis compares the maximum number of reserve trips on Overseas Highway / US 1 through Stock Island (per Monroe County's Level of Service and Reserve Capacity Table) with the project's traffic impacts. Based upon the trip distribution patterns presented in the previous section, the project will add a maximum of three (3) daily trips (45% of additional daily trips) to Segment Number 1 (Stock Island).

According to Monroe County's traffic concurrency database documenting the actual (as of May 23, 2025) remaining roadway capacity by segment along Overseas Highway / US 1, Segment Number 1 has 2,389 trips of available reserve capacity. This database includes existing traffic volumes as well as the traffic volumes associated with committed development (i.e. permitted but unbuilt) throughout the Keys. Monroe County's 2021 Level of Service and Reserve Capacity Table and the referenced current traffic volumes database are both presented in Appendix D. Based upon a review of this data and the anticipated traffic to be generated by the proposed project, Overseas Highway / US 1 through Stock Island has available capacity to accommodate the maximum impacts generated by the new building at 5730 2nd Avenue.

US 1 Impacts by Mile Marker

For this project, it was assumed that the maximum trip length will be approximately 15 miles to the east and 5 miles to the west. Based upon these trip length assumptions, the Overseas Highway / US 1 segments identified in Monroe County's Traffic Report Guidelines, and the traffic assignment discussed previously, an estimate of the number of primary trips by segment on Overseas Highway / US 1 was performed. Table 4 summarizes the number of primary trips by segment on Overseas Highway / US 1 (Arterial Trip Assignment) and reflects the latest traffic volumes (i.e. existing and committed development traffic) as provided by Monroe County.

<p align="center">Table 4 5730 2nd Avenue Arterial Trip Assignment Summary (Overseas Highway / US 1) Stock Island, Florida</p>						
Project: 5730 2nd Avenue		US 1 Mile Marker: 5				
Location: Stock Island		ITE Land Use Category: 110, 220 & 712				
Type of Development: Office Residential Light Industrial		Daily Trip Generation Rate / Formula: See Trip Generation Section on Page 5.				
Project Size: 2,337 SF Office 2 DU Residential 1,600 SF Light Industrial						
Maximum Trip Length: 15 Miles East / 5 Miles West						
Total Daily Trips	Percent Primary Trips	US 1 Segment Number	Percent Directional Split	% Impact Based On Trip Length	Project Generated Daily Trips	Remaining Capacity¹
7	100%	1	45% / 25%	100%	3	2,389
		2	25%	90%	2	5,503
		3	25%	75%	1	715
		4	25%	55%	1	3,568
		5	25%	35%	1	9,254
		6	25%	0%	0	2,535

Source: Monroe County Planning and Environmental Resources Department.

Compiled by: KBP Consulting, Inc. (June 2025).

¹ Remaining roadway capacities by segment as documented by Monroe County in the latest tracking table (5/23/25). These values reflect existing volumes plus traffic volumes associated with committed development (i.e. permitted but unbuilt). Please see Appendix D for the latest tracking table.

SUMMARY & CONCLUSIONS

Based upon the results of the analyses performed for the proposed light industrial building at 5730 2nd Avenue on Stock Island, it is evident that the proposed development will not have an adverse impact on the operating characteristics of Overseas Highway / US 1, nor will it inhibit the safe flow of traffic traveling through Stock Island. Overseas Highway / US 1 has adequate capacity to accommodate the traffic impacts generated by the project.

APPENDIX A

5730 2nd Avenue – Stock Island

Preliminary Site Plan & Building Elevations

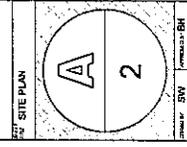
Digitally signed by Robert Hulec
 Date: 2025.05.28 09:49:20 -0400

ROBERT HULEC, P.E.
 LIC # 91007

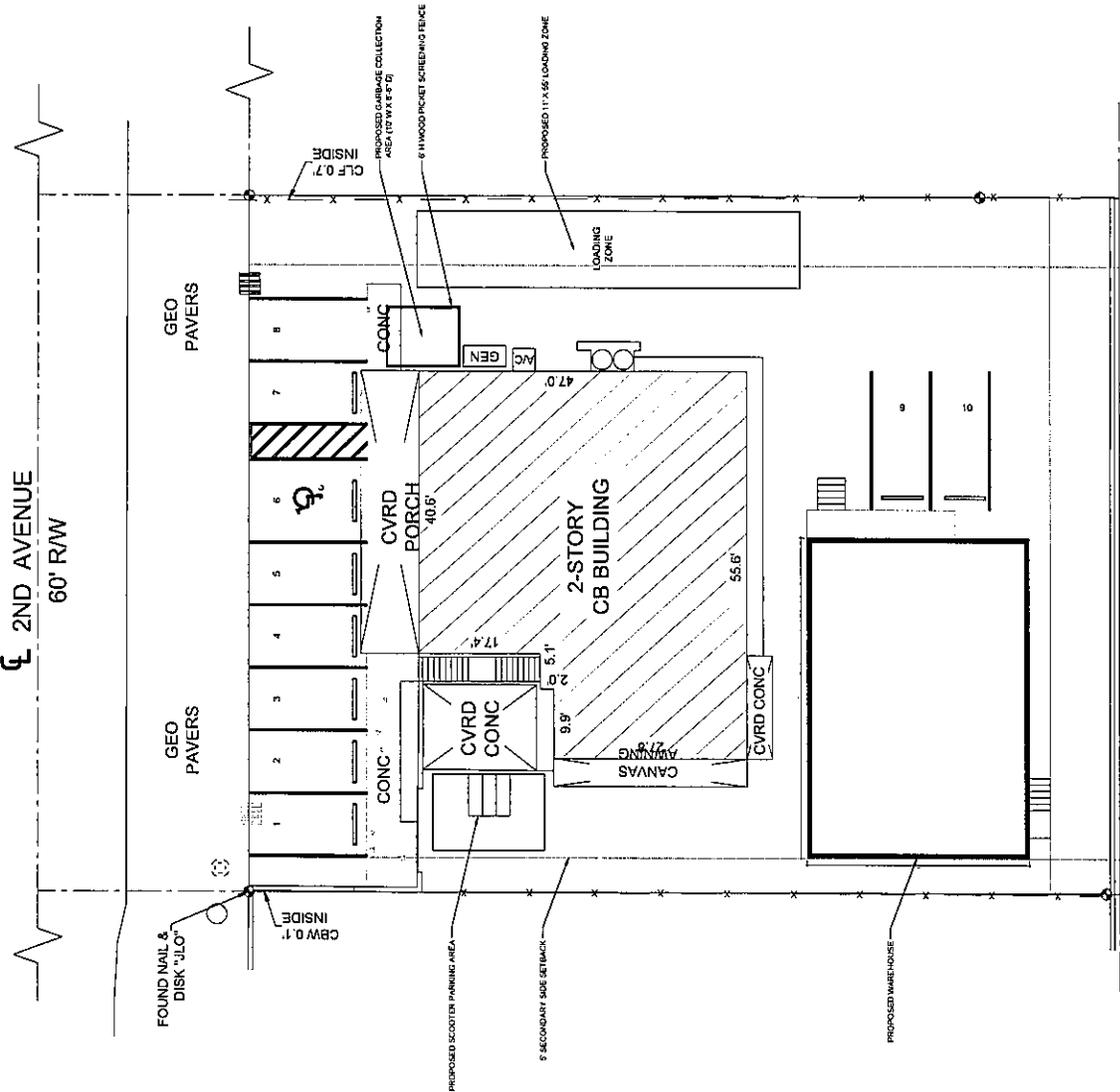


DATE	REV	DESCRIPTION
5/28/25	1	PLANNING SET

NEW WAREHOUSE
 6730 2ND AVE
 KEY WEST, FL 33040



2ND AVENUE
 60' RW



1
 A-2
 PROPOSED SITE PLAN
 SCALE 1/8" = 1'

SCALE 1/8" = 1'
 1" = 8'

PROPOSED ELEVATIONS

Digitally signed
by Robert
Hulec
Date: 2025.05.28
09:49:59 -0400

Professional Seal
Professional Engineer
No. 88837
State of Florida

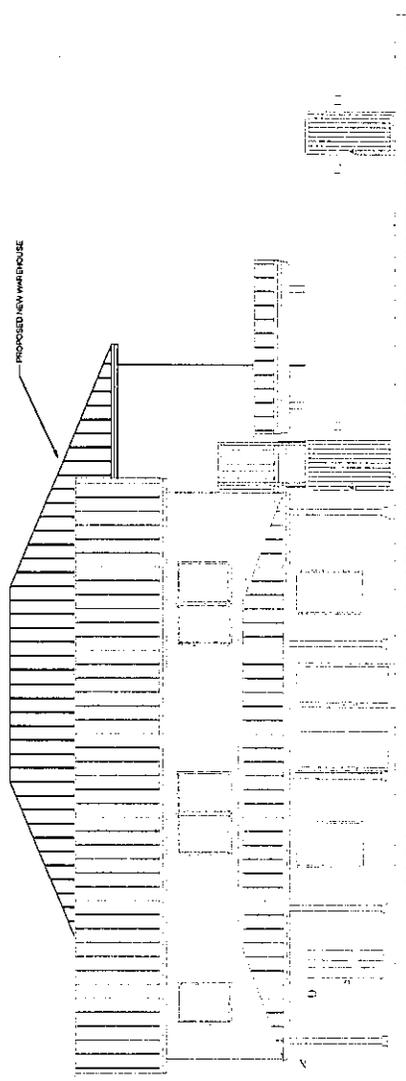
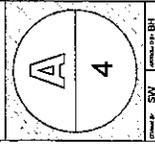
REPORT NO. REC. P.E.
DATE: 05/28/25



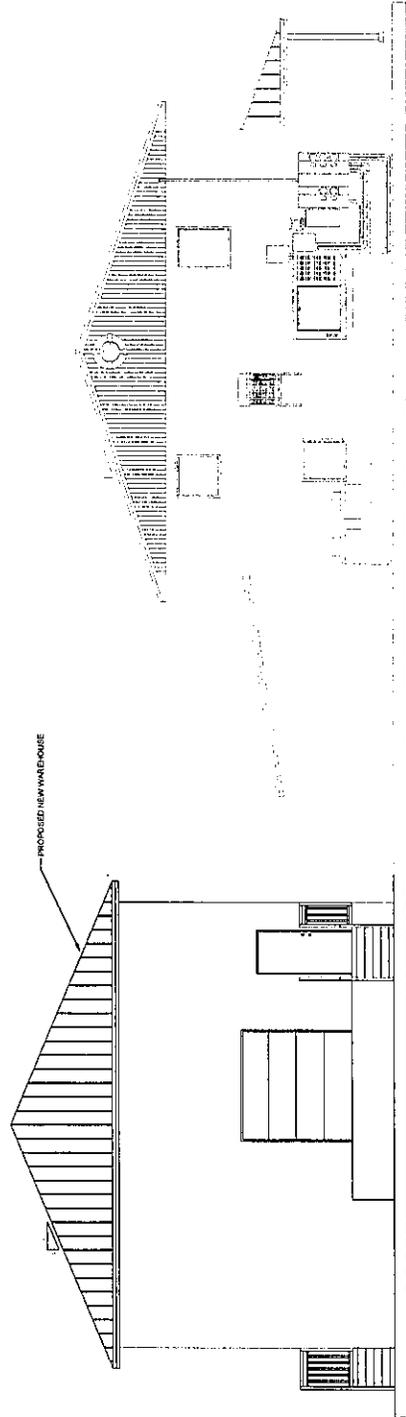
DATE	REV SET	DESCRIPTION
5/22/25		PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

PROPOSED ELEVATION



1 PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'



2 PROPOSED EAST ELEVATION
SCALE 1/4" = 1'

SCALE 1/4" = 1'

APPENDIX B

FDOT Historic Traffic Data

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0048 - MACDONALD AV, 200' E 5 STREET

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR			
2024	10600	C	N	5600	S	5000	9.00	54.80	4.20
2023	10700	C	N	5600	S	5100	9.00	54.70	3.60
2022	11800	C	N	6400	S	5400	9.00	54.20	9.60
2021	8100	C	N	3900	S	4200	9.00	53.10	5.50
2020	10100	C	N	5500	S	4600	9.00	54.10	4.40
2019	12000	C	N	6200	S	5800	9.00	54.70	5.60
2018	11300	C	N	5600	S	5700	9.00	55.10	5.80
2017	9000	C	N	4600	S	4400	9.00	53.90	5.20
2016	10100	C	N	5500	S	4600	9.00	54.90	8.80
2015	10900	C	N	5400	S	5500	9.00	54.30	8.10
2014	12400	C	N	5800	S	6600	9.00	55.20	3.80
2013	10300	C	N	5200	S	5100	9.00	54.80	7.30
2012	9600	C	N	4400	S	5200	9.00	55.00	8.20
2011	10400	C	N	5300	S	5100	9.00	55.10	8.30
2010	10200	C	N	4800	S	5400	10.26	56.84	10.30
2009	9900	C	N	5000	S	4900	10.23	56.56	8.40

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 0165 - SR-5/US-1,200' E COW KEY BRDG#00000170, MONROE CO.

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR	
2024	40209	C	N 20451	S 19758	9.00	57.90	4.30
2023	40193	C	N 20408	S 19785	9.00	56.70	4.20
2022	39636	C	N 20114	S 19522	9.00	56.70	3.90
2021	33000	F	N 19463	S 18913	9.00	56.30	3.80
2020	35408	C	N 17754	S 17654	9.00	56.30	3.70
2019	40837	C	N 20719	S 20118	9.00	56.30	4.30
2018	40284	C	N 20428	S 19856	9.00	56.00	4.20
2017	35525	C	N 18060	S 17465	9.00	55.80	4.10
2016	42403	C	N 21765	S 20638	9.00	55.80	4.10
2015	39909	C	N 20155	S 19754	9.00	55.80	4.10
2014	37452	C	N 18810	S 18642	9.00	56.20	4.30
2013	36287	C	N 18217	S 18070	9.00	54.90	4.10
2012	36564	C	N 18323	S 18241	9.00	55.10	4.00
2011	36540	C	N 18298	S 18242	9.00	55.60	3.90
2010	36027	C	N 17980	S 18047	9.71	56.29	3.80
2009	35471	C	N 17672	S 17799	9.59	58.14	4.10

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 7070 - 5TH AVENUE 200 FT EAST OF 5TH STREET

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2024	2500 C	E 1200	W 1300	9.00	54.80	6.10
2023	3100 F	E 1600	W 1500	9.00	54.70	5.60
2022	2900 C	E 1500	W 1400	9.00	54.20	5.60
2021	2500 F	E 1200	W 1300	9.00	53.10	4.40
2020	2500 C	E 1200	W 1300	9.00	54.10	4.40
2019	2800 F	E 1400	W 1400	9.00	54.70	8.20
2018	2800 C	E 1400	W 1400	9.00	55.10	8.20
2017	3500 F	E 1700	W 1800	9.00	53.90	5.50
2016	3500 C	E 1700	W 1800	9.00	54.90	5.50
2015	2900 F	E 1500	W 1400	9.00	54.30	15.10
2014	2700 C	E 1400	W 1300	9.00	55.20	15.10
2013	3500 F	E 1700	W 1800	9.00	54.80	3.70
2012	3500 C	E 1700	W 1800	9.00	55.00	3.70
2011	1900 F	E 950	W 950	9.00	55.10	8.30
2010	1900 C	E 950	W 950	10.26	56.84	10.30
2009	4200 C	E 2300	W 1900	10.23	56.56	8.40

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
TRANSPORTATION STATISTICS OFFICE
2024 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 7086 - MALONEY AVE 400 FEET NORTH OF BAY RD

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2024	5000 C	N 2300	S 2700	9.00	54.80	3.90
2023	5000 F	N 2600	S 2400	9.00	54.70	11.20
2022	4800 C	N 2500	S 2300	9.00	54.20	11.20
2021	5300 F	N 2600	S 2700	9.00	53.10	2.20
2020	5300 C	N 2600	S 2700	9.00	54.10	2.20
2019	5200 F	N 2400	S 2800	9.00	54.70	1.30
2018	5200 C	N 2400	S 2800	9.00	55.10	1.30
2017	5400 F	N 2600	S 2800	9.00	53.90	4.70
2016	5400 C	N 2600	S 2800	9.00	54.90	4.70
2015	6700 F	N 2500	S 4200	9.00	54.30	8.70
2014	6400 C	N 2400	S 4000	9.00	55.20	8.70

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
*K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2024 HISTORICAL AADT REPORT

COUNTY: 90 - MONROE

SITE: 7108 - 5TH. STREET, 200' SOUTH OF MCDONALD AVE

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2024	4400 C	N 2000	S 2400	9.00	54.80	6.10
2023	5300 F	N 2400	S 2900	9.00	54.70	3.10
2022	5100 C	N 2300	S 2800	9.00	54.20	3.10
2021	4800 F	N 2200	S 2600	9.00	53.10	4.10
2020	4800 C	N 2200	S 2600	9.00	54.10	4.10
2019	4200 F	N 2200	S 2000	9.00	54.70	1.10
2018	4200 C	N 2200	S 2000	9.00	55.10	1.10
2017	4800 F	N 2500	S 2300	9.00	53.90	7.20
2016	4800 C	N 2500	S 2300	9.00	54.90	7.20

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

APPENDIX C

Excerpts from the ITE *Trip Generation Manual* (11th Edition)

Land Use: 110

General Light Industrial

Description

A light industrial facility is a free-standing facility devoted to a single use. The facility has an emphasis on activities other than manufacturing and typically has minimal office space. Typical light industrial activities include printing, material testing, and assembly of data processing equipment. Industrial park (Land Use 130) and manufacturing (Land Use 140) are related uses.

Additional Data

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s, the 2000s, and the 2010s in Colorado, Connecticut, Indiana, New Jersey, New York, Oregon, Pennsylvania, and Texas.

Source Numbers

106, 157, 174, 177, 179, 184, 191, 251, 253, 286, 300, 611, 874, 875, 912

General Light Industrial (110)

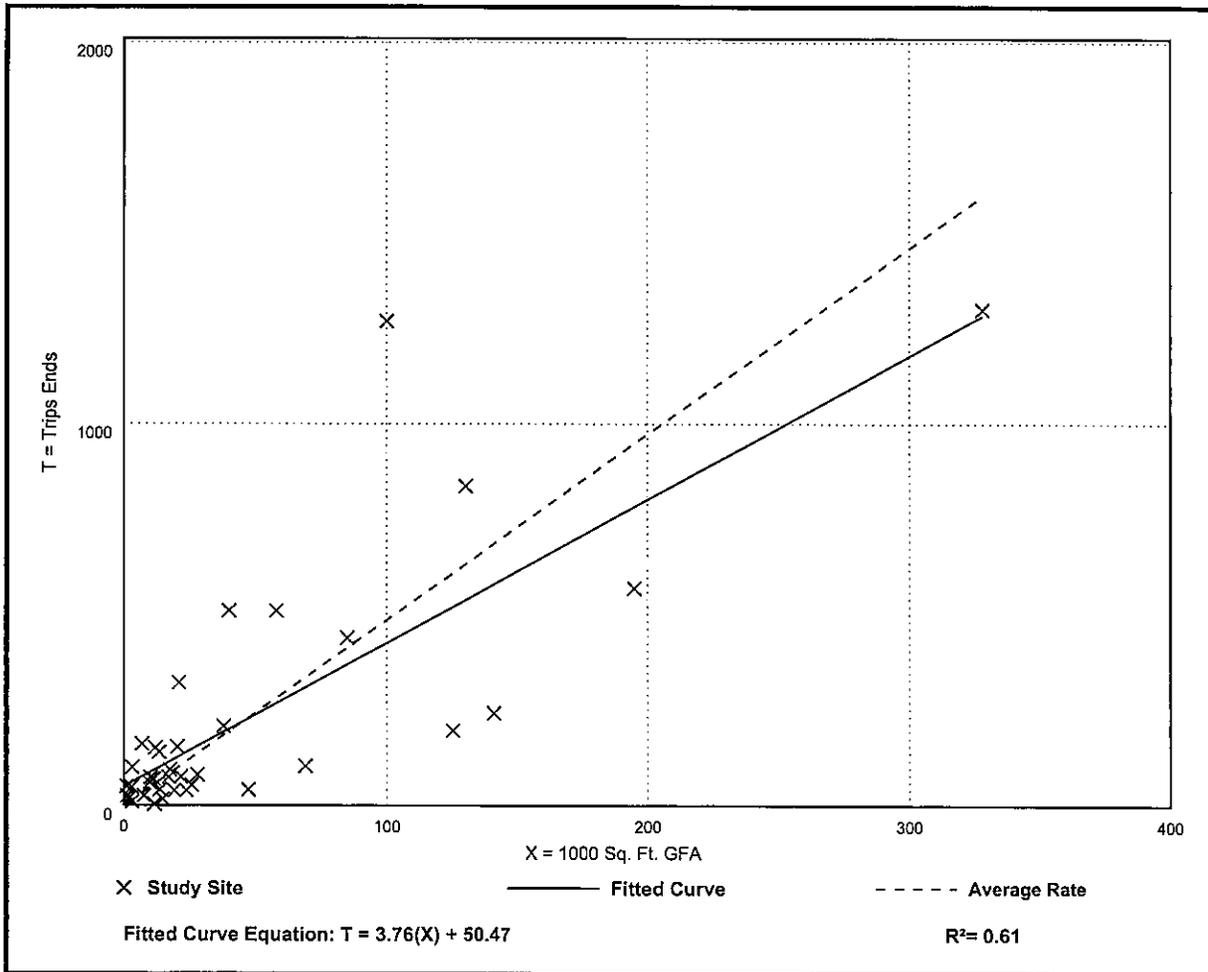
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 37
Avg. 1000 Sq. Ft. GFA: 45
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
4.87	0.34 - 43.86	4.08

Data Plot and Equation



General Light Industrial (110)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 41

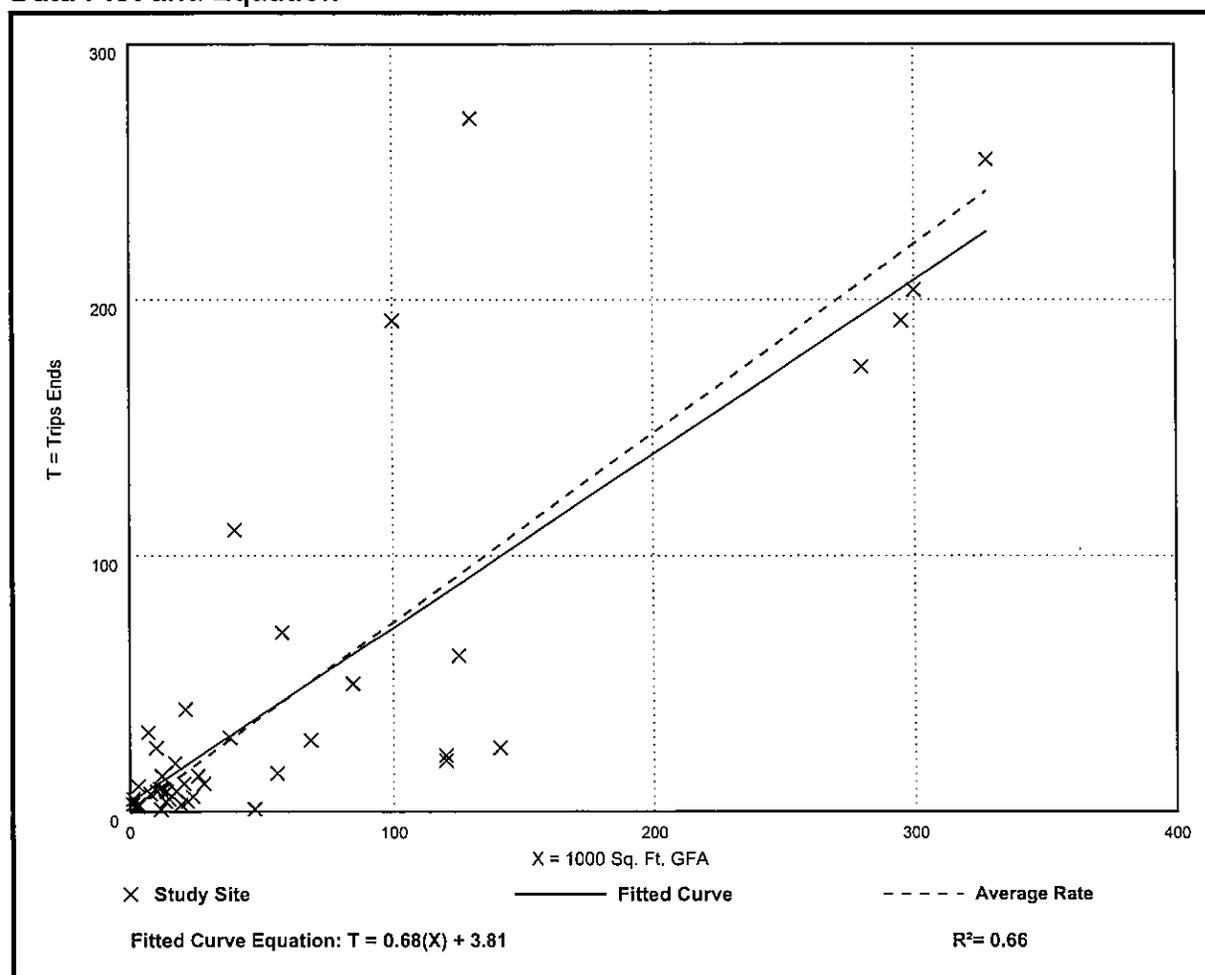
Avg. 1000 Sq. Ft. GFA: 65

Directional Distribution: 88% entering, 12% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.74	0.02 - 4.46	0.61

Data Plot and Equation



General Light Industrial (110)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 40

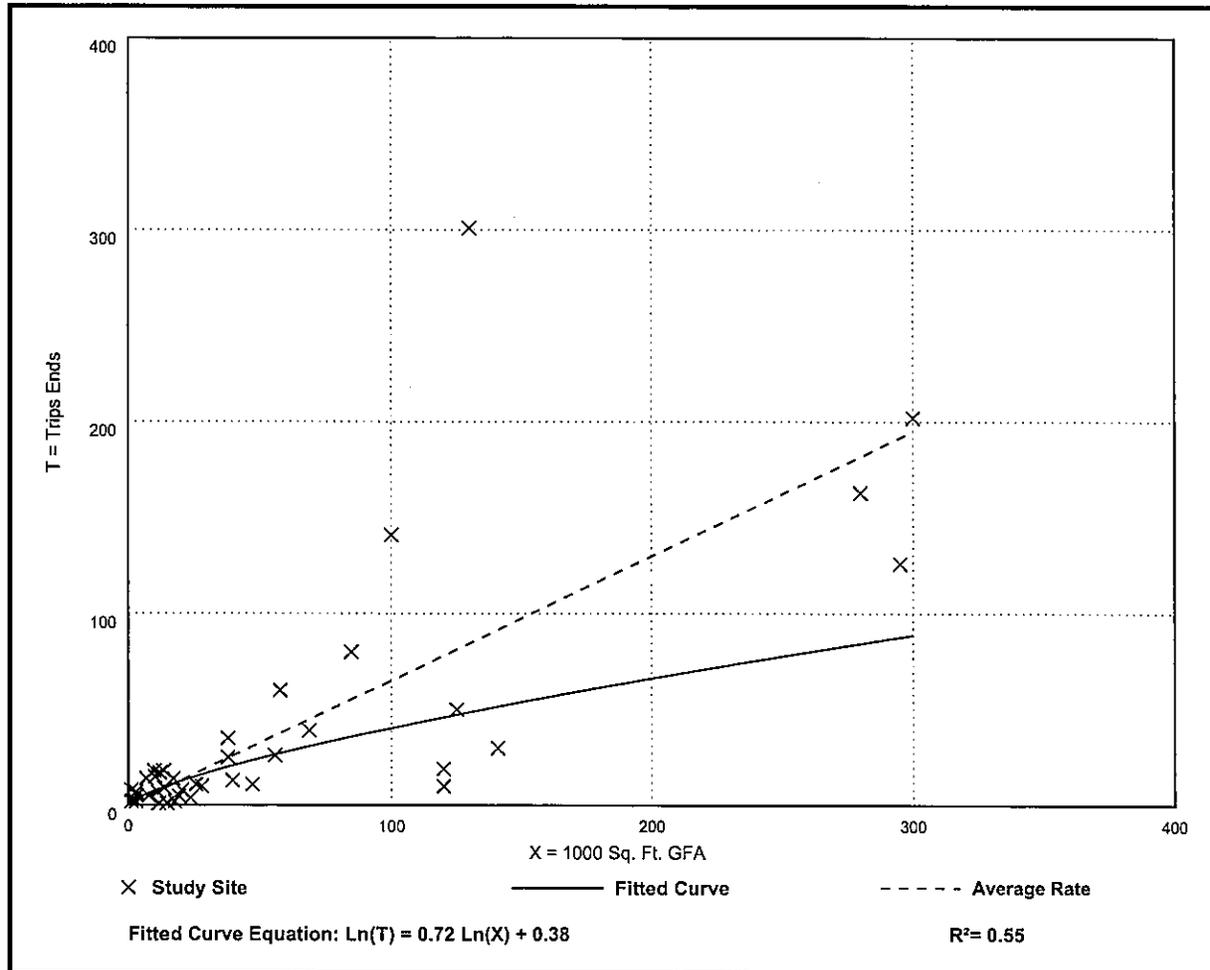
Avg. 1000 Sq. Ft. GFA: 58

Directional Distribution: 14% entering, 86% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.65	0.07 - 7.02	0.56

Data Plot and Equation



General Light Industrial (110)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Saturday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. 1000 Sq. Ft. GFA: 58

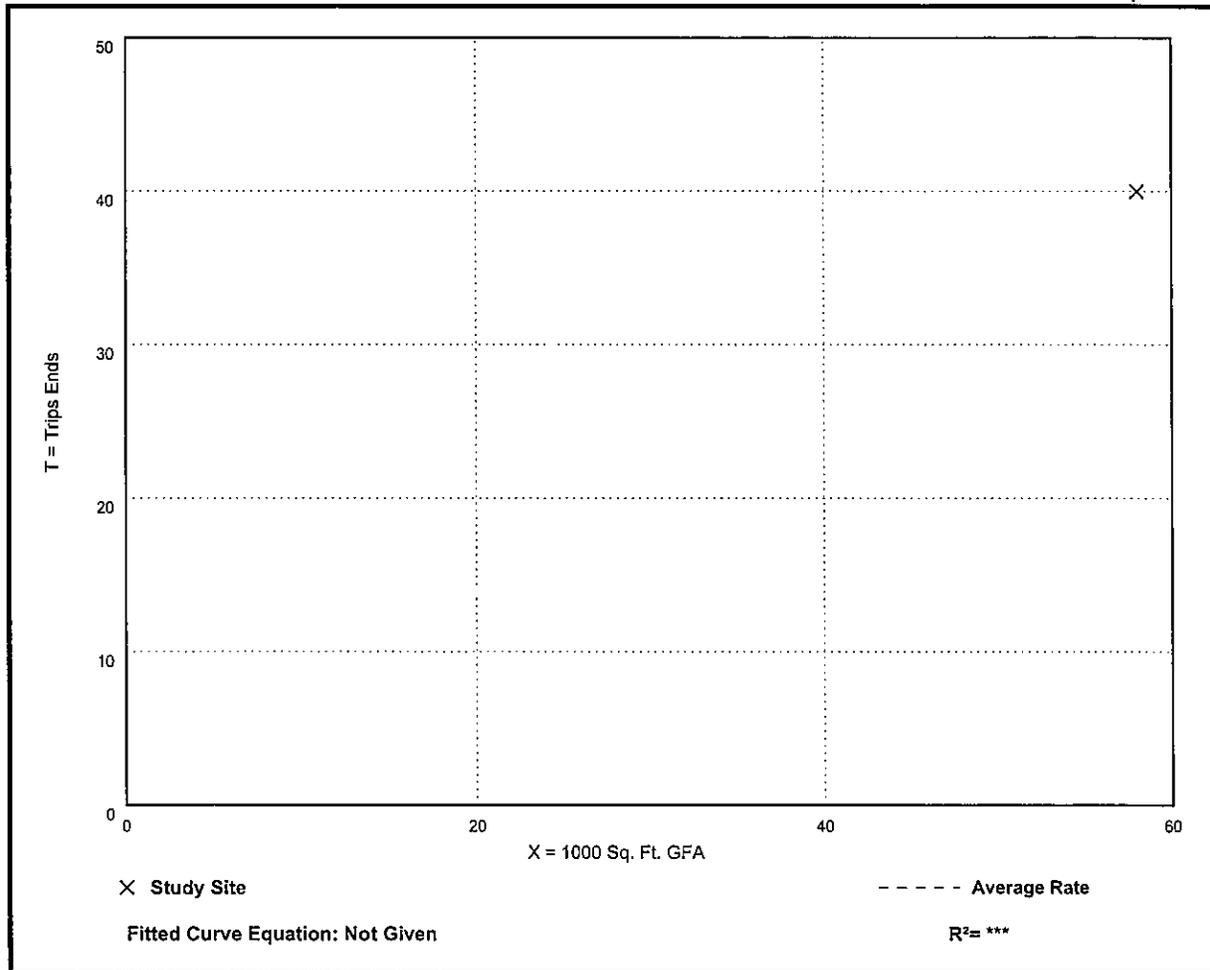
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
0.69	0.69 - 0.69	***

Data Plot and Equation

Caution – Small Sample Size



General Light Industrial (110)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Sunday

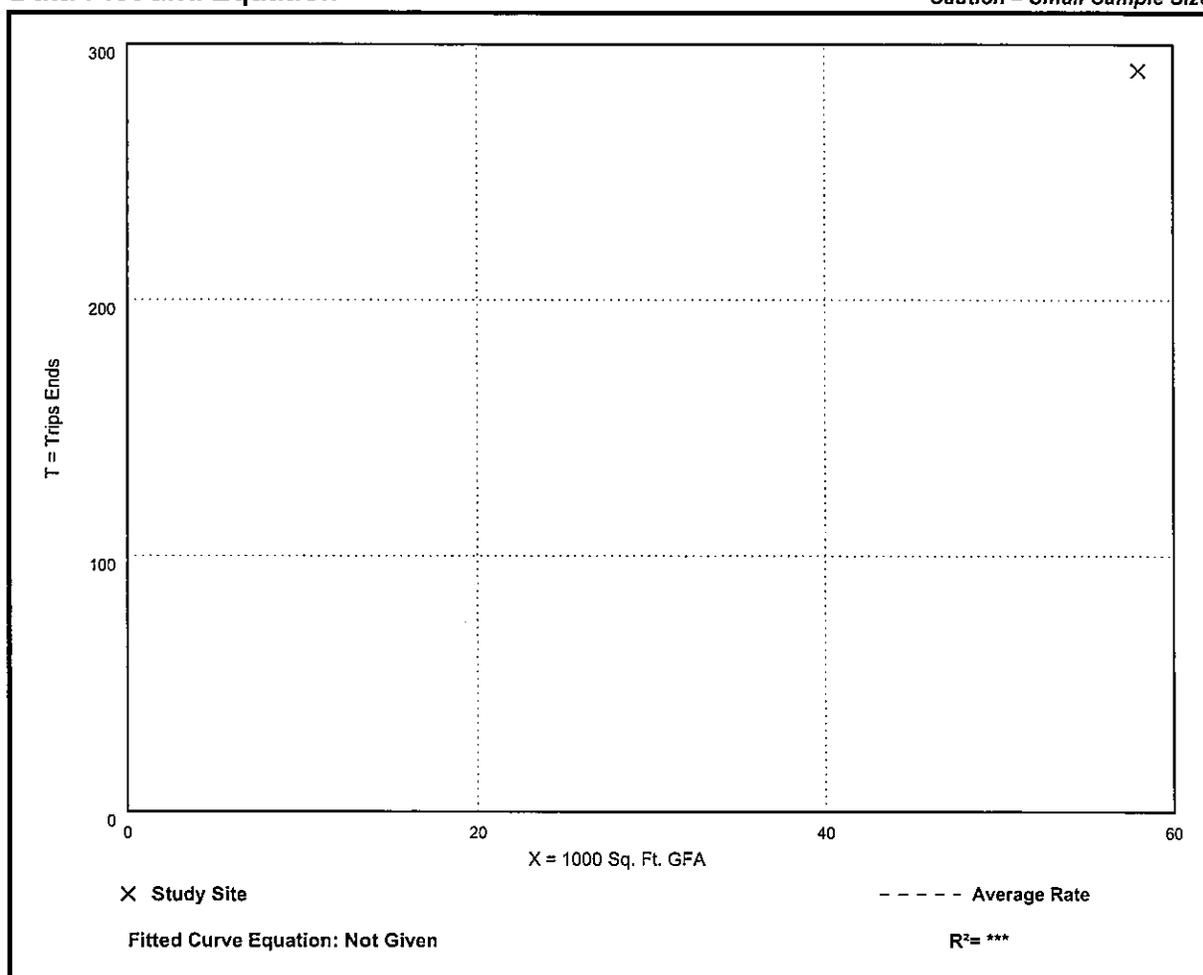
Setting/Location: General Urban/Suburban
Number of Studies: 1
Avg. 1000 Sq. Ft. GFA: 58
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
5.00	5.00 - 5.00	***

Data Plot and Equation

Caution – Small Sample Size



Land Use: 220

Multifamily Housing (Low-Rise)

Description

Low-rise multifamily housing includes apartments, townhouses, and condominiums located within the same building with at least three other dwelling units and that have two or three floors (levels). Various configurations fit this description, including walkup apartment, mansion apartment, and stacked townhouse.

- A walkup apartment typically is two or three floors in height with dwelling units that are accessed by a single or multiple entrances with stairways and hallways.
- A mansion apartment is a single structure that contains several apartments within what appears to be a single-family dwelling unit.
- A fourplex is a single two-story structure with two matching dwelling units on the ground and second floors. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.
- A stacked townhouse is designed to match the external appearance of a townhouse. But, unlike a townhouse dwelling unit that only shares walls with an adjoining unit, the stacked townhouse units share both floors and walls. Access to the individual units is typically internal to the structure and provided through a central entry and stairway.

Multifamily housing (mid-rise) (Land Use 221), multifamily housing (high-rise) (Land Use 222), affordable housing (Land Use 223), and off-campus student apartment (low-rise) (Land Use 225) are related land uses.

Land Use Subcategory

Data are presented for two subcategories for this land use: (1) not close to rail transit and (2) close to rail transit. A site is considered close to rail transit if the walking distance between the residential site entrance and the closest rail transit station entrance is ½ mile or less.

Additional Data

For the three sites for which both the number of residents and the number of occupied dwelling units were available, there were an average of 2.72 residents per occupied dwelling unit.

For the two sites for which the numbers of both total dwelling units and occupied dwelling units were available, an average of 96.2 percent of the total dwelling units were occupied.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip

generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

For the three sites for which data were provided for both occupied dwelling units and residents, there was an average of 2.72 residents per occupied dwelling unit.

It is expected that the number of bedrooms and number of residents are likely correlated to the trips generated by a residential site. To assist in future analysis, trip generation studies of all multifamily housing should attempt to obtain information on occupancy rate and on the mix of residential unit sizes (i.e., number of units by number of bedrooms at the site complex).

The sites were surveyed in the 1980s, the 1990s, the 2000s, the 2010s, and the 2020s in British Columbia (CAN), California, Delaware, Florida, Georgia, Illinois, Indiana, Maine, Maryland, Massachusetts, Minnesota, New Jersey, Ontario (CAN), Oregon, Pennsylvania, South Carolina, South Dakota, Tennessee, Texas, Utah, and Washington.

Source Numbers

188, 204, 237, 300, 305, 306, 320, 321, 357, 390, 412, 525, 530, 579, 583, 638, 864, 866, 896, 901, 903, 904, 936, 939, 944, 946, 947, 948, 963, 964, 966, 967, 1012, 1013, 1014, 1036, 1047, 1056, 1071, 1076

Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units
On a: Weekday

Setting/Location: General Urban/Suburban

Number of Studies: 22

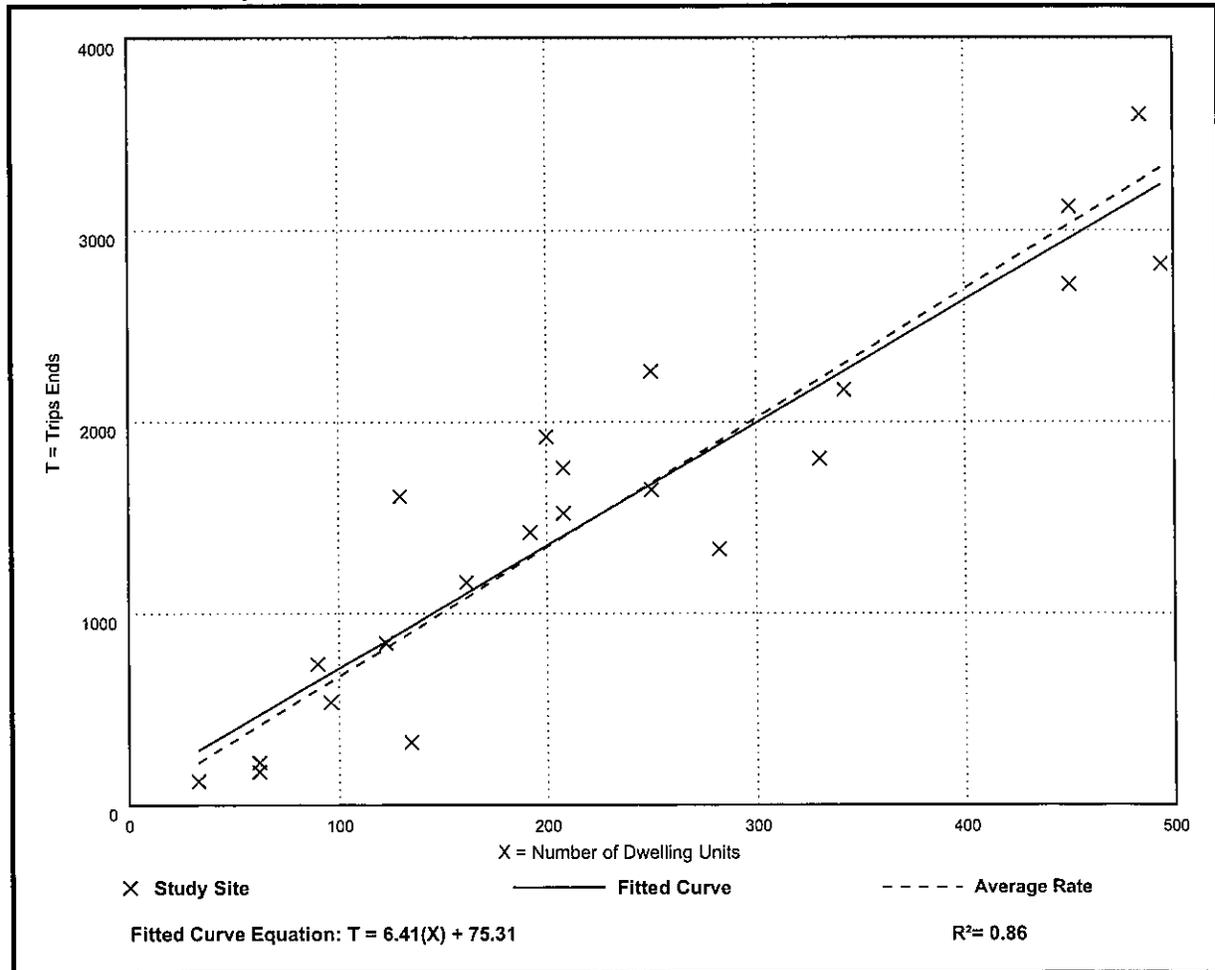
Avg. Num. of Dwelling Units: 229

Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
6.74	2.46 - 12.50	1.79

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 49

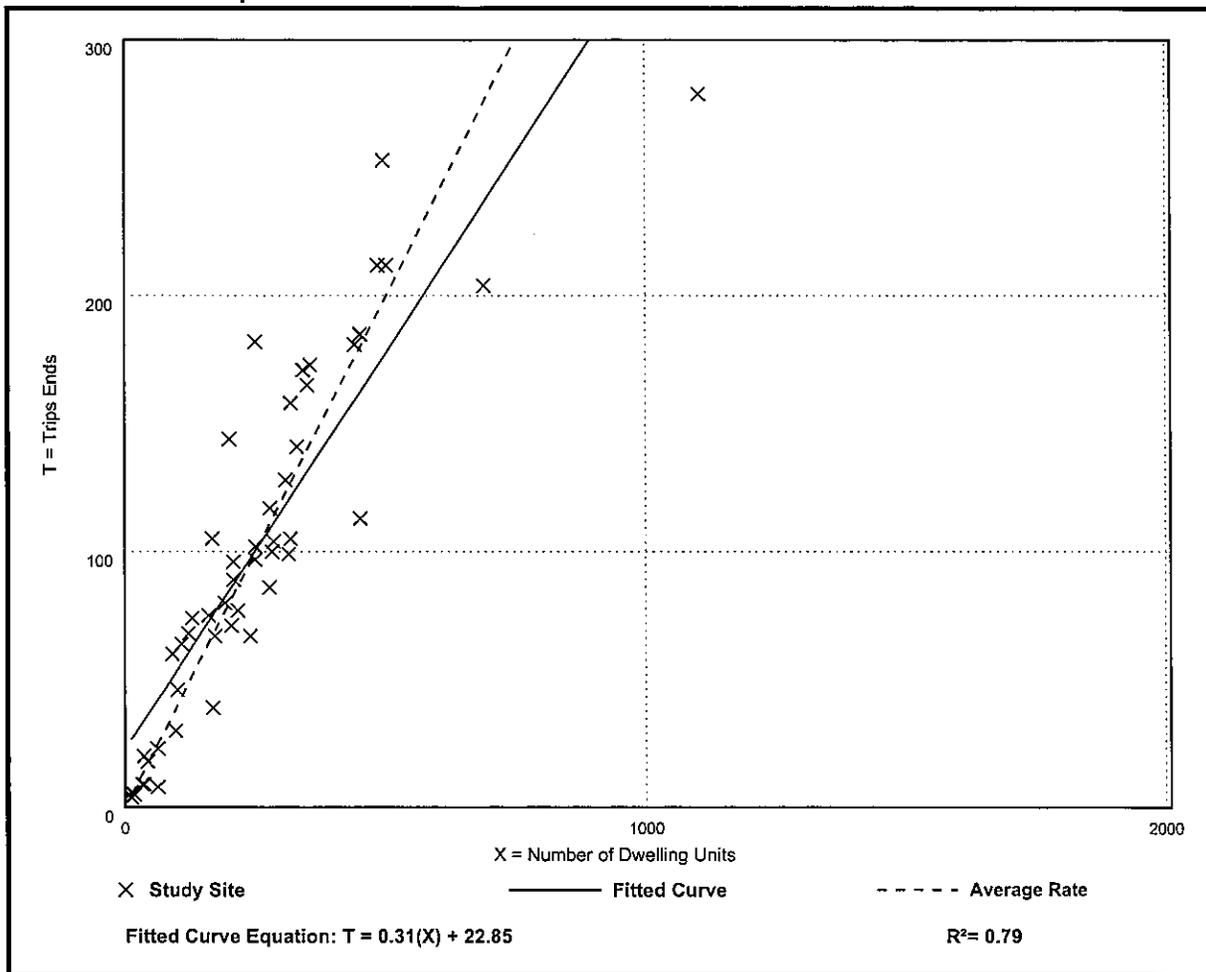
Avg. Num. of Dwelling Units: 249

Directional Distribution: 24% entering, 76% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.40	0.13 - 0.73	0.12

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 59

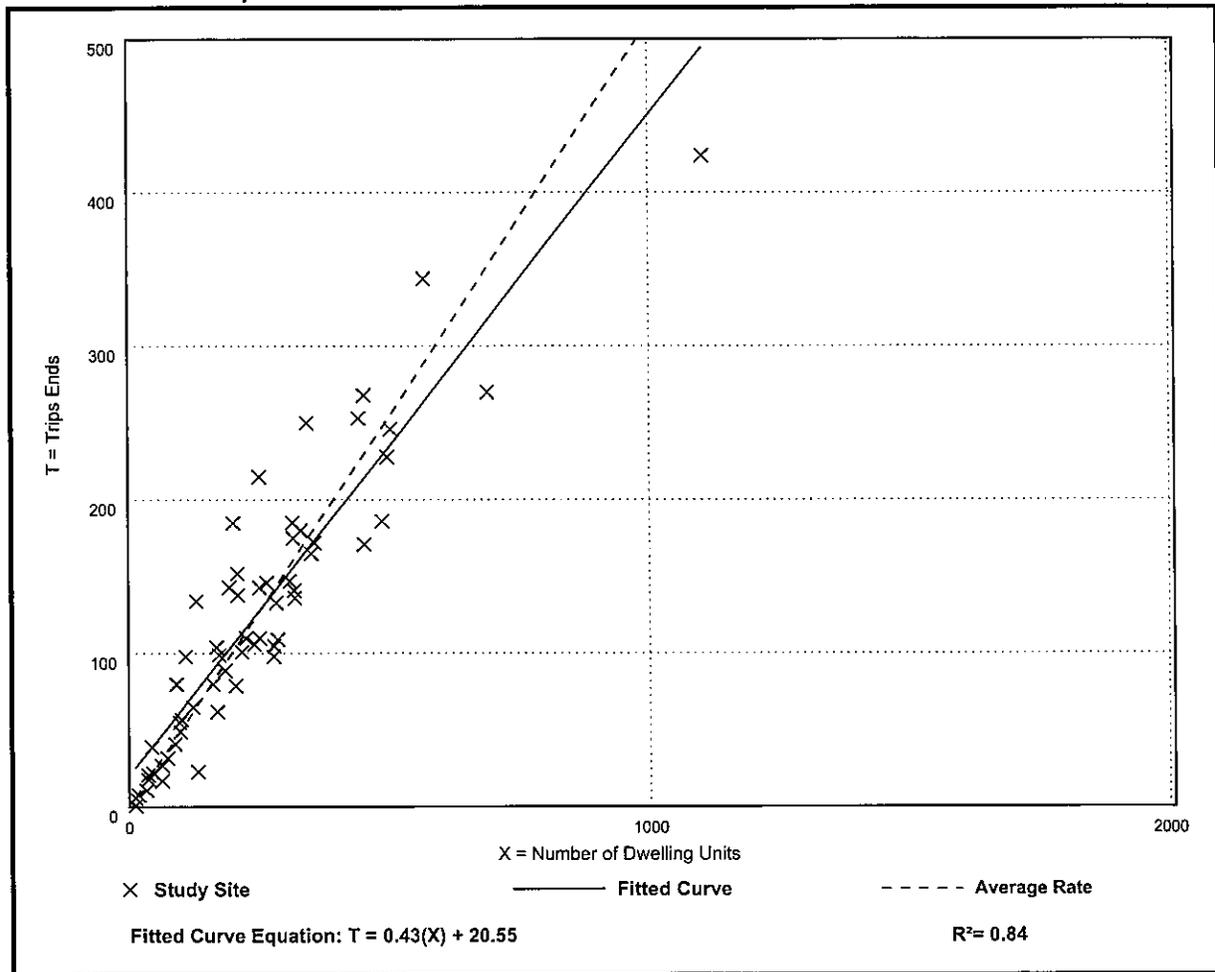
Avg. Num. of Dwelling Units: 241

Directional Distribution: 63% entering, 37% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
0.51	0.08 - 1.04	0.15

Data Plot and Equation



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Saturday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Dwelling Units: 282

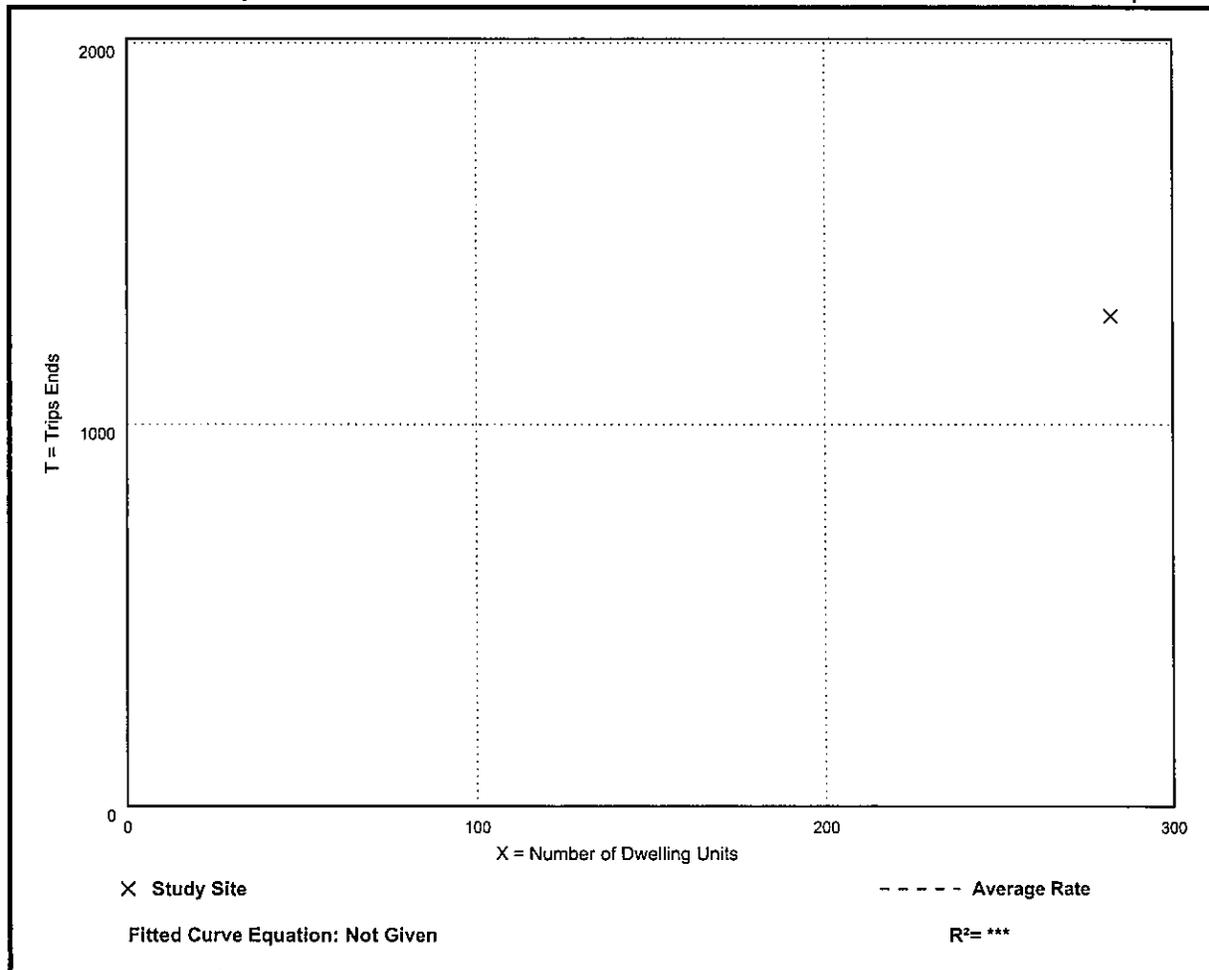
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
4.55	4.55 - 4.55	***

Data Plot and Equation

Caution – Small Sample Size



Multifamily Housing (Low-Rise) Not Close to Rail Transit (220)

Vehicle Trip Ends vs: Dwelling Units

On a: Sunday

Setting/Location: General Urban/Suburban

Number of Studies: 1

Avg. Num. of Dwelling Units: 282

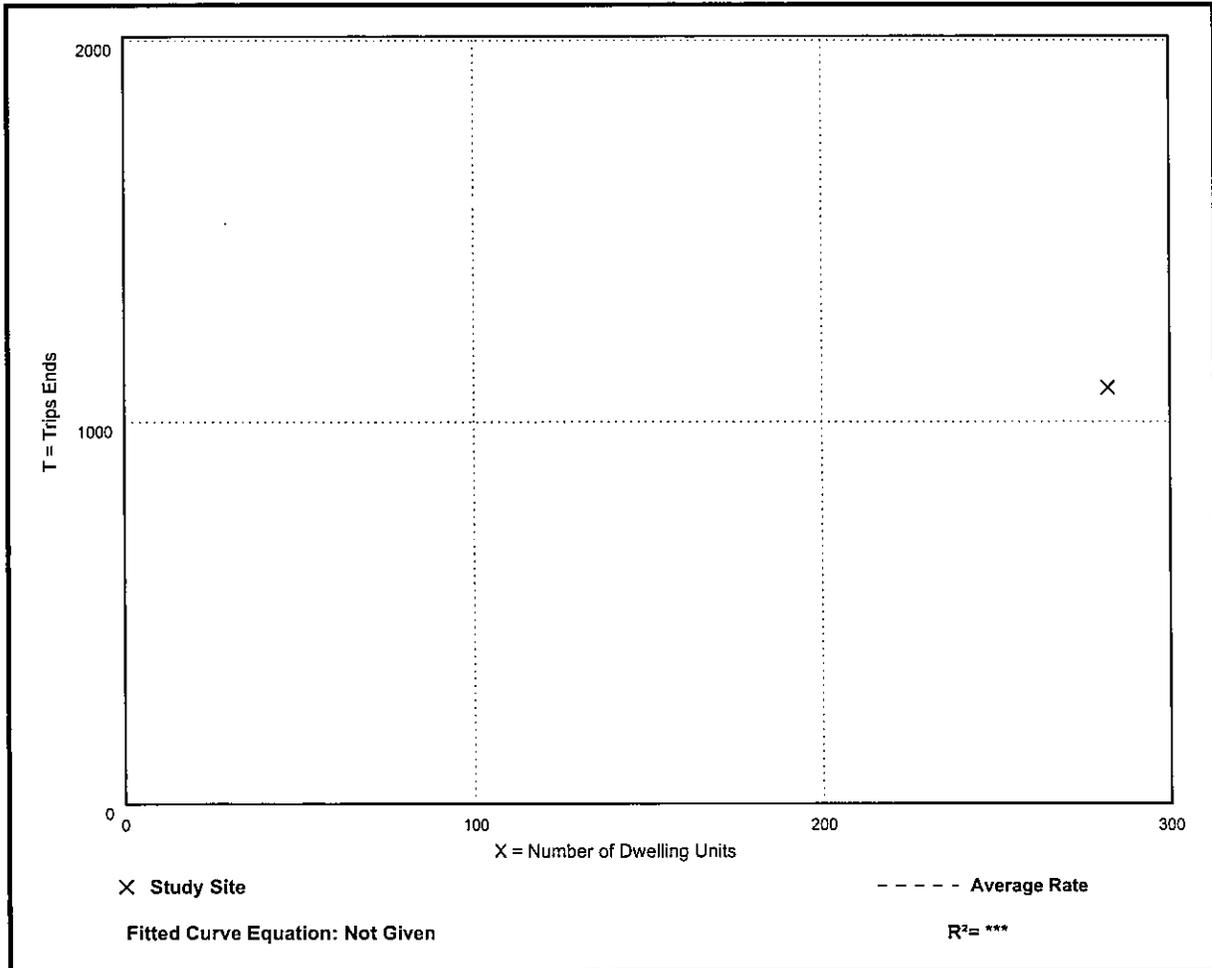
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per Dwelling Unit

Average Rate	Range of Rates	Standard Deviation
3.86	3.86 - 3.86	***

Data Plot and Equation

Caution – Small Sample Size



Land Use: 712

Small Office Building

Description

A small office building is the same as a general office building (Land Use 710) but with less than or equal to 10,000 square feet of gross floor area. The building typically houses a single tenant. It is a location where affairs of a business, commercial or industrial organization, or professional person or firm are conducted. General office building (Land Use 710) is a related use.

Additional Data

Attorney office, mortgage company, financial advisor, insurance agency, home health care provider, and real estate company are examples of tenants included in the small office building database. The diversity of employer types results in a wide range in employee density in the database. Densities range from a high of 1,300 to a low of 240 square feet per employee with an overall average of nearly 600 square feet per employee (a value much larger than the average observed in a general office building study sites).

In addition to the significant difference in employee density, small office buildings tend to be dominated by a single tenant (or very few) that are more service-oriented than a typical general office building. The result is more frequent and regular visitors and higher trip generation rates.

The technical appendices provide supporting information on time-of-day distributions for this land use. The appendices can be accessed through either the ITETripGen web app or the trip generation resource page on the ITE website (<https://www.ite.org/technical-resources/topics/trip-and-parking-generation/>).

The sites were surveyed in the 1980s and the 2010s in Alberta (CAN), California, Texas, and Wisconsin.

Source Numbers

418, 890, 891, 959, 976

Small Office Building (712)

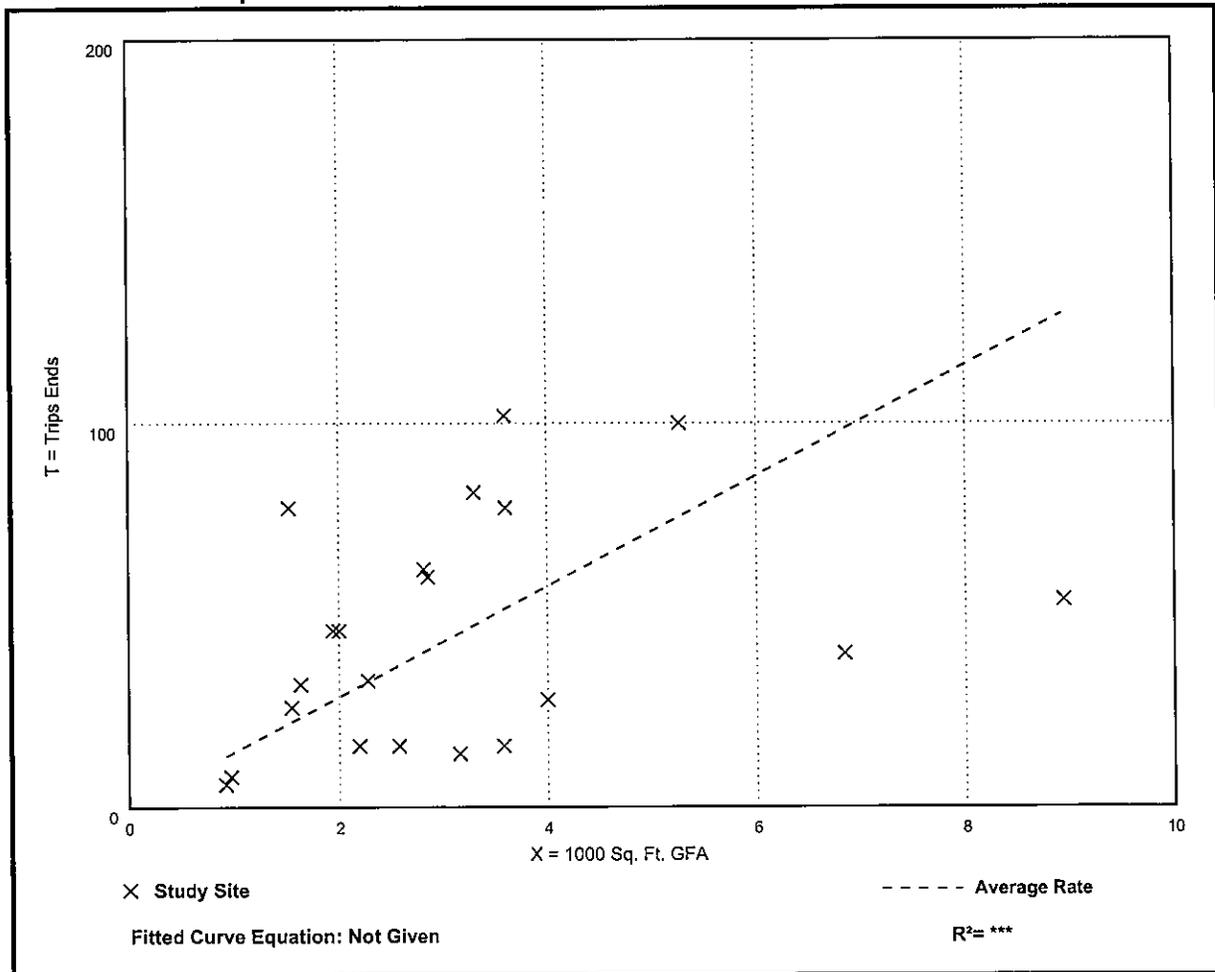
Vehicle Trip Ends vs: 1000 Sq. Ft. GFA
On a: Weekday

Setting/Location: General Urban/Suburban
Number of Studies: 21
Avg. 1000 Sq. Ft. GFA: 3
Directional Distribution: 50% entering, 50% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
14.39	4.44 - 50.91	10.16

Data Plot and Equation



Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 7 and 9 a.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

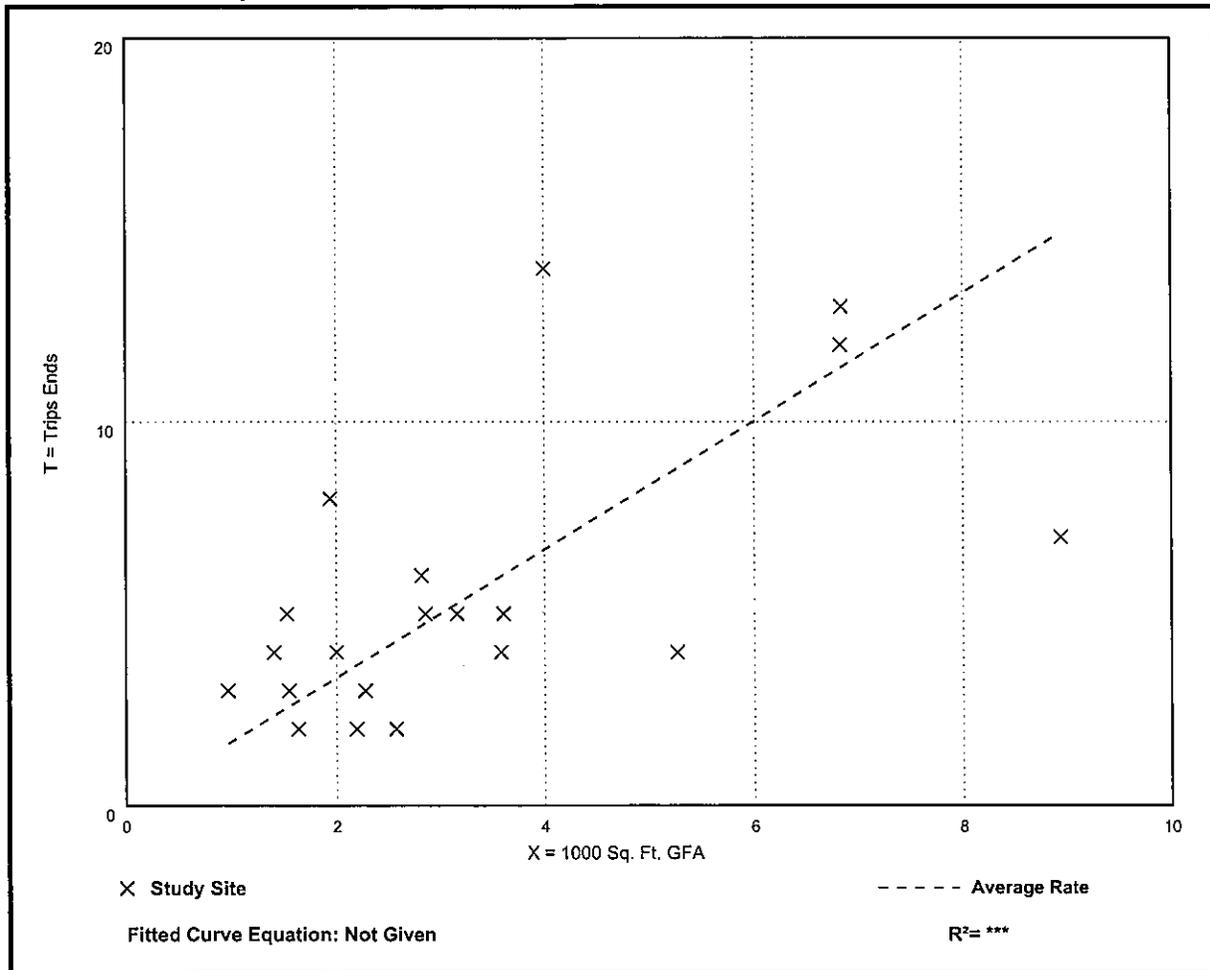
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 82% entering, 18% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
1.67	0.76 - 4.12	0.88

Data Plot and Equation



Small Office Building (712)

Vehicle Trip Ends vs: 1000 Sq. Ft. GFA

On a: Weekday,

Peak Hour of Adjacent Street Traffic,

One Hour Between 4 and 6 p.m.

Setting/Location: General Urban/Suburban

Number of Studies: 21

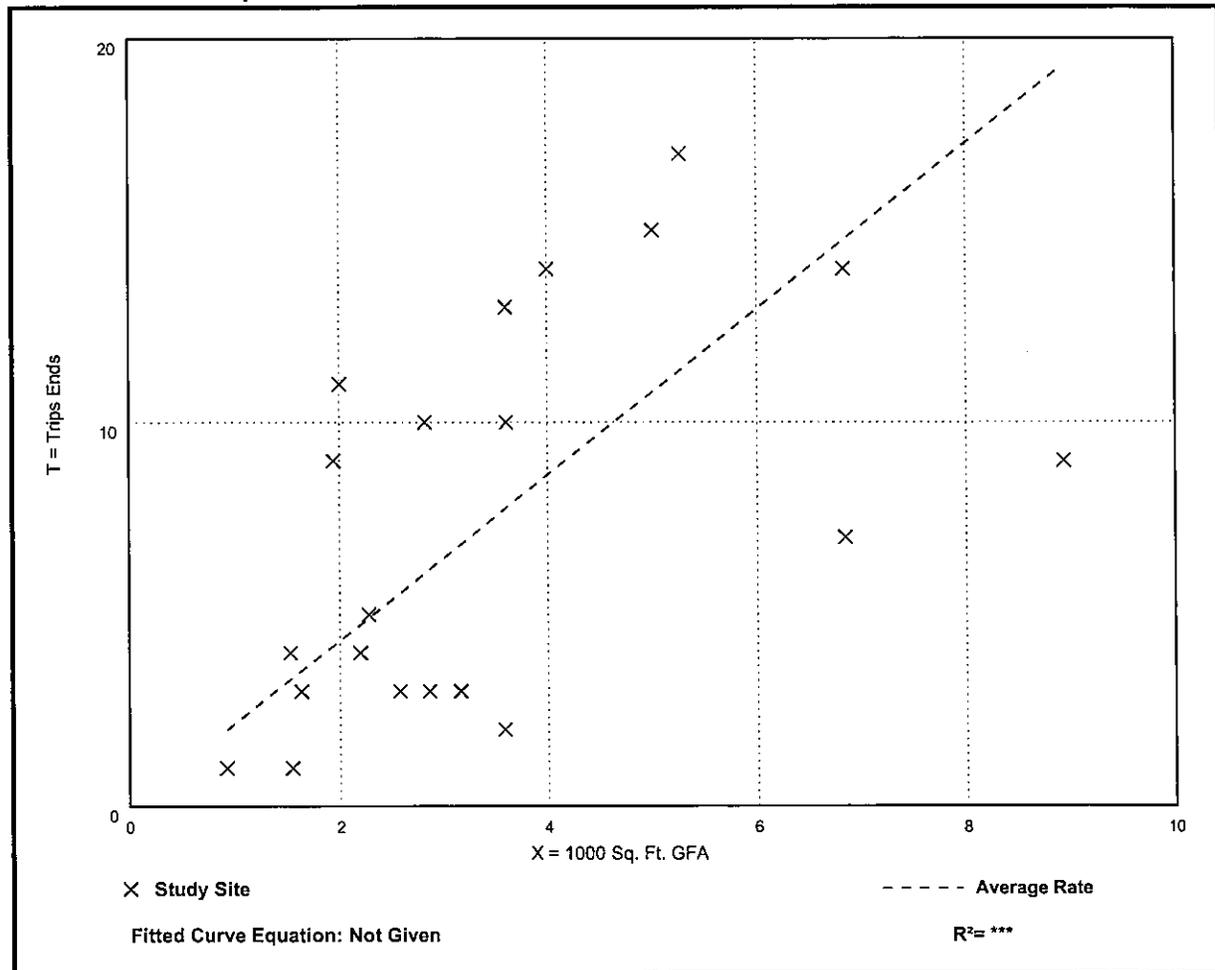
Avg. 1000 Sq. Ft. GFA: 3

Directional Distribution: 34% entering, 66% exiting

Vehicle Trip Generation per 1000 Sq. Ft. GFA

Average Rate	Range of Rates	Standard Deviation
2.16	0.56 - 5.50	1.26

Data Plot and Equation



APPENDIX D

Monroe County Level of Service and Reserve Capacity Tables

2021 LEVEL OF SERVICE AND RESERVE CAPACITY

SEGMENT	LENGTH (miles)	FACILITY TYPE	POSTED SPEED		ADJ. FOR SIGNAL (mph)	ADJUSTED LOS C CRITERIA (mph)	MEDIAN TRAVEL SPEED (mph)	LOS	RESERVE SPEED (mph)	2021		2017	
			Limits (mph)	Average (mph)						MAXIMUM RESERVE VOLUME (trips)	5% ALLOCATION BELOW LOS C (trips)	MAXIMUM RESERVE VOLUME (trips)	MAXIMUM RESERVE VOLUME (trips)
1 Stock Island (4.0 - 5.0)	1.10	4-L/D	30/35/45	40.1	N/A	22.0	40.0	A	18.0	3,279	3,474	1,348	
2 Boca Chica (5.0- 9.0)	3.9	4-L/D	45/55	54.7	N/A	50.2	59.9	A	9.7	6,265	7,876	6,071	
3 Big Coppitt (9.0- 10.5)	1.5	2-L/U	45/55	46.3	N/A	41.8	47.5	B	5.6	1,391	1,921	1,341	
4 Saddlebunch (10.5- 16.5)	5.8	2-L/U	45/55	53.6	N/A	49.1	53.5	B	4.3	4,130	6,513	4,034	
5 Sugarloaf (16.5- 20.5)	3.9	2-L/U	45	45.0	6.8	33.7	48.8	A	15.1	9,752	10,856	7,944	
6 Cudjoe (20.5- 23.0)	2.5	2-L/U	45	45.0	N/A	40.5	47.9	A	7.4	3,064	3,920	3,188	
7 Summerland (23.0- 25.0)	2.2	2-L/U	45	45.0	N/A	40.5	46.1	B	5.6	2,040	2,791	1,639	
8 Ramrod (25.0- 27.5)	2.3	2-L/U	45	45.0	N/A	40.5	46.5	A	6.0	2,285	3,063	2,133	
9 Torch (27.5- 29.5)	2.1	2-L/U	45	45.0	N/A	40.5	48.8	A	8.3	2,886	3,589	2,504	
10 Big Pine (29.5- 33.0)	3.4	2-L/U	45	45.0	5.9	34.6	42.7	A	8.1	4,561	5,511	1,295	
11 Bahia Honda (33.0- 40.0)	7.0	2-L/U (70%) 4-L/D (30%)	45/50/55	52.4	N/A	47.9	54.8	A	6.9	7,998	10,730	6,723	
12 7-Mile Bridge (40.0- 47.0)	6.8	2-L/U	45/55	54.4	N/A	49.9	53.2	B	3.3	3,716	6,508	3,603	
13 Marathon (47.0- 54.0)	7.3	2-L/U (13%) 4-L/D (87%)	35/45	42.5	N/A	22.0	39.6	A	17.6	21,276	22,590	19,221	
14 Grassy (54.0- 60.5)	6.4	2-L/U	45/55	54.6	2.1	48.0	51.4	C	3.4	3,603	6,183	3,286	
15 Duck (60.5- 63.0)	2.7	2-L/U	55	55.0	N/A	50.5	53.2	C	2.7	1,207	2,344	1,252	
16 Long (63.0- 73.0)	9.9	2-L/U	45/50/55	53.4	N/A	48.9	49.9	C	1.0	1,639	5,619	2,459	
17 L Matecumbe (73.0- 77.5)	4.5	2-L/U	45/50/55	52.5	N/A	48.0	48.2	C	0.2	149	1,939	224	
18 Tea Table (77.5- 79.5)	2.2	2-L/U	45	45.0	N/A	40.5	46.6	A	6.1	2,222	2,965	(692)	
19 U Matecumbe (79.5- 84.0)	4.1	2-L/U	45	45.0	N/A	40.5	35.3	E	-5.2	(3,531)	(2,187)	(883)	
20 Windley (84.0- 86.0)	1.9	2-L/U	45	45.0	N/A	40.5	39.3	D	-1.2	(378)	271	157	
21 Plantation (86.0- 91.5)	5.8	2-L/U	35/45	43.0	5.9	32.6	34.7	C	2.0	1,921	3,524	3,266	
22 Tavernier (91.5- 99.5)	8.0	4-L/D	45/50	47.2	3.1	39.6	49.4	A	9.8	12,983	15,580	8,876	
23 Key Largo (99.5- 106.0)	6.8	4-L/D	45	45.0	5.4	35.1	45.0	A	9.9	11,148	13,095	8,333	
24 Cross (106.0- 112.5)	6.2	2-L/U	45/55	51.4	N/A	46.9	49.1	C	2.2	2,259	4,618	5,852	
Overall	108.3					45.0	45.5	C	0.5	N/A			

File No	RI Number	Project Name	Application Type	Status	CO# of Permits Issued	Approved (Last Time RI Permit Number)														Key (Lrg. CO#)																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																														
						1	2	3	4	5	6	7	8	9	10	11	12	13	14		15	16	17	18	19	20	21	22	23	24																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
2017-207		St. Allican Bellow (15C)	MA, CUP	Permitted	CO Issued	1379	1432	1495	1558	1621	1684	1747	1810	1873	1936	2000	2063	2126	2189	2252	2315	2378	2441	2504	2567	2630	2693	2756	2819	2882	2945	3008	3071	3134	3197	3260	3323	3386	3449	3512	3575	3638	3701	3764	3827	3890	3953	4016	4079	4142	4205	4268	4331	4394	4457	4520	4583	4646	4709	4772	4835	4898	4961	5024	5087	5150	5213	5276	5339	5402	5465	5528	5591	5654	5717	5780	5843	5906	5969	6032	6095	6158	6221	6284	6347	6410	6473	6536	6599	6662	6725	6788	6851	6914	6977	7040	7103	7166	7229	7292	7355	7418	7481	7544	7607	7670	7733	7796	7859	7922	7985	8048	8111	8174	8237	8300	8363	8426	8489	8552	8615	8678	8741	8804	8867	8930	8993	9056	9119	9182	9245	9308	9371	9434	9497	9560	9623	9686	9749	9812	9875	9938	10001	10064	10127	10190	10253	10316	10379	10442	10505	10568	10631	10694	10757	10820	10883	10946	11009	11072	11135	11198	11261	11324	11387	11450	11513	11576	11639	11702	11765	11828	11891	11954	12017	12080	12143	12206	12269	12332	12395	12458	12521	12584	12647	12710	12773	12836	12899	12962	13025	13088	13151	13214	13277	13340	13403	13466	13529	13592	13655	13718	13781	13844	13907	13970	14033	14096	14159	14222	14285	14348	14411	14474	14537	14600	14663	14726	14789	14852	14915	14978	15041	15104	15167	15230	15293	15356	15419	15482	15545	15608	15671	15734	15797	15860	15923	15986	16049	16112	16175	16238	16301	16364	16427	16490	16553	16616	16679	16742	16805	16868	16931	16994	17057	17120	17183	17246	17309	17372	17435	17498	17561	17624	17687	17750	17813	17876	17939	18002	18065	18128	18191	18254	18317	18380	18443	18506	18569	18632	18695	18758	18821	18884	18947	19010	19073	19136	19199	19262	19325	19388	19451	19514	19577	19640	19703	19766	19829	19892	19955	20018	20081	20144	20207	20270	20333	20396	20459	20522	20585	20648	20711	20774	20837	20900	20963	21026	21089	21152	21215	21278	21341	21404	21467	21530	21593	21656	21719	21782	21845	21908	21971	22034	22097	22160	22223	22286	22349	22412	22475	22538	22601	22664	22727	22790	22853	22916	22979	23042	23105	23168	23231	23294	23357	23420	23483	23546	23609	23672	23735	23798	23861	23924	23987	24050	24113	24176	24239	24302	24365	24428	24491	24554	24617	24680	24743	24806	24869	24932	24995	25058	25121	25184	25247	25310	25373	25436	25499	25562	25625	25688	25751	25814	25877	25940	26003	26066	26129	26192	26255	26318	26381	26444	26507	26570	26633	26696	26759	26822	26885	26948	27011	27074	27137	27200	27263	27326	27389	27452	27515	27578	27641	27704	27767	27830	27893	27956	28019	28082	28145	28208	28271	28334	28397	28460	28523	28586	28649	28712	28775	28838	28901	28964	29027	29090	29153	29216	29279	29342	29405	29468	29531	29594	29657	29720	29783	29846	29909	29972	30035	30098	30161	30224	30287	30350	30413	30476	30539	30602	30665	30728	30791	30854	30917	30980	31043	31106	31169	31232	31295	31358	31421	31484	31547	31610	31673	31736	31799	31862	31925	31988	32051	32114	32177	32240	32303	32366	32429	32492	32555	32618	32681	32744	32807	32870	32933	32996	33059	33122	33185	33248	33311	33374	33437	33500	33563	33626	33689	33752	33815	33878	33941	34004	34067	34130	34193	34256	34319	34382	34445	34508	34571	34634	34697	34760	34823	34886	34949	35012	35075	35138	35201	35264	35327	35390	35453	35516	35579	35642	35705	35768	35831	35894	35957	36020	36083	36146	36209	36272	36335	36398	36461	36524	36587	36650	36713	36776	36839	36902	36965	37028	37091	37154	37217	37280	37343	37406	37469	37532	37595	37658	37721	37784	37847	37910	37973	38036	38099	38162	38225	38288	38351	38414	38477	38540	38603	38666	38729	38792	38855	38918	38981	39044	39107	39170	39233	39296	39359	39422	39485	39548	39611	39674	39737	39800	39863	39926	39989	40052	40115	40178	40241	40304	40367	40430	40493	40556	40619	40682	40745	40808	40871	40934	40997	41060	41123	41186	41249	41312	41375	41438	41501	41564	41627	41690	41753	41816	41879	41942	42005	42068	42131	42194	42257	42320	42383	42446	42509	42572	42635	42698	42761	42824	42887	42950	43013	43076	43139	43202	43265	43328	43391	43454	43517	43580	43643	43706	43769	43832	43895	43958	44021	44084	44147	44210	44273	44336	44399	44462	44525	44588	44651	44714	44777	44840	44903	44966	45029	45092	45155	45218	45281	45344	45407	45470	45533	45596	45659	45722	45785	45848	45911	45974	46037	46100	46163	46226	46289	46352	46415	46478	46541	46604	46667	46730	46793	46856	46919	46982	47045	47108	47171	47234	47297	47360	47423	47486	47549	47612	47675	47738	47801	47864	47927	47990	48053	48116	48179	48242	48305	48368	48431	48494	48557	48620	48683	48746	48809	48872	48935	48998	49061	49124	49187	49250	49313	49376	49439	49502	49565	49628	49691	49754	49817	49880	49943	50006	50069	50132	50195	50258	50321	50384	50447	50510	50573	50636	50699	50762	50825	50888	50951	51014	51077	51140	51203	51266	51329	51392	51455	51518	51581	51644	51707	51770	51833	51896	51959	52022	52085	52148	52211	52274	52337	52400	52463	52526	52589	52652	52715	52778	52841	52904	52967	53030	53093	53156	53219	53282	53345	53408	53471	53534	53597	53660	53723	53786	53849	53912	53975	54038	54101	54164	54227	54290	54353	54416	54479	54542	54605	54668	54731	54794	54857	54920	54983	55046	55109	55172	55235	55298	55361	55424	55487	55550	55613	55676	55739	55802	55865	55928	55991	56054	56117	56180	56243	56306	56369	56432	56495	56558	56621	56684	56747	56810	56873	56936	56999	57062	57125	57188	57251	57314	57377	57440	57503	57566	57629	57692	57755	57818	57881	57944	58007	58070	58133	58196	58259	58322	58385	58448	58511	58574	58637	58700	58763	58826	58889	58952	59015	59078	59141	59204	59267	59330	59393	59456	59519	59582	59645	59708	59771	59834	59897	59960	60023	60086	60149	60212	60275	60338	60401	60464	60527	60590	60653	60716	60779	60842	60905	60968	61031	61094	61157	61220	61283	61346	61409	61472	61535	61598	61661	61724	61787	61850	61913	61976	62039	62102	62165	62228	62291	62354	62417	62480	62543	62606	62669	62732	62795	62858	62921	62984	63047	63110	63173	63236	63299	63362	63425	63488	63551	63614	63677	63740	63803	63866	63929	63992	64055	64118	64181	64244	64307	64370	64433	64496	64559	64622	64685	64748	64811	64874	64937	64900	65000	65060	65120	65180	65240	65300	65360	65420	65480	65540	65600	65660	65720	65780	65840	65900	65960	66020	66080	66140	66200	66260	66320	66380	66440	66500	66560	66620	66680	66740	66800	66860	66920	66980	67040	67100	67160	67220	67280	67340	67400	67460	67520	67580	67640	67700	67760	67820	67880	67940	68000	68060	68120	68180	68240	68300	68360	68420	68480	68540	68600	68660	68720	68780	68840	68900	68960	69020	69080	69140	69200	69260	69320	69380	69440	69500	69560	69620	69680	69740	69800	69860	69920	69980	70040	70100	70160	70220	70280	70340

SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC
ATTORNEYS AND COUNSELORS AT LAW
500 FLEMING STREET
KEY WEST, FLORIDA 33040

JOHN M. SPOTTSWOOD, JR.
ERICA HUGHES STERLING
ROBERT A. SPOTTSWOOD, JR.
RICHARD J. McCHESNEY
ROBERT H. GEBBAIDE

Telephone | 305-294-9556
Facsimile | 305-504-2696

OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)

Revised July 21, 2025
May 28, 2025

RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

Devin Toplin, Planning Director
Monroe County | Planning & Environmental Resources
2798 Overseas Highway, Marathon FL 33050

RE: Minor Conditional Use Application
5730 2nd Avenue, Stock Island
RE# 00126290-000000

Dear Devin,

Please allow this letter and supporting documentation to serve as my client's, 5720 2ND AVENUE, LLC, a Florida limited liability company, (the "Applicant"), application for a minor conditional use at 5730 2nd Avenue, Stock Island, FL 33040 (the "Property").

The subject Property is located in the Mixed-Use (MU) zoning district and a Mixed-Use/Commercial (MC) future land use designation and within Tier III. The Property currently exists with one structure on site with two affordable housing units on the second floor and office on the first floor. Existing nonresidential space is 2,337 square feet. The proposal is to add a 1,600 sq. ft. commercial structure for light industrial use at the rear of the Property. The light industrial use is a minor conditional use in the MU district provided that certain conditions are met according to code Sec. 130-88 b.(9). The parcel proposed meets the criteria by:

- a. is less than two acres;
- b. is separated from any established residential use by at least a class C bufferyard; and
- c. any proposed outside storage areas will be screened from adjacent uses by a solid fence, wall or hedge at least six feet in height;

This application meets the requirements of code Section 110-66 The proposed conditional use will be consistent with the purposes, goals, objectives and standards of the plan and this chapter, as well as all the standards listed in Section 110-67 (a) through (i).

Density/Intensity

Site area: 12,500 square feet or, approximately 0.28 acres
Density: $12,500/43,560 \times 18 = 5.16$ units

Existing: Residential - 2 deed restricted affordable units

Proposed: Residential- 2 deed restricted affordable units

FAR and Open Space (code Section 130-164)

Mixed Use Zoning District	Maximum FAR	Existing FAR	Proposed FAR
Office	0.40	0.18	0.18
Light Industrial	0.30	0.00	0.13
TOTAL		0.18	0.31

Mixed Use Zoning District	Minimum Open Space	Existing Open Space	Proposed Open Space
Office & Light Industrial	0.20	0.11	0.45

Setbacks

Mixed Use Zoning District	Required	Existing	Proposed
Front Yard	15'	15'	15'
Side	10'	23'	23'
Side	5'	15'-2"	5'-0"
Rear	10'	48'-0"	10'-0"

Height

Maximum height in the Mixed-Use zoning district is 35'-0" as measured from the crown of road. See attached elevation showing the proposed new structure will not exceed the maximum height requirement.

Stormwater Management

All stormwater management will be provided on site as shown in attached plan.

Landscaping

Please see included landscape plan which is in accordance with code Sec. 114-100 and 114-108.

Utilities

The Property has the adequate utilities in place for existing and proposed development. Letters of Coordination with Property information and proposed plans have been sent to KeysEnergy, FKAA, KW Resort Utilities and Waste Management for review and input.

Base Flood Elevation

The Property is located in an AE(8) flood zone and the proposed new structure will be constructed to meet the standards of the Monroe County Code for flood protection.

NROGO

The Applicant will apply for a NROGO allocation in order to construct the 1,600 sq. ft. of warehouse space for light industrial use.

Parking and loading zone

The proposed site plan includes the required 11’x55’ loading zone. The Property has a former approval for existing uses allowing 10 parking spaces for the existing affordable housing units and non-residential floor area. In order to comply with the required parking for existing and proposed uses, this application proposes a shared parking analysis along with substituting 20% of required parking with scooter/motorcycle spaces pursuant to code Sec. 114-67i and Sec. 114-67 e.(4).

Therefore, we are proposing the following off-street parking.

	PARKING REQUIREMENT	REQUIRED SPACES	EXISTING	PROPOSED
Residential (2)	2 sp/unit	4 spaces		
Office (2,337 sf)	3 sp/1,000 sf	7 spaces		
Proposed Industrial (1,600 sf)	2 sp/1,000 sf	3.2 spaces		
TOTAL		14.2 spaces	10 spaces	10 Auto and 3 Scooter

The above is based on the below calculations using shared parking and 20% scooter substitution:

	Nighttime	Weekday		Weekend	
	Midnight to 6:00 a.m.	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)
Specific Use Categories					
Office/industrial/warehouse	10.2 x 5% = 0.51	10.2 x 100% = 10.2	10.2 x 10% = 1.02	10.2 x 10% = 1.02	10.2 x 5% = 0.51
Residential (2 units)	4 x 100% = 4	4 x 60% = 2.4	4 x 90% = 3.6	4 x 80% = 3.2	4 x 90% = 3.6
TOTAL	4.51 (5)	12.6 (13)	4.6 (5)	4.2 (4)	4.11 (4)

	Nighttime	Weekday		Weekend	
	Midnight to 6:00 a.m.	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)
Specific Use Categories					
20% per Code Sec. 114-67 (e)4,		12.6 x 20% = 2.6 (3) spaces	10 vehicle spaces required 3 motorcycle/scooter spaces		

Construction Management Plan

Construction of the project will be done in a single phase. All of the construction will be conducted in the already fenced/walled portion of the property. The only entry gates are locked with a key pad for entry. No equipment, debris or materials will be stored anywhere outside the property. There are unmanned construction equipment/storage yards on two sides of the property and an industrial style cabinet shop on another side of the property. There are no near shore waters that will be impacted.

We greatly appreciate your assistance. If you have any questions or concerns, please don't hesitate to contact me.

Best regards,

Richard J. McChesney

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



RECEIVED
2025-112
JUN 10 2025

Ownership Disclosure of Interest

MONROE COUNTY
PLANNING DEPT

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
Dane Black 3725 Paula Ave Key West, FL 33040	100
Dave Black 3725 3725 Paula Ave Key West, FL 33040	manager

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
HORN	

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

<i>Name and Address</i>

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: David Black

STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization, on 10 day of June, 2025, by Dave Black
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as
(TYPE OF ID PRODUCED)
identification.

William Estes
SIGNATURE OF NOTARY PUBLIC



William Estes
PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:

End of Additional File 2025-112

MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.

Request for a Minor Conditional Use Permit

An application must be deemed complete and in compliance with the Monroe County Code by the staff prior to the item being scheduled for review.

Minor Conditional Use Permit Application Fee: \$8,480.00

In addition to the application fee, the following fees also apply:

Advertising Costs: \$245.00

Surrounding Property Owner Notification: \$3.00 for each property owner required to be noticed

Traffic Study Review: \$5,000.00

Date of Application: 5 / 29 / 2025
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

Richard McChesney/Spottswood Law Firm

Richard McChesney

Applicant (Name of Person, Business or Organization)

Name of Person Submitting this Application

500 Fleming Street, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

305-294-9956

305-304-3884

Richard@spottswoodlaw.com

Work Phone

Home Phone

Cell Phone

Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

5730 2nd AVE LLC

Dave Black

(Name/Entity)

Contact Person

3144 Northside Drive, Suite 101, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

305-797-9235

dblackkw@yahoo.com

Work Phone

Home Phone

Cell Phone

Email Address

Legal Description of Property:

(If in metes and bounds, attach legal description on separate sheet.)

47

3 & 4

McDonalds

Stock Island

Block

Lot

Subdivision

Key

00126290-000000

1160482

Real Estate (RE) / Parcel ID Number

Alternate Key Number

5730 2nd Avenue, Key West/Stock Island 33040

5

Street Address (Street, City, State & Zip Code)

Approximate Mile Marker

Mixed Use

Land Use District Designation of Property: _____

Present Land Use of Property: Office and residential

Proposed Land Use of Property: Office, residential and light industry

Total Area of Property: 12,500 Sq. Ft.

Total Upland Area within Property: 12,500 Sq. Ft.

If non-residential or commercial floor area is proposed, please provide:

+1 Total number of non-residential buildings

+1,600 Total non-residential floor area in square feet 2,237 existing non-residential sq. ft. for a proposed total of 3,837 sq. ft.

If residential dwelling units are proposed, please provide:

0 Total number of residential buildings

0 Total number of market-rate units

0 (2 existing) Total number of affordable units

0 Total number of transient units (hotel, recreational vehicle and/or campground)

Has a previous application been submitted for this site within the past two years? Yes No

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

- Completed application form
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current property record card(s) from the Monroe County Property Appraiser
- Completed application form
- Photograph(s) of site from adjacent roadway
- Written description of project
- Signed and Sealed Boundary Survey, prepared by a Florida registered surveyor – 3 sets (at a minimum, survey should include elevations; all existing structures, paved areas and utility structures; all bodies of water on the site and adjacent to the site; total acreage; and total acreage by habitat)
- Signed and Sealed Site Plan, prepared by a Florida registered architect, engineer or landscape architect– 3 sets (drawn to a scale of 1:10 or 1:20). At a minimum, the site plan should include the following:
 - Date, north point and graphic scale
 - Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes.
 - All attributes from the boundary survey
 - Future Land Use Map (FLUM) designation(s) of the site
 - Land Use (Zoning) District designation(s) of site
 - Tier designation(s) of the site
 - Flood zones pursuant to the Flood Insurance Rate Map

- Setback lines as required by the Land Development Code
- Locations and dimensions of all existing and proposed structures, including all paved areas and clear site triangles
- Size and type of buffer yards and parking lot landscaping areas, including the species and number of plants (*unless a separate landscape plan showing such is submitted*)
- Extent and area of wetlands, open space preservation areas and conservation easements
- Delineation of habitat types to demonstrate buildable area on the site, including any heritage trees identified and any potential species that may use the site (certified by an approved biologist and based on the most current professionally-recognized mapping by the U.S. Fish and Wildlife Service) (unless a separate landscape plan showing such is submitted)
- Location of fire hydrants or fire wells
- The location of public utilities, including location of the closest available water supply system or collection lines and the closest available wastewater collection system or collection lines (with wastewater system provider) or on-site system proposed to meet required County and State of Florida wastewater treatment standards
- A table providing the total land area of the site, the total buildable area of the site, the type and square footage of all nonresidential land uses, the type and number of all residential dwelling units, the amounts of impervious and pervious areas, and calculations for land use intensity, open space ratio, and off-street parking

Landscape Plan by a Florida registered landscape architect – 3 sets (may be shown on the site plan; however, if a separate plan, drawn to a scale of 1:10 or 1:20). At a minimum, the landscaping plan should include the following:

- Date, north point and graphic scale
- Boundary lines of site, including all property lines and mean high-water lines shown in accordance with Florida Statutes
- Locations and dimensions of all existing and proposed structures, including all paved areas
- Open space preservation areas
- Existing natural features
- Size and type of buffer yards including the species, size and number of plants
- Parking lot landscaping including the species, size and number of plants
- Specimen trees, or threatened and endangered plants to be retained and those to be relocated or replaced
- Transplantation plan (if required)

Stormwater/ Surface Water Management Plan – 3 sets (including existing and proposed topography, all drainage structures, retention areas, drainage swales and existing and proposed permeable and impermeable areas)

Building Floor Plans for all proposed structures and for any existing structures to be redeveloped – 3 sets (drawn at an appropriate standard architectural scale)

Building Elevations for all proposed structures and for any existing structures to be modified – 3 sets (with the elevations of the following features referenced to NGVD: existing grade; finished grade; finished floor elevations (lowest supporting beam for V-zone development); roofline; and highest point of the structure)

Traffic Study, prepared by a licensed traffic engineer

Transportation fee of \$5,000 to cover the cost of experts hired by the Growth Management Division to review the traffic study (any unused funds deposited will be returned upon permit approval)

Construction Management Plan, stating how impacts on near shore water and surrounding property will be managed (i.e. construction barriers, hay bales, flagging)

List of names and addresses of all real property owners within a 600 foot radius of the subject property. This list should be compiled from the current tax rolls of the Monroe County Property Appraiser. In the event that a condominium development is within the 600 foot radius, each unit owner must be included

Radius report from Monroe County Property Appraiser supporting the required labels

Proof of Coordination are required from the following:

- Florida Keys Aqueduct Authority (FKAA)
- Florida Keys Electric Cooperative (FKEC) or Keys Energy Services
- Monroe County Office of the Fire Marshal
- Monroe County Solid Waste Management
- Florida Department of Health if wastewater flows are less than or equal to 5,000 gallons per day or Florida Department of Environmental Protection if wastewater flows exceed 5,000 gallons per day

If applicable, the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application.)

Notarized Agent Authorization

Vegetation Survey or Wetland delineation

Construction Phasing Plan

Additional Proof of Coordination may be required for your project, please contact with the Planning & Environmental Resources Department to identify other agencies expected to review the project. Other agencies may include, but are not limited to:

- Key West Resort Utilities
- Key Largo Wastewater Treatment District (KLWTD)
- South Florida Water Management District (SFWMD)
- Florida Department of Transportation (FDOT)
- Florida Department of Environmental Protection (FDEP)
- Florida Department of State, Division of Historic Resources
- Florida Fish & Wildlife Conservation Commission (FWC)
- U.S. Army Corps of Engineers (ACOE)
- U.S. Fish and Wildlife Service (USFW)

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development:

Yes No Code Case file # _____ Describe the enforcement proceedings and if this

application is being submitted to correct the violation: _____

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

* * * * *

See Page 5 for Signature and Notary Acknowledgement

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: *[Handwritten Signature]*

Date: 5/28/25

STATE OF Florida

COUNTY OF Monroe

Sworn to and subscribed before me, by means of either physical presence OR online notarization,

on 28 day of May, 2025, by Richard J. McChesney
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced _____ as
(TYPE OF ID PRODUCED)
identification.

[Handwritten Signature]
SIGNATURE OF NOTARY PUBLIC

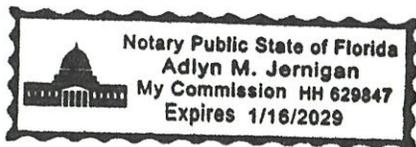
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:

[Handwritten Signature]

PRINT, TYPE OR STAMP COMMISSIONED

Send complete application package to:

Monroe County Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050



AGENT AUTHORIZATION FORM

Date of Authorization: 02 / 24 / 2025
Month Day Year

I hereby authorize Richard McChesney/Spottswood Law Firm be listed as authorized agent
(Print Name of Agent)
representing 5730 2nd Ave LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))
of Minor Conditional Use Permit
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

Table with 4 columns: Lot, Block, Subdivision, Key (Island). Row 1: 3 & 4, 47, McDonald's, Stock Island. Row 2: 00126290-000000, 1160482. Row 3: 5730 2nd Ave. Key West/Stock Island, 5. Row 4: Street Address (Street, City, State & Zip Code), Approximate Mile Marker.

Authorized Agent Contact Information:

500 Fleming Street, Key West, FL 33040
Mailing Address (Street, City, State and Zip Code)
305-294-9556 Richard@spottswoodlaw.com
Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

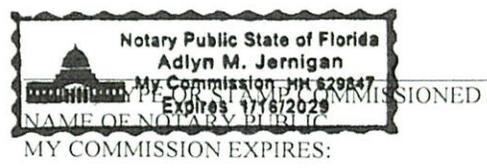
Signature of Property Owner: [Signature] Date: 2/24/25

STATE OF Florida COUNTY OF monroe

Sworn to and subscribed before me, by means of either [X] physical presence OR [] online notarization,
on 24 day of February, 2025, by David Black
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is [] personally known to me OR [X] produced Driver's License as
(TYPE OF ID PROVIDED)
identification.

[Signature]
SIGNATURE OF NOTARY PUBLIC



SPOTTSWOOD, SPOTTSWOOD, SPOTTSWOOD & STERLING, PLLC
ATTORNEYS AND COUNSELORS AT LAW
500 FLEMING STREET
KEY WEST, FLORIDA 33040

JOHN M. SPOTTSWOOD, JR.
ERICA HUGHES STERLING
ROBERT A. SPOTTSWOOD, JR.
RICHARD J. McCHESNEY
ROBERT H. GEBALDE

Telephone | 305-294-9556
Facsimile | 305-504-2696

OF COUNSEL:

JOHN M. SPOTTSWOOD (1920 – 1975)

May 28, 2025

Devin Toplin, Planning Director
Monroe County | Planning & Environmental Resources
2798 Overseas Highway, Marathon FL 33050

RE: Minor Conditional Use Application
5730 2nd Avenue, Stock Island
RE# 00126290-000000

Dear Devin,

Please allow this letter and supporting documentation to serve as my client's, 5720 2ND AVENUE, LLC, a Florida limited liability company, (the "Applicant"), application for a minor conditional use at 5730 2nd Avenue, Stock Island, FL 33040 (the "Property").

The subject Property is located in the Mixed-Use (MU) zoning district and a Mixed-Use/Commercial (MC) future land use designation and within Tier III. The Property currently exists with one structure on site with two affordable housing units on the second floor and office on the first floor. Existing nonresidential space is 2,337 square feet. The proposal is to add a 1,600 sq. ft. commercial structure for light industrial use at the rear of the Property. The light industrial use is a minor conditional use in the MU district provided that certain conditions are met according to code Sec. 130-88 b.(9). The parcel proposed meets the criteria by:

- a. is less than two acres;
- b. is separated from any established residential use by at least a class C bufferyard; and
- c. any proposed outside storage areas will be screened from adjacent uses by a solid fence, wall or hedge at least six feet in height;

This application meets the requirements of code Section 110-66. The proposed conditional use will be consistent with the purposes, goals, objectives and standards of the plan and this chapter, as well as all the standards listed in Section 110-67 (a) through (i).

Density/Intensity

Site area: 12,500 square feet or, approximately 0.28 acres

Density: 12,500/43,560 x 18 = 5.16 units

Existing: Residential - 2 deed restricted affordable units

Proposed: Residential- 2 deed restricted affordable units

FAR and Open Space (code Section 130-164)

Mixed Use Zoning District	Maximum FAR	Existing FAR	Proposed FAR
Office	0.40	0.18	0.18
Light Industrial	0.30	0.00	0.13
TOTAL		0.18	0.31

Mixed Use Zoning District	Minimum Open Space	Existing Open Space	Proposed Open Space
Office & Light Industrial	0.20	0.11	0.45

Setbacks

Mixed Use Zoning District	Required	Existing	Proposed
Front Yard	15'	15'	15'
Side	10'	23'	23'
Side	5'	15'-2"	5'-0"
Rear	10'	48'-0"	10'-0"

Height

Maximum height in the Mixed-Use zoning district is 35'-0" as measured from the crown of road. See attached elevation showing the proposed new structure will not exceed the maximum height requirement.

Stormwater Management

All stormwater management will be provided on site as shown in attached plan.

Landscaping

Please see included landscape plan which is in accordance with code Sec. 114-100 and 114-108.

Utilities

The Property has the adequate utilities in place for existing and proposed development. Letters of Coordination with Property information and proposed plans have been sent to Keys Energy, FCAA, KW Resort Utilities and Waste Management for review and input.

Base Flood Elevation

The Property is located in an AE(8) flood zone and the proposed new structure will be constructed to meet the standards of the Monroe County Code for flood protection.

NROGO

The Applicant will apply for a NROGO allocation in order to construct the 1,600 sq. ft. of warehouse space for light industrial use.

Parking and loading zone:

The proposed site plan includes the required 11’x55’ loading zone. The Property has a former approval for existing uses allowing 10 parking spaces for the existing affordable housing units and non-residential floor area. In order to comply with the required parking for existing and proposed uses, this application proposes a shared parking analysis along with substituting 20% of required parking with scooter/motorcycle spaces pursuant to code Sec. 114-67i and Sec. 114-67 e.(4).

Therefore, we are proposing the following off-street parking.

	PARKING REQUIREMENT	REQUIRED SPACES	EXISTING	PROPOSED
Residential (2)	2 sp/unit	4 spaces		
Office (2,337 sf)	3 sp/1,000 sf	7 spaces		
Proposed Industrial (1,600 sf)	2 sp/1,000 sf	3.2 spaces		
TOTAL		14.2 spaces	10 spaces	10 Auto and 3 Scooter

The above is based on the below calculations using shared parking and 20% scooter substitution:

	Nighttime	Weekday		Weekend	
	Midnight to 6:00 a.m.	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)
Specific Use Categories					
Office/industrial/warehouse	10.2 x 5% = 0.51	10.2 x 100% = 10.2	10.2 x 10% = 1.02	10.2 x 10% = 1.02	10.2 x 5% = 0.51
Residential (2 units)	4 x 100% = 4	4 x 60% = 2.4	4 x 90% = 3.6	4 x 80% = 3.2	4 x 90% = 3.6
TOTAL	4.51 (5)	12.6 (13)	4.6 (5)	4.2 (4)	4.11 (4)

	Nighttime	Weekday		Weekend	
	Midnight to 6:00 a.m.	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)	Day (9:00 a.m. to 4:00 p.m.)	Evening (6:00 p.m. to Midnight)
Specific Use Categories					
20% per Code Sec. 114-67 (e)4,		12.6 x 20% = 2.6 (3) spaces	10 vehicle spaces required 3 motorcycle/scooter spaces		

We greatly appreciate your assistance. If you have any questions or concerns, please don't hesitate to contact me.

Best regards,



Richard J. McChesney, Esq.
For the Firm

Doc # 2476677 Bk# 3295 Pg# 527 Electronically Recorded 10/4/2024 at 8:59 AM Pages 2
Filed and Recorded in Official Records of MONROE COUNTY KEVIN MADOK
ElectronicallyREC: \$18.50 Deed Doc Stamp \$9,800.00

PREPARED BY:
RICHARD M. KLITENICK, ESQ.
RICHARD M. KLITENICK, P.A.
1009 SIMONTON STREET
KEY WEST, FL 33040
305-292-4101
FILE NUMBER: RE24-042
RECORDING FEE: \$18.50
DOCUMENTARY STAMPS PAID: \$9,800.00

[space above this line for recording data] _____

WARRANTY DEED

THIS WARRANTY DEED is made on this 30 day of September, 2024, between UME BY THE SEA, LLC, a Florida limited liability company, whose address is 39 Evergreen Avenue, Key West, FL 33040 (hereinafter referred to as 'Grantor'), and 5730 2ND AVE, LLC, a Florida limited liability company, whose mailing address 3144 Northside Drive, #101, Key West, FL 33040 (hereinafter referred to as "Grantee").

(Whenever used herein the terms 'Grantor' and 'Grantee' include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said Grantor, for and in consideration of the sum ONE MILLION FOUR HUNDRED THOUSAND & 00/100^{ths} DOLLARS (\$1,400,000.00) and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, with the street address of 5730 2nd Avenue, Key West, FL 33040 more particularly described as:

LOTS 3 AND 4, BLOCK 47, OF McDONALD'S PLAT OF STOCK ISLAND AND KNOWN AS MALONEY SUBDIVISION, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 1, PAGE 55, OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

PARCEL ID NUMBER: 00126290-000000; ALTERNATE KEY ("AK") NUMBER: 1160482

SUBJECT TO CONDITIONS AND RESTRICTIONS OF RECORD, IF ANY, BUT THIS DEED SHALL NOT OPERATE TO REIMPOSE THE SAME.

SUBJECT TO: TAXES FOR THE YEAR 2024 AND SUBSEQUENT YEARS

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that

UME BY THE SEA, LLC TO 5730 2ND AVE, LLC
WARRANTY DEED
5730 2ND AVENUE, KEY WEST, FL 33040
PAGE 1 OF 2

said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2023, and those items listed above.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

UME BY THE SEA, LLC,
a Florida limited liability company

[Signature]
Witness #1 signature
Print name: Robert P. Galone Jr

By: [Signature]
ANNE MARIE CHAPMAN, Authorized Member

Address: 1228 Township Road
Chelton, Pa 18724

[Signature]
Witness #2 signature
print name: John McCarthy

Address: 39 Evergreen Ave
Key West, FL 33040

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF Montgomery

I HEREBY CERTIFY that on this 30 day of September, 2024, before me, an officer duly authorized to administer oaths and take acknowledgements in the Commonwealth of Pennsylvania, the foregoing instrument was acknowledged by means of physical presence or online notarization, by ANNE MARIE CHAPMAN, who is personally known to me, or who has produced _____ as identification, and she acknowledged to me that she executed this document freely and voluntarily for the purposes herein expressed, with all requisite company authority.

WITNESS my hand and official seal at Montgomery County, Pennsylvania.

(STAMP/SEAL)

Commonwealth of Pennsylvania - Notary Seal
Donna Yvonne Yaun, Notary Public
Montgomery County
My commission expires March 29, 2025
Commission number 1183155
Member, Pennsylvania Association of Notaries

[Signature]
Notary Public, Commonwealth of Pennsylvania
My Commission Expires: March 29, 2025

UME BY THE SEA, LLC TO 5730 2ND AVE, LLC
WARRANTY DEED
5730 2ND AVENUE, KEY WEST, FL 33040
PAGE 2 OF 2



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
5730 2ND AVE, LLC

Filing Information

Document Number	L24000400673
FEI/EIN Number	N/A
Date Filed	09/13/2024
Effective Date	09/13/2024
State	FL
Status	ACTIVE

Principal Address

5730 2ND AVE
KEY WEST, FL 33040

Mailing Address

3144 NORTHSIDE DR
101
KEY WEST, FL 33040

Registered Agent Name & Address

ZUELCH AND ZUELCH
3144 NORTHSIDE DR.
101
KEY WEST, FL 33040

Authorized Person(s) Detail

Name & Address

Title MGR

BLACK, DANE R
5730 2ND AVE
KEY WEST, FL 33040

Title MGR

BLACK, DAVID J
5730 2ND AVE
KEY WEST, FL 33040

Annual Reports

Report Year	Filed Date
2025	04/09/2025

Document Images

[04/09/2025 -- ANNUAL REPORT](#)

View image in PDF format

[09/13/2024 -- Florida Limited Liability](#)

View image in PDF format

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00126290-000000
 Account# 1160482
 Property ID 1160482
 Millage Group 110A
 Location 5730 2ND Ave, STOCK ISLAND
 Address
 Legal BLK 47 LOTS 3 & 4 MCDONALDS SUB PB1-55 STOCK ISLAND Z-20 OR703-604
 Description OR758-1655 OR784-925 OR846-444 OR848-1524 OR920-766 OR1021-425
 OR1021-426 OR1030-708 OR1051-2150 OR1313-1088 OR1338-1322 OR1448-822
 OR1646-2120 OR2350-311 OR3077-0125 OR3145-1229 OR3295-0527
 (Note: Not to be used on legal documents.)
 Neighborhood 10060
 Property Class STORE COMBO (1200)
 Subdivision
 Sec/Twp/Rng 35/67/25
 Affordable Yes
 Housing



Owner

5730 2ND AVE LLC
 3144 Northside Dr
 Ste 101
 Key West FL 33040

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$458,555	\$447,664	\$469,771	\$495,880
+ Market Misc Value	\$84,953	\$87,619	\$90,285	\$92,950
+ Market Land Value	\$605,447	\$605,447	\$550,406	\$495,366
= Just Market Value	\$1,148,955	\$1,140,730	\$1,110,462	\$1,084,196
= Total Assessed Value	\$1,148,955	\$1,140,730	\$1,110,462	\$721,732
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,148,955	\$1,140,730	\$1,110,462	\$1,084,196

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$605,447	\$458,555	\$84,953	\$1,148,955	\$1,148,955	\$0	\$1,148,955	\$0
2023	\$605,447	\$447,664	\$87,619	\$1,140,730	\$1,140,730	\$0	\$1,140,730	\$0
2022	\$550,406	\$469,771	\$90,285	\$1,110,462	\$1,110,462	\$0	\$1,110,462	\$0
2021	\$495,366	\$495,880	\$92,950	\$1,084,196	\$721,732	\$0	\$1,084,196	\$0
2020	\$297,219	\$328,196	\$30,705	\$656,120	\$656,120	\$0	\$656,120	\$0
2019	\$344,250	\$346,950	\$30,886	\$722,086	\$722,086	\$0	\$722,086	\$0
2018	\$340,875	\$319,092	\$21,788	\$681,755	\$681,755	\$0	\$681,755	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1200)	12,500.00	Square Foot	100	125

Buildings

Building ID	41954	Exterior Walls	C.B.S.
Style	2 STORY ON GRADE	Year Built	1981
Building Type	COM/RES B / 12B	EffectiveYearBuilt	2008
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	4001	Roof Type	GABLE/HIP
Finished Sq Ft	3674	Roof Coverage	METAL
Stories	2 Floor	Flooring Type	VINYL/LAMINATE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	416	Bedrooms	0
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	23	Grade	350
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CAT	CATWALK UPPER	40	0	28
FLA	FLOOR LIV AREA	3,674	3,674	508
OPF	OP PRCH FIN LL	287	0	96
TOTAL		4,001	3,674	632

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1980	1981	30 x 10	1	300 SF	2
CONC PATIO	1980	1981	4 x 79	1	316 SF	2
CONC PATIO	1980	1981	3 x 18	1	54 SF	2
CONC PATIO	1998	1999	5 x 80	1	400 SF	2
CH LINK FENCE	1999	2000	6 x 28	1	168 SF	3
CH LINK FENCE	1999	2000	4 x 47	1	188 SF	1
CONC PATIO	1999	2000	14 x 15	1	210 SF	2
CH LINK FENCE	1999	2000	8 x 99	1	792 SF	3
FENCES	2016	2017	6 x 370	1	2220 SF	3
BRICK PATIO	2008	2009	0 x 0	1	11197 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
9/30/2024	\$1,400,000	Warranty Deed	2476677	3295	0527
12/10/2021	\$779,400	Warranty Deed	2354423	3145	1229
2/17/2021	\$1,299,000	Warranty Deed	2305140	3077	0125
7/27/2000	\$300,000	Warranty Deed		1646	2120
2/1/1997	\$525,000	Warranty Deed		1448	0822
1/1/1995	\$215,000	Warranty Deed		1338	1322
5/1/1988	\$1	Warranty Deed		1051	2150
7/1/1987	\$1	Warranty Deed		1021	426
5/1/1984	\$250,000	Warranty Deed		920	766

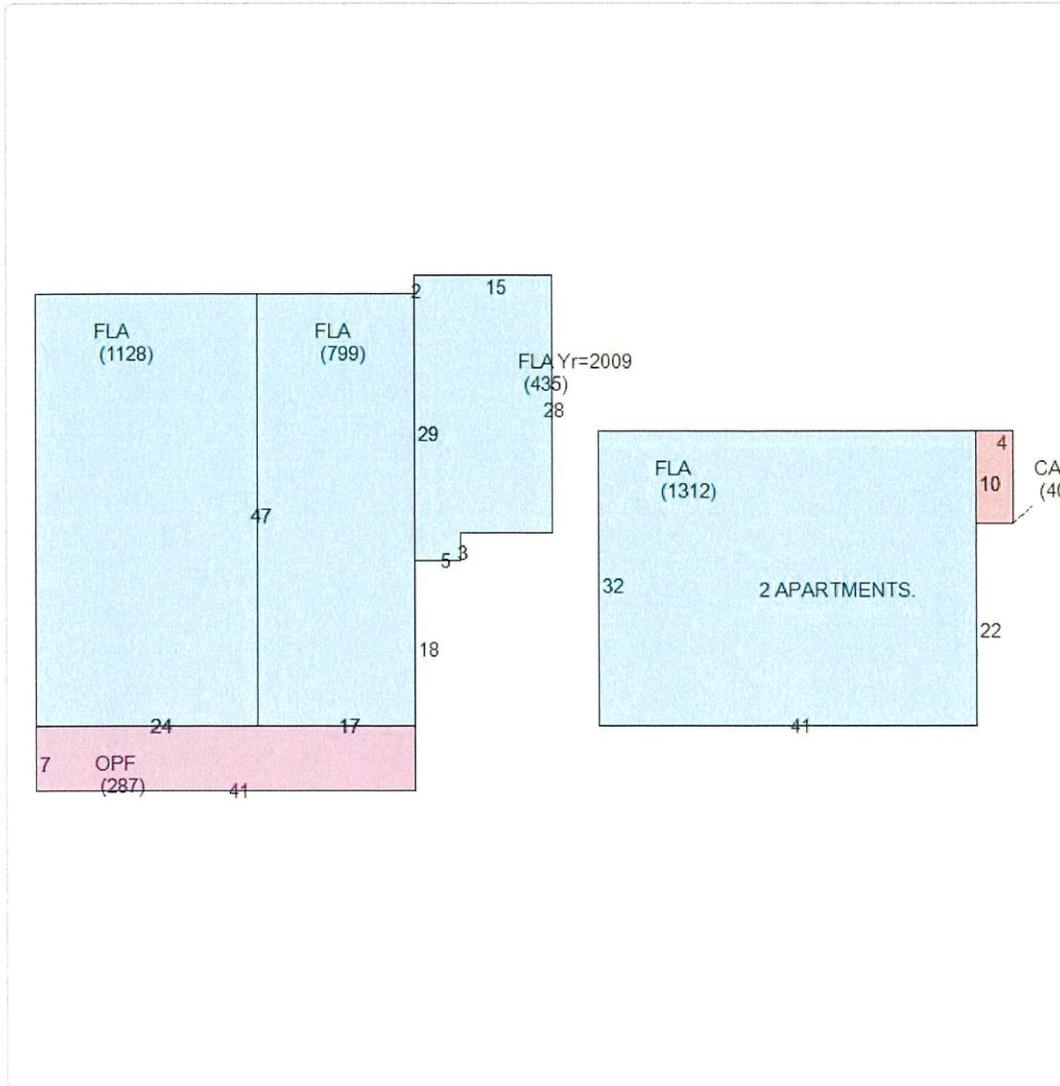
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
C-ROOF-2024-0051	09/19/2024	Active	\$32,000	Commercial	Remove and replace all the metal roofing on the lower roofs and the upper main gable roof on the building
15103925	09/23/2015	Completed	\$2,200	Commercial	CONCRETE FENCE
15100239	03/16/2015	Completed	\$12,000	Commercial	INJECTION WELL
09101283	04/30/2009	Completed	\$1,000	Commercial	FIRE ALARM SYSTEM
03100454	05/09/2008	Completed	\$22,800	Commercial	ATF REAR OFFICE ADDITION
07104439	04/22/2008	Completed	\$45,000	Commercial	ATF AFFORDABLE HOUSING
07104442	04/22/2008	Completed	\$84,000	Commercial	AFFORDABLE HOUSING CBS
07104541	10/19/2007	Completed	\$16,000	Commercial	Turf Block Pavers
07104548	10/18/2007	Completed	\$5,000	Commercial	Demo Asphalt
00/2666	03/28/2001	Completed	\$300	Commercial	ATF SLAB
01/0279	02/07/2001	Completed	\$3,800	Commercial	PAVING
00/3835	10/02/2000	Completed	\$5,100	Commercial	ROOF OVER
00/3483	08/04/2000	Completed	\$3,000	Commercial	COMM. MISEC.
00/3485	08/04/2000	Completed	\$2,500	Commercial	ELEC-MISC.

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



TRIM Notice



[User Privacy Policy](#) [GDPR Privacy Notice](#)
Last Data Upload: 2/22/2025, 1:32:21 AM

Monroe County, FL

PROPERTY RECORD CARD

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00126290-000000
Account# 1160482
Property ID 1160482
Millage Group 110A
Location Address 5730 2ND Ave, STOCK ISLAND
Legal Description BLK 47 LOTS 3 & 4 MCDONALDS SUB PB1-55 STOCK ISLAND Z-20 OR703-604 OR758-1655 OR784-925 OR846-444 OR848-1524 OR920-766 OR1021-425 OR1021-426 OR1030-708 OR1051-2150 OR1313-1088 OR1338-1322 OR1448-822 OR1646-2120 OR2350-311 OR3077-0125 OR3145-1229 OR3295-0527
(Note: Not to be used on legal documents.)
Neighborhood 10060
Property Class STORE COMBO (1200)
Subdivision
Sec/Twp/Rng 35/67/25
Affordable Housing Yes



1160482-20241210

Owner

5730 2ND AVE LLC
 3144 Northside Dr
 Ste 101
 Key West FL 33040

Valuation

	2024 Certified Values	2023 Certified Values	2022 Certified Values	2021 Certified Values
+ Market Improvement Value	\$458,555	\$447,664	\$469,771	\$495,880
+ Market Misc Value	\$84,953	\$87,619	\$90,285	\$92,950
+ Market Land Value	\$605,447	\$605,447	\$550,406	\$495,366
= Just Market Value	\$1,148,955	\$1,140,730	\$1,110,462	\$1,084,196
= Total Assessed Value	\$1,148,955	\$1,140,730	\$1,110,462	\$721,732
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$1,148,955	\$1,140,730	\$1,110,462	\$1,084,196

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2024	\$605,447	\$458,555	\$84,953	\$1,148,955	\$1,148,955	\$0	\$1,148,955	\$0
2023	\$605,447	\$447,664	\$87,619	\$1,140,730	\$1,140,730	\$0	\$1,140,730	\$0
2022	\$550,406	\$469,771	\$90,285	\$1,110,462	\$1,110,462	\$0	\$1,110,462	\$0
2021	\$495,366	\$495,880	\$92,950	\$1,084,196	\$721,732	\$0	\$1,084,196	\$0
2020	\$297,219	\$328,196	\$30,705	\$656,120	\$656,120	\$0	\$656,120	\$0
2019	\$344,250	\$346,950	\$30,886	\$722,086	\$722,086	\$0	\$722,086	\$0
2018	\$340,875	\$319,092	\$21,788	\$681,755	\$681,755	\$0	\$681,755	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
(1200)	12,500.00	Square Foot	100	125

Buildings

Building ID	41954	Exterior Walls	C.B.S.
Style	2 STORY ON GRADE	Year Built	1981
Building Type	COM/RES B / 12B	EffectiveYearBuilt	2008
Building Name		Foundation	CONCRETE SLAB
Gross Sq Ft	4001	Roof Type	GABLE/HIP
Finished Sq Ft	3674	Roof Coverage	METAL
Stories	2 Floor	Flooring Type	VINYL/LAMINATE
Condition	AVERAGE	Heating Type	FCD/AIR DUCTED
Perimeter	416	Bedrooms	0
Functional Obs	0	Full Bathrooms	4
Economic Obs	0	Half Bathrooms	0
Depreciation %	23	Grade	350
Interior Walls	DRYWALL	Number of Fire Pl	0

Code	Description	Sketch Area	Finished Area	Perimeter
CAT	CATWALK UPPER	40	0	28
FLA	FLOOR LIV AREA	3,674	3,674	508
OPF	OP PRCH FIN LL	287	0	96
TOTAL		4,001	3,674	632

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1980	1981	30 x 10	1	300 SF	2
CONC PATIO	1980	1981	4 x 79	1	316 SF	2
CONC PATIO	1980	1981	3 x 18	1	54 SF	2
CONC PATIO	1998	1999	5 x 80	1	400 SF	2
CH LINK FENCE	1999	2000	6 x 28	1	168 SF	3
CH LINK FENCE	1999	2000	4 x 47	1	188 SF	1
CONC PATIO	1999	2000	14 x 15	1	210 SF	2
CH LINK FENCE	1999	2000	8 x 99	1	792 SF	3
FENCES	2016	2017	6 x 370	1	2220 SF	3
BRICK PATIO	2008	2009	0 x 0	1	11197 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page
9/30/2024	\$1,400,000	Warranty Deed	2476677	3295	0527
12/10/2021	\$779,400	Warranty Deed	2354423	3145	1229
2/17/2021	\$1,299,000	Warranty Deed	2305140	3077	0125
7/27/2000	\$300,000	Warranty Deed		1646	2120
2/1/1997	\$525,000	Warranty Deed		1448	0822
1/1/1995	\$215,000	Warranty Deed		1338	1322
5/1/1988	\$1	Warranty Deed		1051	2150
7/1/1987	\$1	Warranty Deed		1021	426
5/1/1984	\$250,000	Warranty Deed		920	766

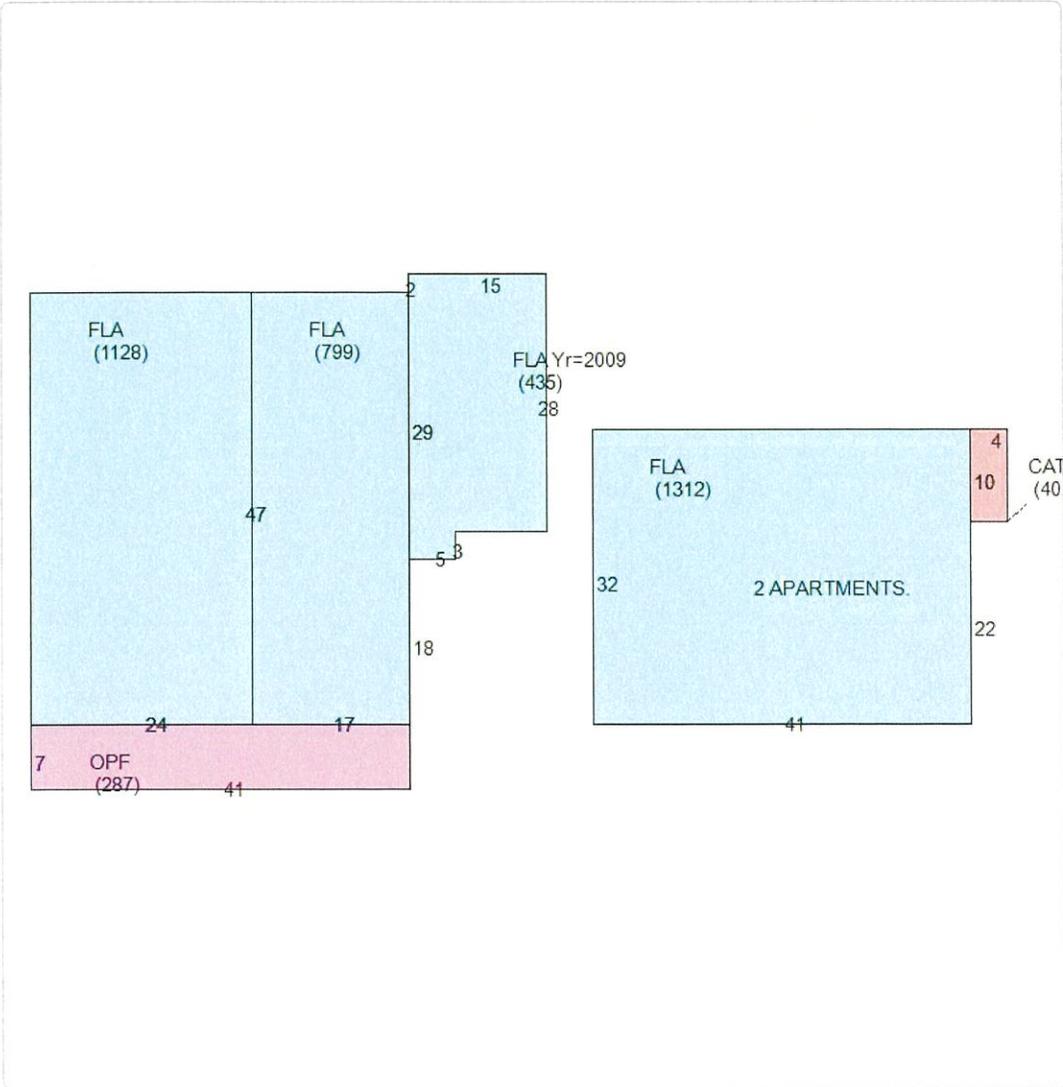
Permits

Number	Date Issued	Status	Amount	Permit Type	Notes
C-ROOF-2024-0051	09/19/2024	Active	\$32,000	Commercial	Remove and replace all the metal roofing on the lower roofs and the upper main gable roof on the building
15103925	09/23/2015	Completed	\$2,200	Commercial	CONCRETE FENCE
15100239	03/16/2015	Completed	\$12,000	Commercial	INJECTION WELL
09101283	04/30/2009	Completed	\$1,000	Commercial	FIRE ALARM SYSTEM
03100454	05/09/2008	Completed	\$22,800	Commercial	ATF REAR OFFICE ADDITION
07104439	04/22/2008	Completed	\$45,000	Commercial	ATF AFFORDABLE HOUSING
07104442	04/22/2008	Completed	\$84,000	Commercial	AFFORDABLE HOUSING CBS
07104541	10/19/2007	Completed	\$16,000	Commercial	Turf Block Pavers
07104548	10/18/2007	Completed	\$5,000	Commercial	Demo Asphalt
00/2666	03/28/2001	Completed	\$300	Commercial	ATF SLAB
01/0279	02/07/2001	Completed	\$3,800	Commercial	PAVING
00/3835	10/02/2000	Completed	\$5,100	Commercial	ROOF OVER
00/3483	08/04/2000	Completed	\$3,000	Commercial	COMM. MISC.
00/3485	08/04/2000	Completed	\$2,500	Commercial	ELEC-MISC.

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)



Photos



Map



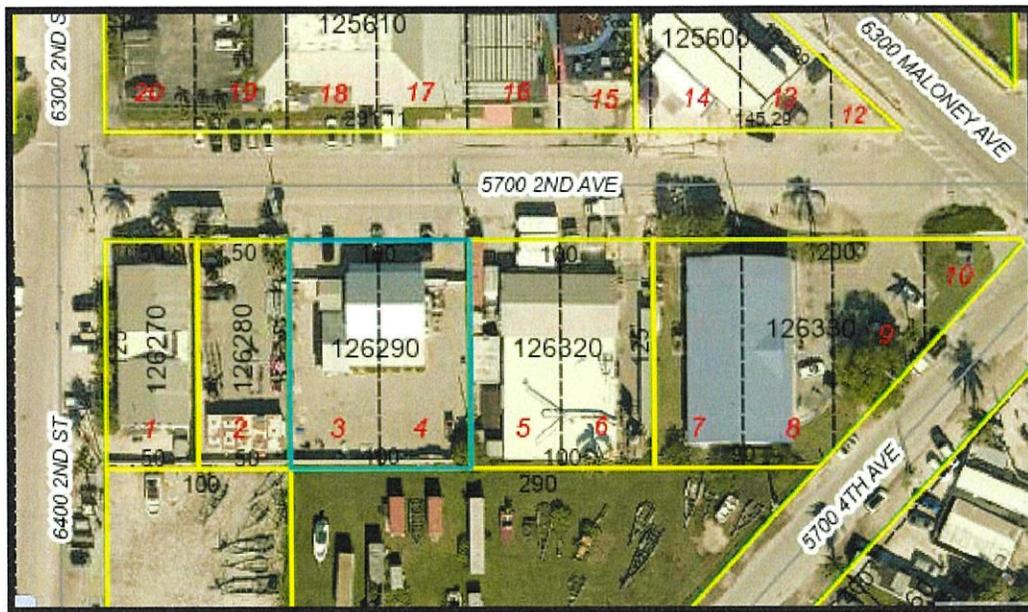
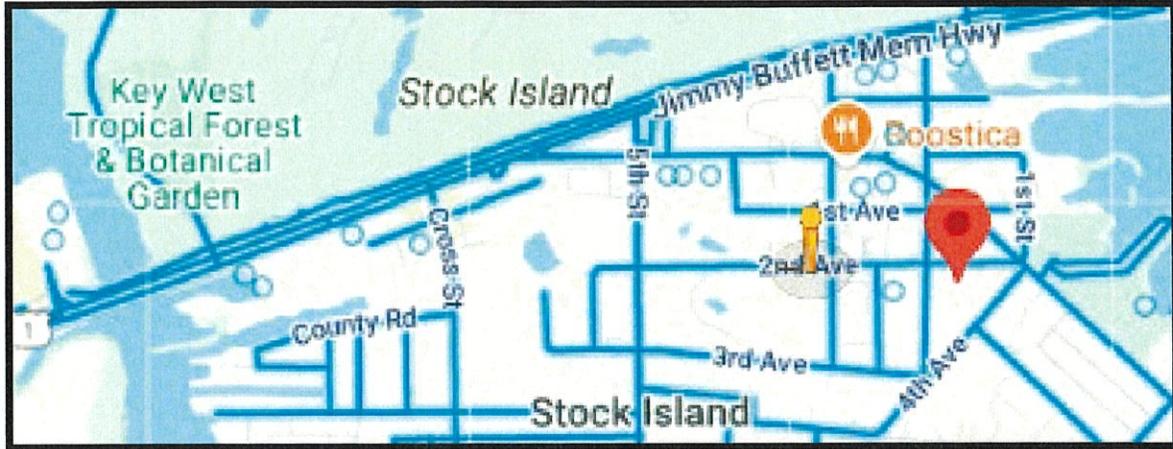
TRIM Notice



[User Privacy Policy](#) [GDPR Privacy Notice](#)
Last Data Upload: 2/22/2025, 1:32:21 AM

Location Map

5730 2nd Avenue, Stock Island



5730 2nd Avenue, Stock Island
Tier and Future Land Use Designation (FLUM)
Tier III
Mixed Use/Commercial (MC)



Photos
5730 2nd Avenue, Stock Island





5730 2ND AVE LLC
3144 Northside Dr
Ste 101
Key West, FL 33040

5730 FOURTH AVENUE LLC
PO Box 169
Key West, FL 33041

6400 2ND STREET LLC
PO Box 4315
Key West, FL 33041

6436 2ND ST LLC
7702 Santa Margherita Way
Naples, FL 34109

BRINGLE JUDY M
19 Amaryllis Dr
Key West, FL 33040

EL MOCHO RESTAURANT CORP
19 Aster Ter
Key West, FL 33040

FLORIDA KEYS ELECTRIC INC
905 Overseas Hwy
Key West, FL 33040

HARDEN MARC A
3832 Eagle Ave
Key West, FL 33040

HARDEN MARC A
C/O AIRGAS USA LLC
PO Box 9219
Marietta, GA 30065

HENNUM WILLIAM AND CHRISTINE LIVI
4044 Loch Meade Dr
Lakeland, TN 38002

HENSON DEBORAH A
5551 2nd Ave
Key West, FL 33040

HSIANG AN
27350 Saint Croix Ln
Summerland Key, FL 33042

JG RENTALS LLC
212 Key Haven Rd
Key West, FL 33040

KEYW KIWI CORP
1331 Duncan St
Key West, FL 33040

KM5625 LLC
PO Box 2850
Key West, FL 33045

KOENIG TIMOTHY J
815 Peacock
Key West, FL 33040

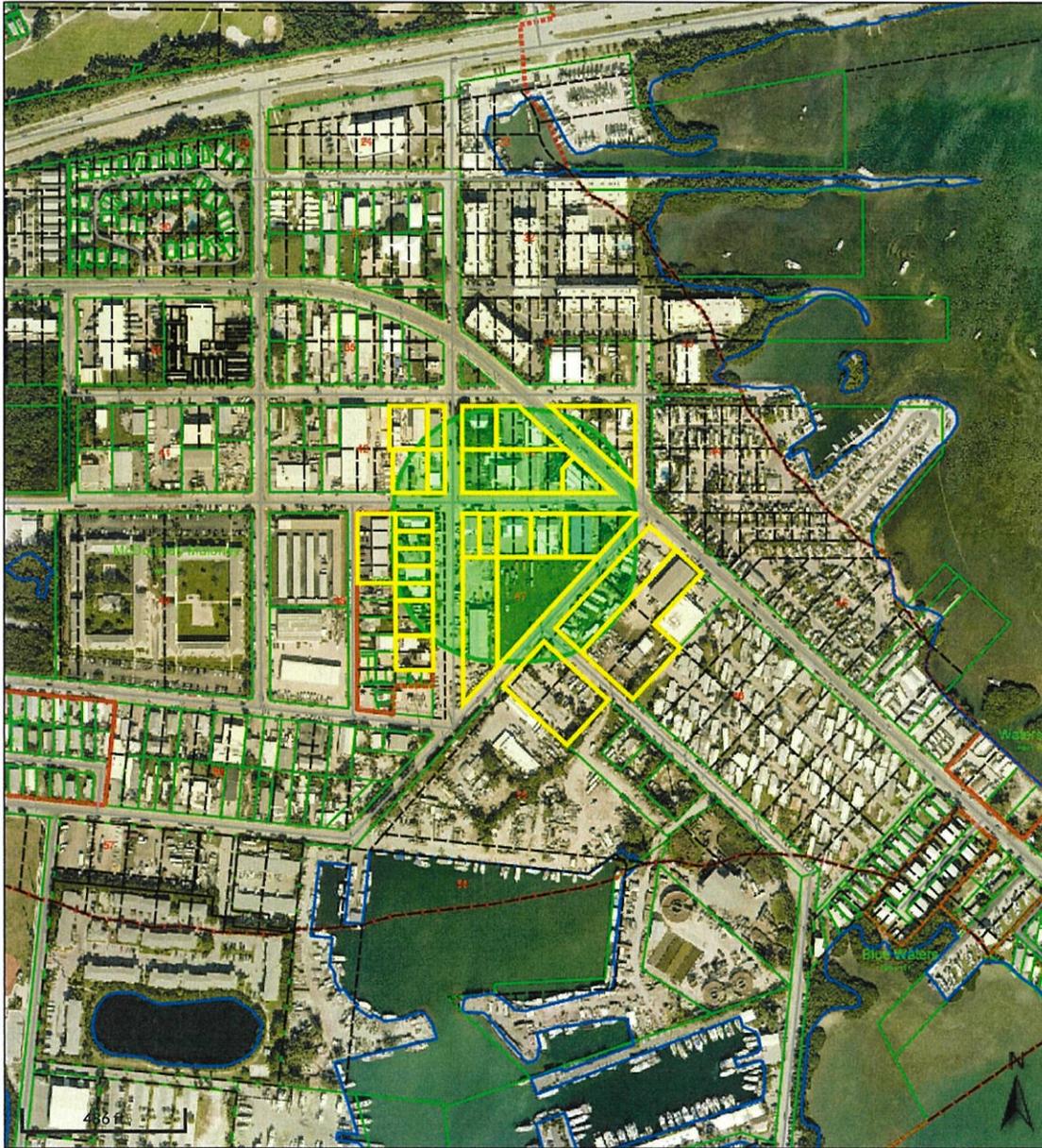
OPERATION R O C INC
PO Box 636
Frostproof, FL 33843

SIMONS JUDITH
PO Box 2554
Key West, FL 33045

SPENCER RICHARD
701 Palm Ave
Key West, FL 33040

VANTAGE POINT 5680 LLC
16793 Island Farm Ln
Milton, DE 19968

VILLA PATRICIA PARTNERS LLC
5750 2nd Ave
Key West, FL 33040



Overview



Legend

- Centerline
- Easements
- Hooks
- Lot Lines
- Road Center
- Rights of Way
- Shoreline
- [] Condo Building
- Key Names
- Subdivisions
- Parcels

Date created: 5/28/2025
Last Data Uploaded: 5/28/2025 1:39:54 AM



Florida Keys Aqueduct Authority

1100 Kennedy Drive
Key West, Florida 33040
Telephone (305) 296-2454
www.fkaa.com



Richard J. Toppino
Chairman
District 2

J. Robert Dean
Vice-Chairman
District 3

Cara Higgins
Secretary/Treasurer
District 1

Antoinette M. Appell
District 4

Nicholas W. Mulick
District 5

Gregory W. Veliz
Executive Director

May 28, 2025

Richard McChesney
Spottswood, Spottswood, Spottswood & Sterling, PLLC
500 Fleming Street
Key West, Florida 33040

RE: 5730 2nd Avenue, Stock Island
RE#: 00126290-000000
Location #028554 – 5/8" Meter

Dear Mr. McChesney,

This letter will serve as coordination of the above referenced project with the Florida Keys Aqueduct Authority.

There is an existing 6-inch water main on 2nd Avenue adjacent to the proposed property which appears to be adequate to serve this project. There is currently a 5/8" meter serving the property.

A complete set of Civil and Architectural/Plumbing plans will need to be submitted to determine water main requirements, water meter sizing and system development charges. Should you have any questions or require any further information please feel free to call me.

Sincerely,
Florida Keys Aqueduct Authority

Kimberly Judge
Utility Design Supervisor

CC: Anna Fernandez, Customer Service Manager, Tavernier
Yusi Bonachea, Customer Service Manager, Marathon
Danielle Mendez, Customer Service Manager, Key West

5730 2ND AVE. - NEW WAREHOUSE

RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.

SCOPE OF WORK:
CONSTRUCTION OF NEW WAREHOUSE BUILDING

PROJECT LOCATION:
5730 2ND AVE.
KEY WEST, FL 33040

LEGAL DESCRIPTION:
BK 47 LOTS 3 & 4 STOCK ISLAND MALONEY
SUBDIVISION PB1-55 STOCK ISLAND Z-20
OR703-604

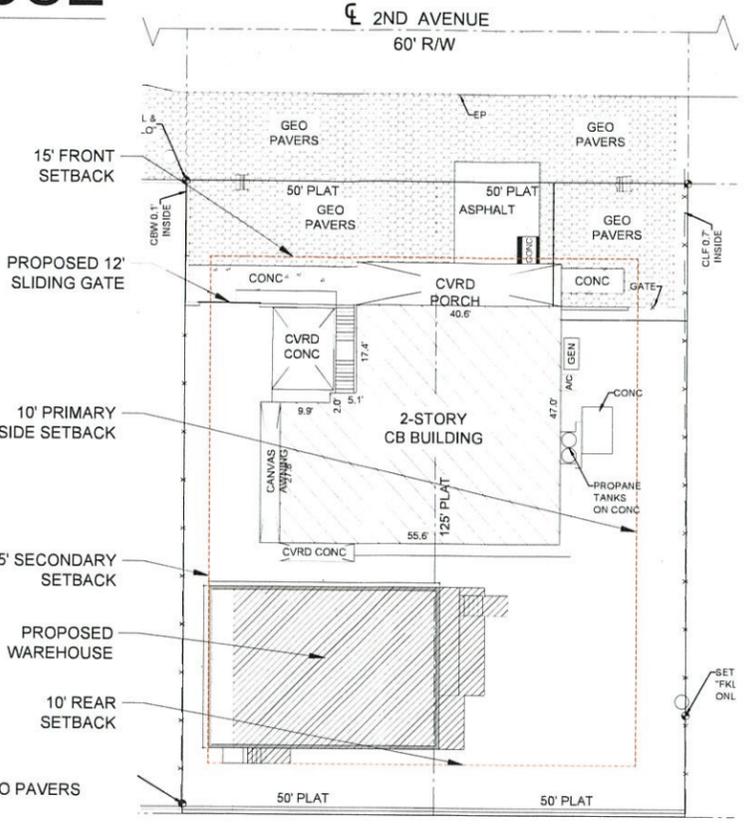
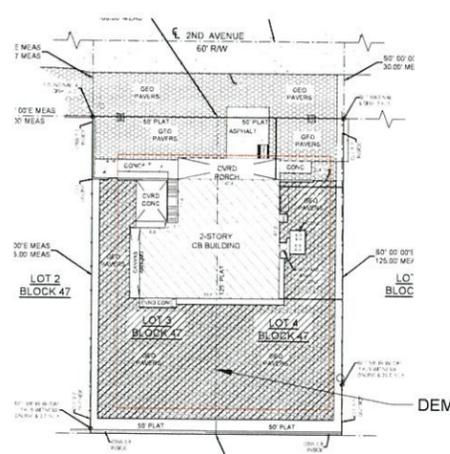
SEC/TWP/RANGE:
35/67/25

FLOOD CRITERIA:
FLOOD ZONE - AE-8
BASED UPON N.G.V.D. 1929

SHEET LIST:

- CS-1 COVER SHEET & SITE PLAN
- A-1 2007 APPROVED SITE PLAN
- A-2 PROPOSED SITE PLAN
- A-3 CURRENT ELEVATIONS
- A-4 PROPOSED ELEVATIONS
- A-5 PROPOSED LANDSCAPING PLAN

GENERAL NOTES:
CONTRACTOR TO NOTIFY ENGINEER OF ANY
FIELD CHANGES OR UNFORSEEN CONDITIONS.
ALL WORK TO BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CODES.



GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS
1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
3. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA
APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS PER ASCI/EI 7-22
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE D
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY:
1. ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
2. MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
3. FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
4. FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS. CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

CONCRETE
1. CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI. WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40.
2. ALL CONCRETE ELEMENTS SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4000 PSI UNLESS OTHERWISE IS SHOWN ON THE PLANS.
3. ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
4. ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
5. NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
6. TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER.
7. THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY:
A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
B) EVERY 50 CUBIC YARDS
C) EVERY 2000 SQ. FT. OF SLAB AREA
8. CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

REINFORCEMENT
1. ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
2. ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
3. ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
4. ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT.

HARDWARE
HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS. UNLESS OTHERWISE SPECIFIED.

STRUCTURAL LUMBER
1. ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/APA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
2. ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER. KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
3. ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER ANSAP STANDARDS.
4. ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
5. NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
6. SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

STRUCTURAL STEEL
1. STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
2. HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
3. STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
4. W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
5. ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M 2010. STRUCTURAL WELDING CODE - STEEL.

STRUCTURAL STEEL COATING
1. ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10).
2. NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER.
3. EXPOSED STEEL
A. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
B. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
C. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
D. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

REINFORCED MASONRY (CMU)
ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
1. INSTALL ALL BLOCKS IN RUNNING BOND.
2. MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
3. TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FILL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
4. FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
5. GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
6. EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

WINDOWS & DOORS
1. ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
2. ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
3. WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

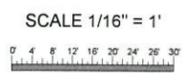
SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	VARIANCE REQUEST
ZONING		MU		N/A
FLOOD ZONE		AE8		N/A
SIZE OF SITE		12,520		N/A
FRONT SETBACK	15'-0"	15'-0"	15'-0"	N/A
PRIMARY SIDE SETBACK	10'-0"	23'-0"	23'-0"	N/A
SECONDARY SIDE SETBACK	5'-0"	15'-2"	5'-0"	N/A
REAR SETBACK	10'-0"	48'-0"	10'-0"	N/A
OPEN SPACE/LANDSCAPING	20%	11%	45%	34% IMPROVEMENT

IMPERVIOUS SURFACES				
EXISTING		SIZE OF SITE	PROPOSED	DIFFERENCE
		12,520 SF		
2,339 SF	BUILDING	2,339 SF		
341 SF	COVERED FRONT PORCH	341 SF		
251 SF	COVERED CONCRETE	251 SF		
61 SF	STAIRS	61 SF		
107 SF	CONCRETE FENCE	107 SF		
111 SF	CANVAS AWNING	111 SF		
5,076 SF	GEO PAVERS*	995 SF	4,081 SF TO BE REMOVED	
369 SF	OPEN CONCRETE AREAS	369 SF		
249 SF	ASPHALT AREA	249 SF		
19 SF	GENERATOR	19 SF		
10 SF	A/C	10 SF		
0 SF	WAREHOUSE	1,601 SF	1,601 SF TO BE ADDED	
8,933	TOTAL (SF)	6,453	2,480 SF TO BE REMOVED	
12,520	LOT SIZE (SF)	12,520		
71.35%	TOTAL IMPERVIOUS (%)	51.34%	20.01% IMPROVEMENT	

*GEO PAVER RATIO: 70% IMPERVIOUS /30% PERMEABLE

OPEN SPACE				
EXISTING		SIZE OF SITE	PROPOSED	DIFFERENCE
		12,520 SF		
2,339 SF	BUILDING	2,339 SF		
341 SF	COVERED FRONT PORCH	341 SF		
251 SF	COVERED CONCRETE	251 SF		
61 SF	STAIRS	61 SF		
107 SF	CONCRETE FENCE	107 SF		
111 SF	CANVAS AWNING	111 SF		
7,251 SF	GEO PAVERS	1,421 SF	5,830 SF TO BE REMOVED	
369 SF	OPEN CONCRETE AREAS	369 SF		
249 SF	ASPHALT AREA	249 SF		
19 SF	GENERATOR	19 SF		
10 SF	A/C	10 SF		
0 SF	WAREHOUSE	1,601 SF	1,601 SF TO BE ADDED	
11,108	NON OPEN SPACE (SF)	6,879	4,229 SF TO BE REMOVED	
1,412	OPEN SPACE (SF)	5,666	4,254 SF TO BE ADDED	
11%	OPEN SPACE (%)	37%	26% IMPROVEMENT	

STORMWATER MANAGEMENT NOTE: SINCE PROJECT REDUCES THE AMOUNT OF EXISTING IMPERVIOUS SURFACES, A STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.



NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

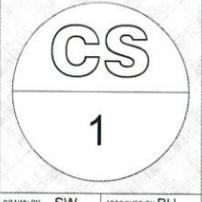


LAKWOOD ENGINEERING
171 WATSON ST
KEY WEST, FL 33040
305-995-4264

DATE:	REV SET	DESCRIPTION
5/28/25		PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE
COVER & SITE PLAN



DRAWN BY: SW APPROVED BY: BH

RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
SPECIALLY NOTED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED BOUND AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

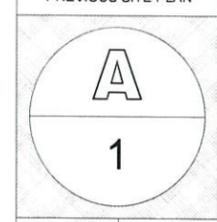


LAKWOOD ENGINEERING
3775 WILSON ST
KEY WEST, FL 33040
305-930-4234

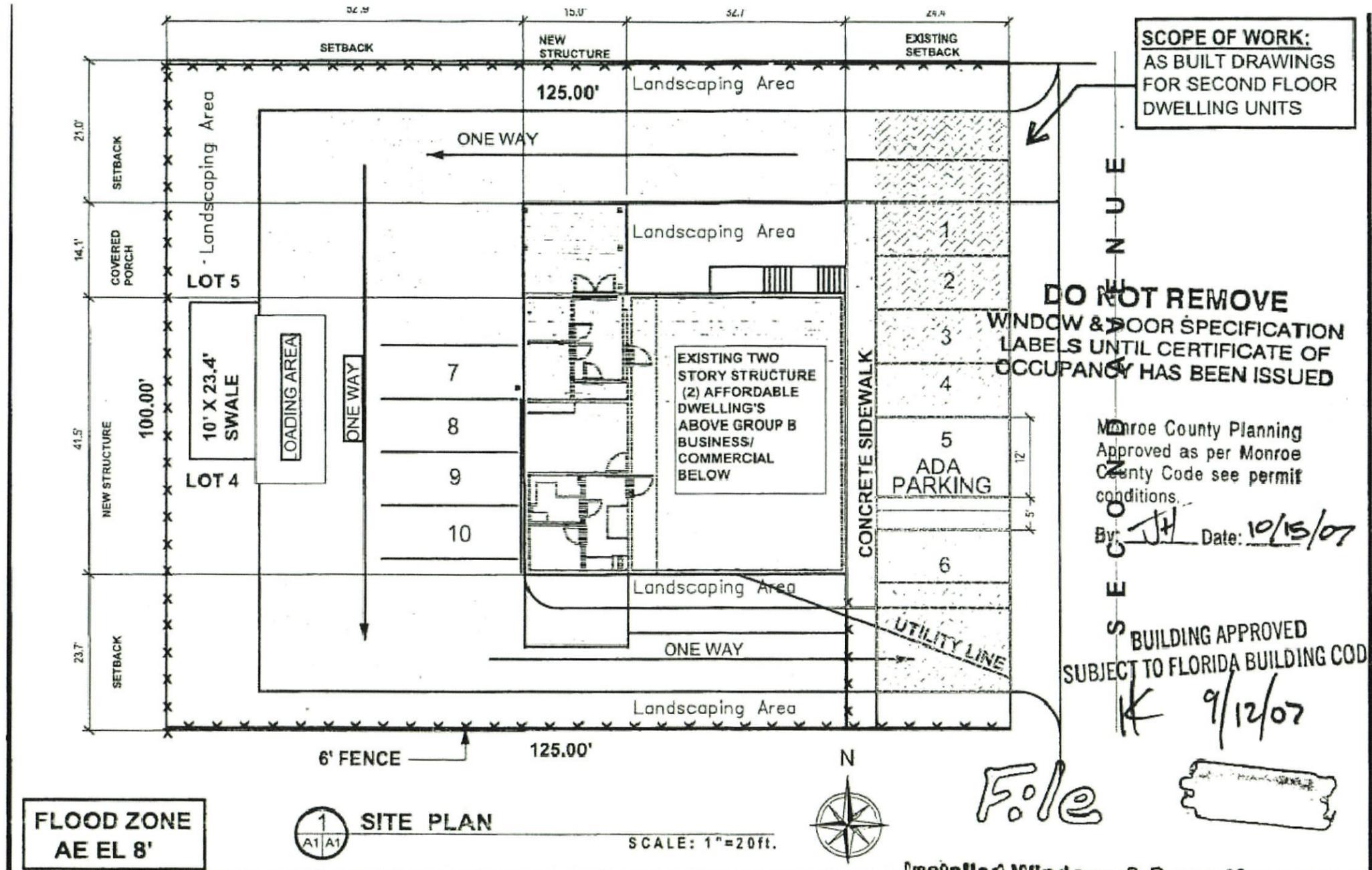
DATE	REV SET	DESCRIPTION
5/28/25		PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

PREVIOUS SITE PLAN



DRAWN BY SW APPROVED BY BH



SCOPE OF WORK:
AS BUILT DRAWINGS
FOR SECOND FLOOR
DWELLING UNITS

DO NOT REMOVE
WINDOW & DOOR SPECIFICATION
LABELS UNTIL CERTIFICATE OF
OCCUPANCY HAS BEEN ISSUED

Monroe County Planning
Approved as per Monroe
County Code see permit
conditions.

By: *JH* Date: *10/13/07*

BUILDING APPROVED
SUBJECT TO FLORIDA BUILDING CODE

K *9/12/07*

File

FLOOD ZONE
AE EL 8'



SITE PLAN

SCALE: 1"=20ft.

SCOPE OF WORK:

AS - BUILT DRAWINGS:

NOTE: THESE DRAWINGS ARE AS-BUILT DOCUMENTS AND
REFLECT CURRENT STRUCTURAL COMPONENTS ARE VISABLE
AND CERTAIN ASSUMPTIONS OF THE CONSTRUCTION WERE
MADE.

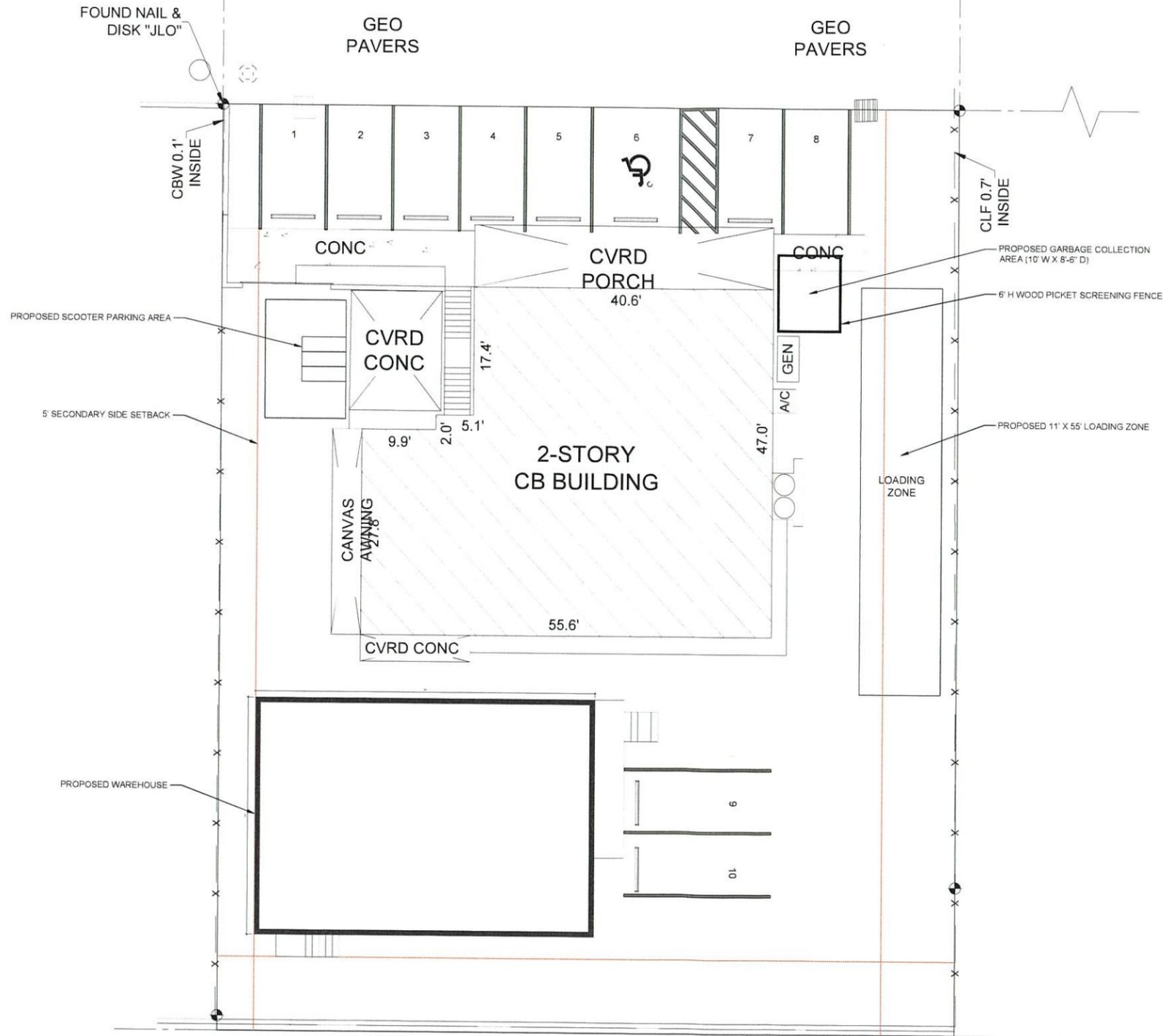
Installed Windows & Doors Must
Meet Or Exceed Supplied
Pressure



1
A-1 APPROVED SITE PLAN - 2007
SCALE 1/8" = 1'

2ND AVENUE
60' R/W

RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.



NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SIGN
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 99537



LAKEWOOD ENGINEERING
1211 WATSON ST
KEY WEST, FL 33090
305-890-4204

DATE	REV SET	DESCRIPTION
5/28/25		PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET
TITLE SITE PLAN



DRAWN BY: SW APPROVED BY: BH

1 PROPOSED SITE PLAN
A-2 SCALE 1/8" = 1'

CURRENT ELEVATION



1 EXISTING NORTH ELEVATION
A-3 SCALE 1/4" = 1'



2 EXISTING EAST ELEVATION
A-3 SCALE 1/4" = 1'

SCALE 1/4" = 1'

RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96537

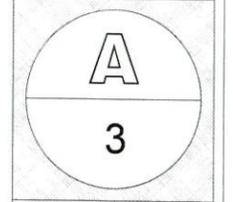


LAKEWOOD ENGINEERING
1211 WATSON ST
KEY WEST, FL 33540
352-950-8214

DATE: 5/28/25
REV SET DESCRIPTION: PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

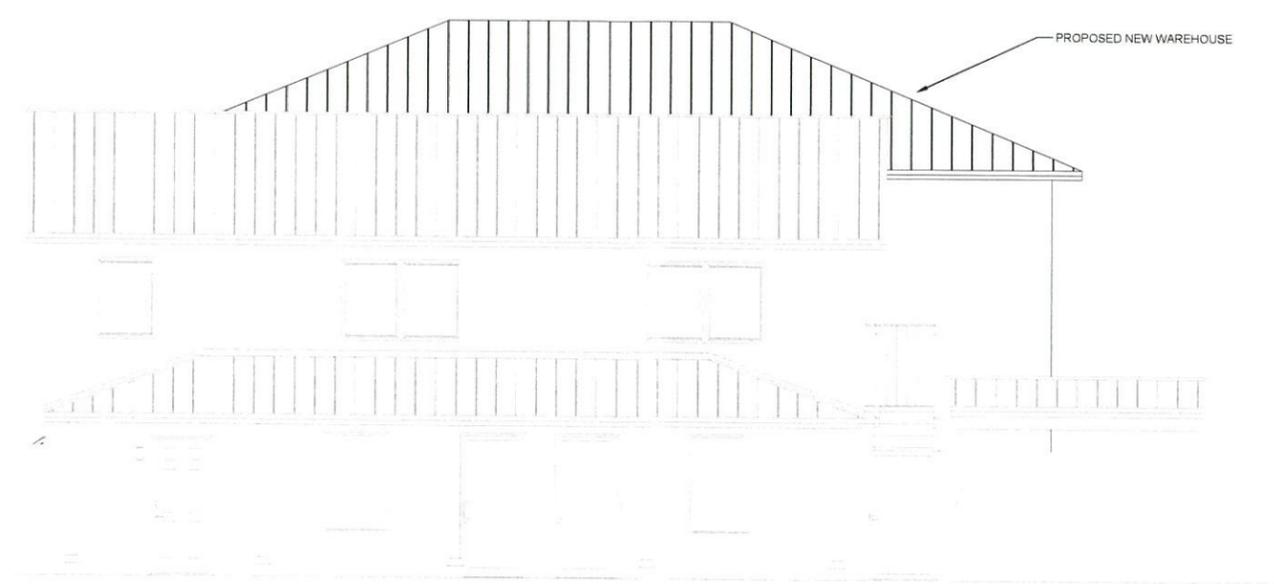
SHEET TITLE: CURRENT ELEVATION



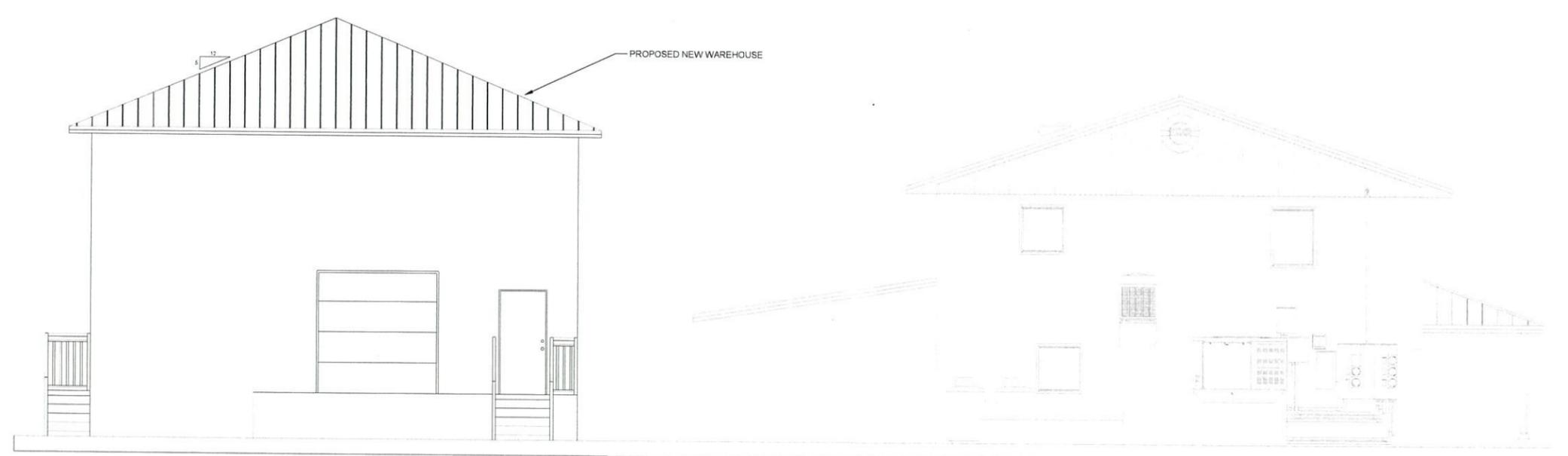
DRAWN BY: SW APPROVED BY: BH

PROPOSED ELEVATIONS

SEAL
RECEIVED
2025-112
JUN 02 2025
MONROE COUNTY
PLANNING DEPT.



1
A-4 **PROPOSED NORTH ELEVATION**
 SCALE 1/4" = 1'



2
A-4 **PROPOSED EAST ELEVATION**
 SCALE 1/4" = 1'

SCALE 1/4" = 1'

NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
 LIC # 96937



LAKEWOOD ENGINEERING
 1211 WATSON ST
 KEY WEST, FL 33040
 305-895-4294

DATE:	REV SET	DESCRIPTION
5/28/25		PLANNING SET

NEW WAREHOUSE
 5730 2ND AVE.
 KEY WEST, FL 33040

SHEET TITLE
PROPOSED ELEVATION



DRAWN BY: SW APPROVED BY: BH

LANDSCAPE CALCULATIONS

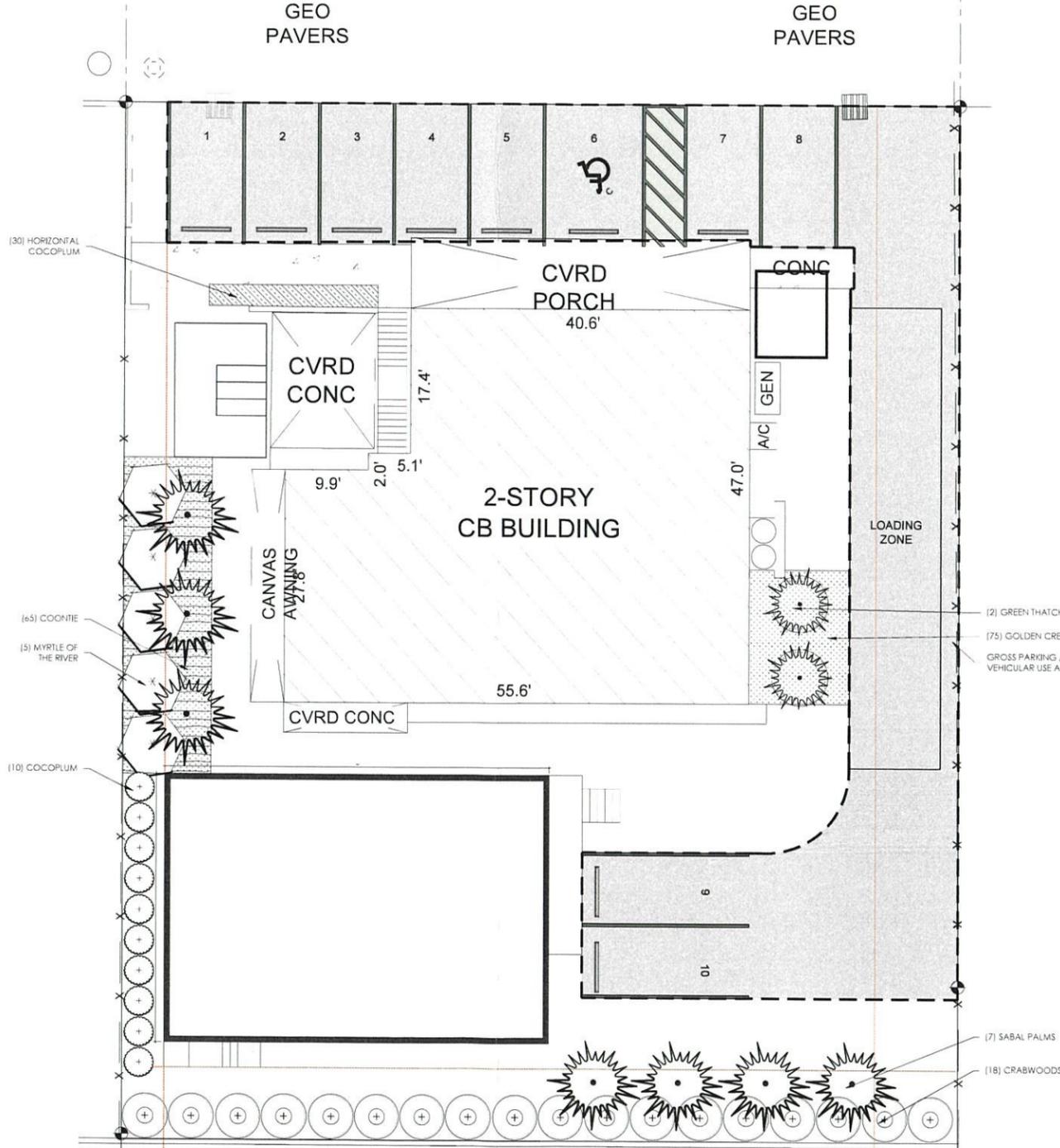
3,328 S.F. PARKING / VEHICULAR USE AREAS
 3,328 X 20% = 665.5 S.F. Landscape Area Required
 1,561 S.F. Landscape Area Provided: MEETS REQUIREMENT

PLANT LIST

SCIENTIFIC NAME	COMMON NAME	QTY.	SPECIFICATION
TREES & PALMS			
Sabal Palmetto	Sabal Palms	7	(2) 10' GW. (2) 12' GW. (1) 15' GW (2) 17' GW. slicks
Calyptanthes zuzygium	Myrtle of the River	5	45 gallon, Min. 8'-0" PH.
Thrinax radiata	Green Thatch Palms	2	6'-0" PH.
Gymnanthes lucida	Crabwood	18	25 Gallon
ACCENTS & SHRUBS			
Chrysolobanus icaco	Cocoplum	10	15 Gallon
GROUNDCOVERS			
Ernodea littoralis	Golden Creeper	75	1 gallon, full
Chrysolobanus icaco 'horizontalis'	Horizontal Cocoplum	30	3 gallon, full
Zamia pumila	Coontie	65	3 gallon, full

NOTE: LANDSCAPE CONTRACTOR TO VISIT SITE PRIOR TO BID TO ENSURE ACCESS AND VERIFY EXISTING SITE CONDITIONS. **NO EXCEPTIONS.**

2ND AVENUE
 60' R/W



1 PROPOSED LANDSCAPING PLAN
 A-5 SCALE: 1/8" = 1'

- GENERAL LANDSCAPE NOTES:**
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
 - ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION. RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
 - ALL TREES TO BE STAKES IN A GOOD WORKMANLIKE MANNER. NO FINAL STAKING PERMITTED (REFER TO PLANTING DETAILS).
 - LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
 - ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND (SEE SPEC).
 - ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL TREES & PALMS ARE TO BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE. **NO EXCEPTIONS**
 - ALL PLANTING BEDS SHALL BE WEED AND GRAZE FREE.
 - ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID "BURN" ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
 - PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
 - NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
 - ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
 - LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
 - ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
 - ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES CANOPY.
 - AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
 - ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
 - ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
 - ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM. ALL 3 GALLON MATERIAL TO HAVE 24" SPREAD MINIMUM.
 - LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

- TREE BRACING NOTES:**
- 2" AND LARGER CALIPER TREES BRACED BY GUYING:**
- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
 - CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 - SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 - PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
 - THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE, ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 - TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
 - PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 - THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE, KEEPING THE WIRE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1" TO 3" INCH SWAY IN THE TREE (THE WIRE SHOULD NOT BE PULLED TIGHT) FOR BEST ESTABLISHMENT.
 - FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUIV. FOR SAFETY.
 - GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.
- SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:**
- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED (PT) 2"x4", 4"x4").
 - WRAP AT LEAST 3 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/2 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
 - SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4" X12'-14').
 - USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
 - PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
 - PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. **DO NOT NAIL INTO TREE.**
 - WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4" X30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
 - CUT A SMOOTH ANGLE AT THE END OF THE PROPS, ALIGN WITH AND NAIL INTO BATTENS. **DO NOT PENETRATE TREE OR PALM WITH NAILS.**
 - IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT "DO NOT REMOVE".
 - PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

RECEIVED
 2025-112
 JUN 02 2025
 MONROE COUNTY
 PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
 DIGITALLY SIGNED WITH ORIGINAL SEAL.
 PRINTED COPIES OF THIS DOCUMENT ARE NOT
 CONSIDERED BOUND AND SEALED AND THE SHA
 AUTHENTICATION CODE MUST BE VERIFIED ON
 ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
 LIC # 96597

LAKEWOOD ENGINEERING
 1217 W. 125th ST
 KEY WEST, FL 33040
 305-890-4234

DATE	REV SET	DESCRIPTION
5/29/25		PLANNING SET

NEW WAREHOUSE
 5730 2ND AVE.
 KEY WEST, FL 33040

SHEET TITLE: LANDSCAPING PLAN

A

5

DRAWN BY: SW APPROVED BY: BH

5730 2ND AVE. - NEW WAREHOUSE

SCOPE OF WORK:
CONSTRUCTION OF NEW WAREHOUSE BUILDING

PROJECT LOCATION:
5730 2ND AVE.
KEY WEST, FL 33040

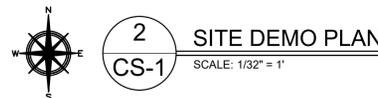
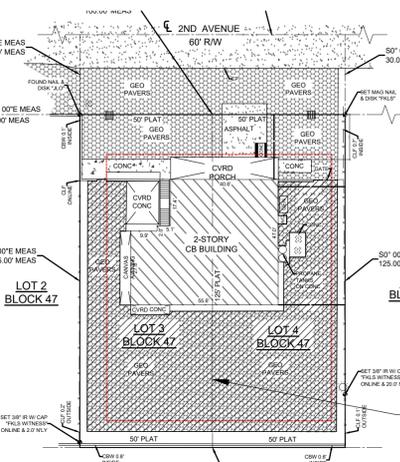
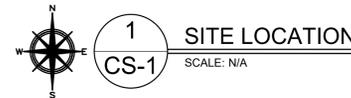
LEGAL DESCRIPTION:
BK 47 LOTS 3 & 4 STOCK ISLAND MALONEY
SUBDIVISION PB1-55 STOCK ISLAND Z-20
OR703-604

SEC/TWP/RANGE:
35/67/25

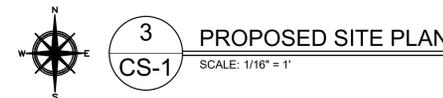
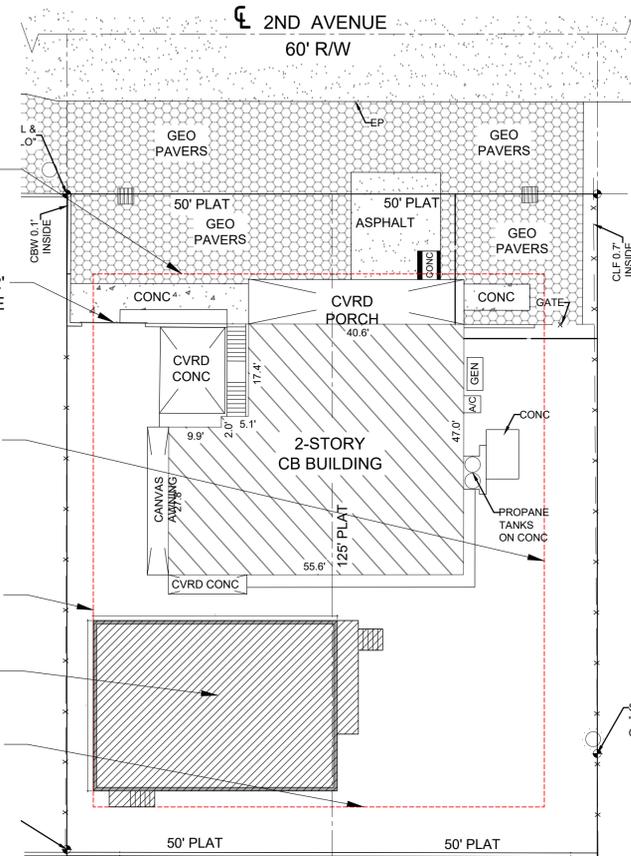
FLOOD CRITERIA:
FLOOD ZONE - AE-8
BASED UPON N.G.V.D. 1929

SHEET LIST:
CS-1 COVER SHEET & SITE PLAN
A-1 2007 APPROVED SITE PLAN
A-2 PROPOSED SITE PLAN
A-3 CURRENT ELEVATIONS
A-4 PROPOSED ELEVATIONS
A-5 PROPOSED LANDSCAPING PLAN
A-6 STORMWATER MGMT PLAN

GENERAL NOTES:
CONTRACTOR TO NOTIFY ENGINEER OF ANY
FIELD CHANGES OR UNFORSEEN CONDITIONS.
ALL WORK TO BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CODES.



PROPOSED WORK
AREA



SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	VARIANCE REQUEST
ZONING		MU		N/A
FLOOD ZONE		AE8		N/A
SIZE OF SITE		12,520		N/A
FRONT SETBACK	15'-0"	15'-0"	15'-0"	N/A
PRIMARY SIDE SETBACK	10'-0"	23'-0"	23'-0"	N/A
SECONDARY SIDE SETBACK	5'-0"	15'-2"	5'-0"	N/A
REAR SETBACK	10'-0"	48'-0"	10'-0"	N/A
OPEN SPACE/LANDSCAPING	20%	11%	45%	34% IMPROVEMENT

IMPERVIOUS SURFACES				
EXISTING		PROPOSED		DIFFERENCE
SIZE OF SITE	ELEMENTS	SIZE OF SITE	ELEMENTS	
12,520 SF	BUILDING	12,520 SF	BUILDING	
2,339 SF	COVERED FRONT PORCH	2,339 SF	COVERED FRONT PORCH	
341 SF	COVERED CONCRETE	341 SF	COVERED CONCRETE	
251 SF	STAIRS	251 SF	STAIRS	
61 SF	CONCRETE FENCE	61 SF	CONCRETE FENCE	
107 SF	CANVAS AWNING	107 SF	CANVAS AWNING	
111 SF	GEO PAVERS*	111 SF	GEO PAVERS*	
5,076 SF	OPEN CONCRETE AREAS	995 SF	OPEN CONCRETE AREAS	4,081 SF TO BE REMOVED
369 SF	ASPHALT AREA	369 SF	ASPHALT AREA	
249 SF	GENERATOR	249 SF	GENERATOR	
19 SF	A/C	19 SF	A/C	
10 SF	WAREHOUSE	10 SF	WAREHOUSE	
0 SF		1,601 SF	WAREHOUSE	1,601 SF TO BE ADDED
8,933	TOTAL (SF)	6,453	TOTAL (SF)	2,480 SF TO BE REMOVED
12,520	LOT SIZE (SF)	12,520	LOT SIZE (SF)	
71.35%	TOTAL IMPERVIOUS (%)	51.34%	TOTAL IMPERVIOUS (%)	20.01% IMPROVEMENT

*GEO PAVER RATIO: 70% IMPERVIOUS / 30% PERMEABLE

STORMWATER MANAGEMENT NOTE: SINCE PROJECT REDUCES THE AMOUNT OF EXISTING IMPERVIOUS SURFACES, A STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.

OPEN SPACE				
EXISTING		PROPOSED		DIFFERENCE
SIZE OF SITE	ELEMENTS	SIZE OF SITE	ELEMENTS	
12,520 SF	BUILDING	12,520 SF	BUILDING	
2,339 SF	COVERED FRONT PORCH	2,339 SF	COVERED FRONT PORCH	
341 SF	COVERED CONCRETE	341 SF	COVERED CONCRETE	
251 SF	STAIRS	251 SF	STAIRS	
61 SF	CONCRETE FENCE	61 SF	CONCRETE FENCE	
107 SF	CANVAS AWNING	107 SF	CANVAS AWNING	
111 SF	GEO PAVERS	111 SF	GEO PAVERS	
7,251 SF	OPEN CONCRETE AREAS	1,421 SF	OPEN CONCRETE AREAS	5,830 SF TO BE REMOVED
369 SF	ASPHALT AREA	369 SF	ASPHALT AREA	
249 SF	GENERATOR	249 SF	GENERATOR	
19 SF	A/C	19 SF	A/C	
10 SF	WAREHOUSE	10 SF	WAREHOUSE	
0 SF		1,601 SF	WAREHOUSE	1,601 SF TO BE ADDED
11,108	NON OPEN SPACE (SF)	6,879	NON OPEN SPACE (SF)	4,229 SF TO BE REMOVED
1,412	OPEN SPACE (SF)	5,666	OPEN SPACE (SF)	4,254 SF TO BE ADDED
11%	OPEN SPACE (%)	37%	OPEN SPACE (%)	26% IMPROVEMENT

GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS
1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
3. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA
APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS: PER ASCI/SEI 7-22
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE D
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY:

- ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
- MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
- FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
- FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

- CONCRETE**
- CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI.
 - WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40
 - ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
 - ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
 - NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 - TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY, PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER
 - THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY:
A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
B) EVERY 50 CUBIC YARDS
C) EVERY 2000 SQ. FT. OF SLAB AREA
D) CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

- REINFORCEMENT**
- ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
 - ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
 - ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT

HARDWARE
HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

- STRUCTURAL LUMBER**
- ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/AFP&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
 - ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER, KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
 - ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWP&A STANDARDS.
 - ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
 - NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
 - SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

- STRUCTURAL STEEL**
- STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
 - HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
 - STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
 - W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
 - ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

- STRUCTURAL STEEL COATING**
- ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
 - NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER
 - EXPOSED STEEL
A. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
B. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
C. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
D. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

- REINFORCED MASONRY (CMU)**
ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
- INSTALL ALL BLOCKS IN RUNNING BOND.
 - MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F'M) BE 2000 PSI.
 - TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
 - FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
 - GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
 - EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

- WINDOWS & DOORS**
- ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
 - ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
 - WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

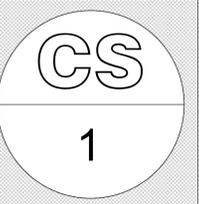


LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET	DESCRIPTION	DATE
1	PLANNING SET	7/16/25

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

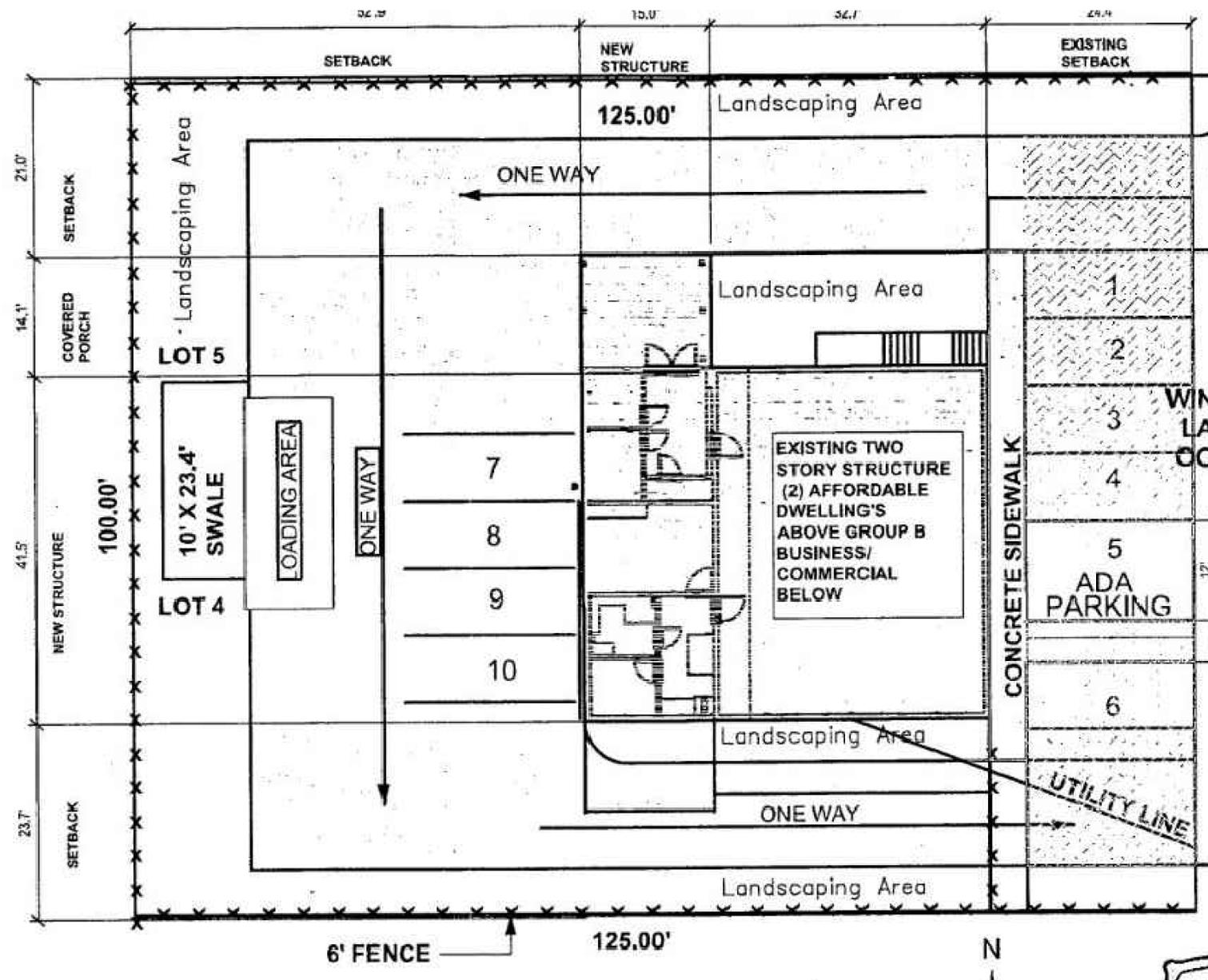
SHEET TITLE COVER & SITE PLAN



DRAWN BY: SW APPROVED BY: BH

SCALE 1/16" = 1'





SCOPE OF WORK:
AS BUILT DRAWINGS
FOR SECOND FLOOR
DWELLING UNITS

DO NOT REMOVE
WINDOW & DOOR SPECIFICATION
LABELS UNTIL CERTIFICATE OF
OCCUPANCY HAS BEEN ISSUED

Monroe County Planning
Approved as per Monroe
County Code see permit
conditions.
By: *JH* Date: *10/15/07*

BUILDING APPROVED
SUBJECT TO FLORIDA BUILDING CODE
K 9/12/07

File

FLOOD ZONE
AE EL 8'



1
A1/A1 **SITE PLAN**

SCALE: 1"=20ft.

SCOPE OF WORK:

AS - BUILT DRAWINGS:

NOTE: THESE DRAWINGS ARE AS-BUILT DOCUMENTS AND REFLECT CURRENT STRUCTURAL COMPONENTS ARE VISABLE AND CERTAIN ASSUMPTIONS OF THE CONSTRUCTION WERE MADE.

Installed Windows & Doors Must
Meet Or Exceed Supplied
Prescriptions



1
A-1 **APPROVED SITE PLAN - 2007**
SCALE: 1/8" = 1'

NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGN AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

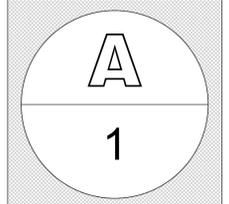


LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE:	REV SET:	DESCRIPTION:
7/16/25	PLANNING SET	

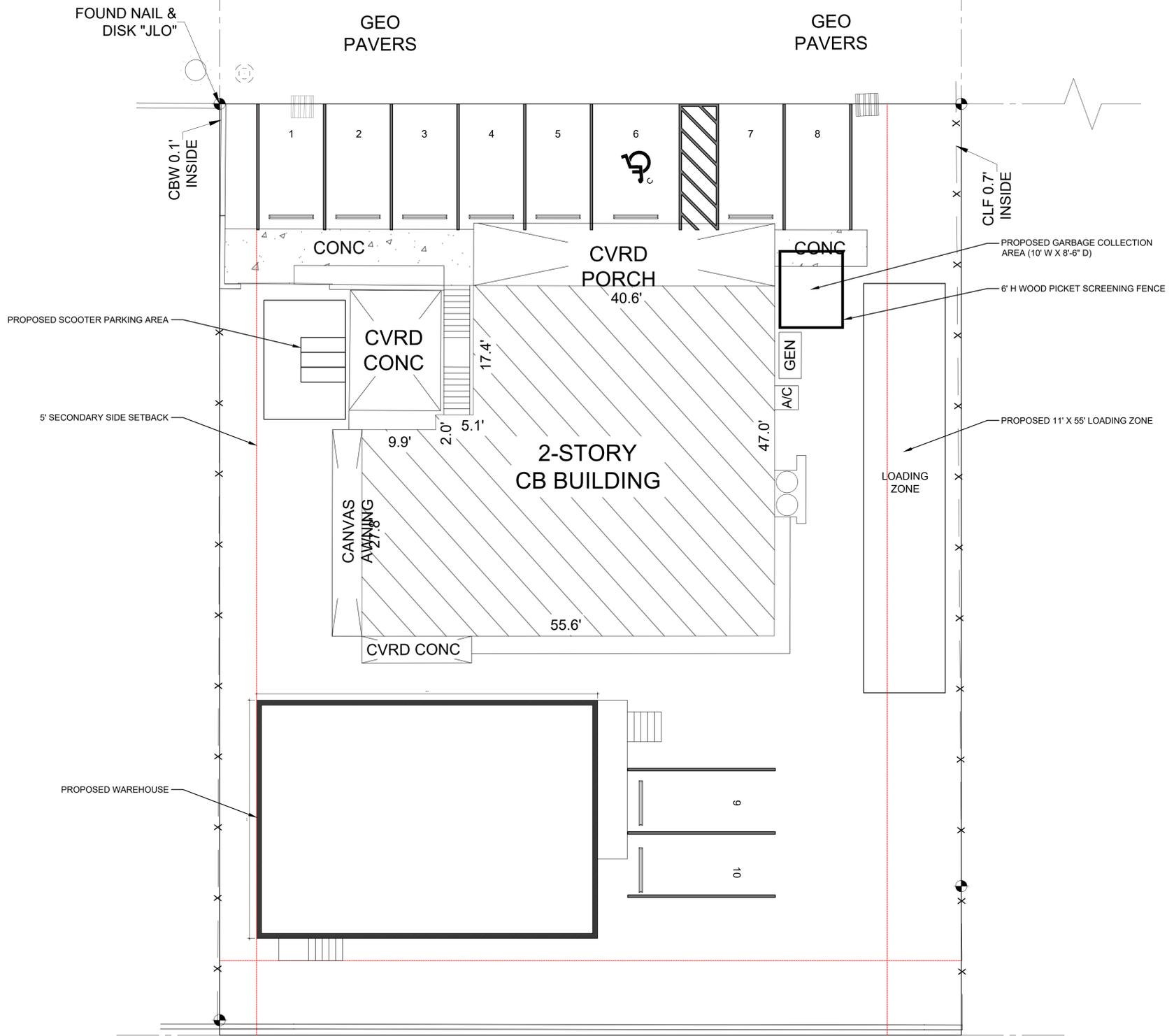
NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: PREVIOUS SITE PLAN



DRAWN BY: SW APPROVED BY: BH

2ND AVENUE
60' R/W



SCALE 1/8" = 1'
0' 4' 8' 12' 16' 20'

1
A-2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SIGN
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



LAKWOOD ENGINEERING
DESIGN & CONSTRUCTION SERVICES
LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET	DESCRIPTION
1	PLANNING SET

DATE: 7/16/25

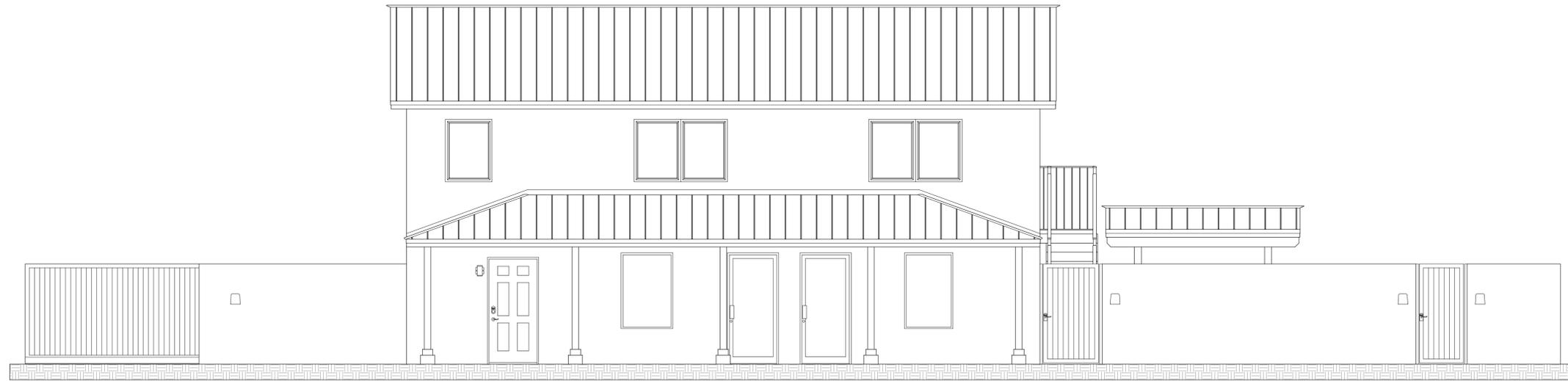
NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: SITE PLAN

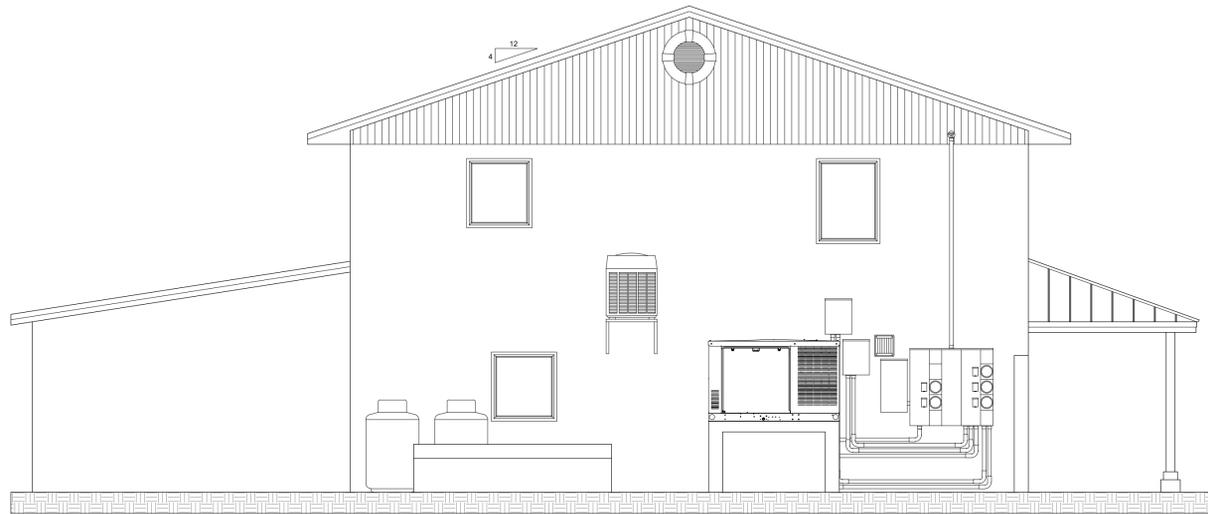


DRAWN BY: SW APPROVED BY: BH

CURRENT ELEVATION



1
A-3 EXISTING NORTH ELEVATION
SCALE: 1/4" = 1'



2
A-3 EXISTING EAST ELEVATION
SCALE: 1/4" = 1'

SCALE 1/4" = 1'



SEAL:

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



LAKESWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-892-6284

REV SET | DESCRIPTION |
7/16/25 | PLANNING SET

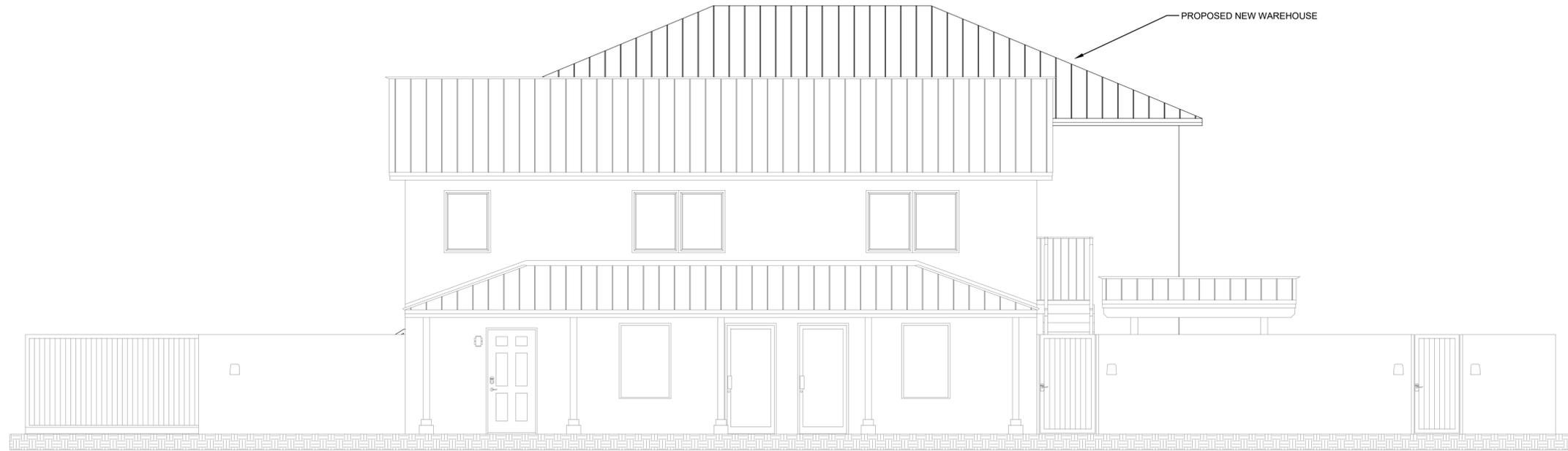
NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET
TITLE CURRENT ELEVATION

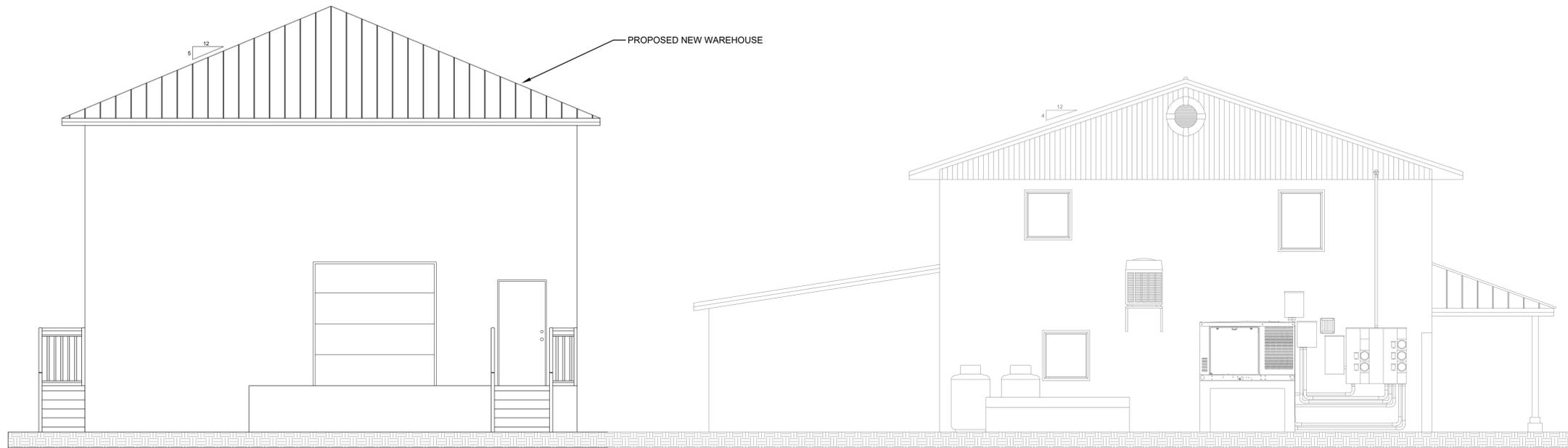


DRAWN BY: SW APPROVED BY: BH

PROPOSED ELEVATIONS



1
A-4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'



2
A-4 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'

SCALE 1/4" = 1'



SEAL:

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET DESCRIPTION
7/16/25 PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE
PROPOSED ELEVATION



DRAWN BY: SW APPROVED BY: BH

LANDSCAPE CALCULATIONS

3,328 S.F. PARKING / VEHICULAR USE AREAS

3,328 X 20% = 665.5 S.F. Landscape Area Required

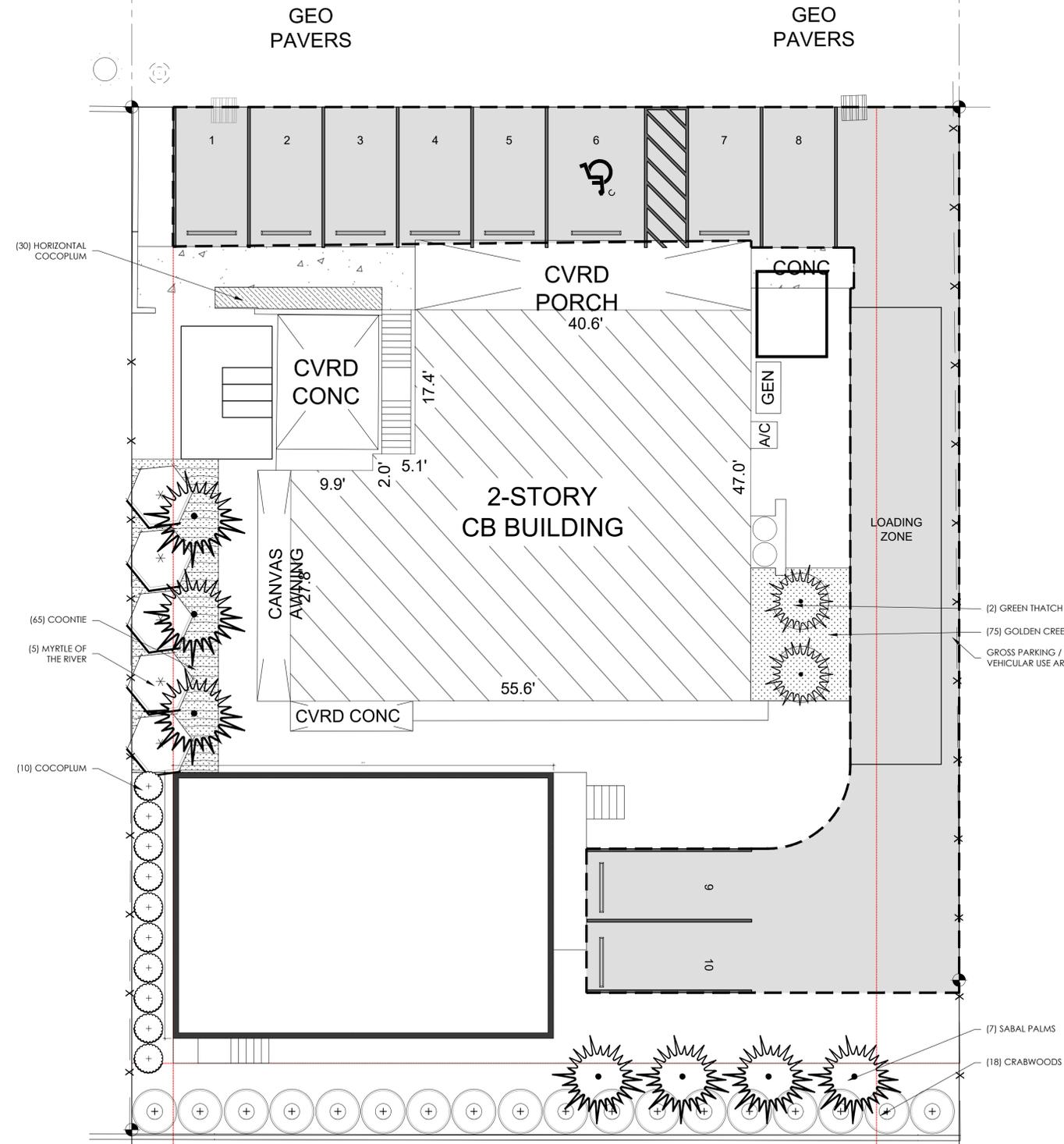
1,561 S.F. Landscape Area Provided: MEETS REQUIREMENT

PLANT LIST

SCIENTIFIC NAME	COMMON NAME	QTY.	SPECIFICATION
TREES & PALMS			
Sabal Palmetto	Sabal Palms	7	(2) 10' GW. (2) 12' GW. (1) 15' GW (2) 17' GW. slicks
Calyptanthes zuzygium	Myrtle of the River	5	45 gallon, Min. 8'-0" PH.
Thrinax radiata	Green Thatch Palms	2	6'-0" PH.
Gymnanthes lucida	Crabwood	18	25 Gallon
ACCENTS & SHRUBS			
Chrysolobanus icaco	Cocoplum	10	15 Gallon
GROUNDCOVERS			
Ernodea littoralis	Golden Creeper	75	1 gallon, full
Chrysolobanus icaco 'horizontalis'	Horizontal Cocoplum	30	3 gallon, full
Zamia pumila	Coontie	65	3 gallon, full

NOTE: LANDSCAPE CONTRACTOR TO VISIT SITE PRIOR TO BID TO ENSURE ACCESS AND VERIFY EXISTING SITE CONDITIONS. **NO EXCEPTIONS.**

2ND AVENUE
60' R/W



1 PROPOSED LANDSCAPING PLAN
A-5 SCALE: 1/8" = 1'

GENERAL LANDSCAPE NOTES:

- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
- ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
- LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
- ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
- ALL TREES TO BE STAKED IN A GOOD WORKMANLIKE MANNER. NO HAIL STAKING PERMITTED [REFER TO PLANTING DETAILS].
- LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
- ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND (SEE SPEC).
- ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL TREES & PALMS ARE TO GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE - **NO EXCEPTIONS**
- ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
- ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID 'BURN' ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
- PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.
- NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
- ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
- LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
- ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
- ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES' CANOPY.
- AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
- ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
- ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
- ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM. ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
- LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

TREE BRACING NOTES:

- 2' AND LARGER CALIPER TREES BRACED BY GUYING:**
- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
 - CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 - SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 - PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
 - THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE. ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 - TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE.
 - PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 - THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE. KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE [THE WIRES SHOULD NOT BE PULLED TIGHT] FOR BEST ESTABLISHMENT.
 - FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY.
 - GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.
- SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:**
- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED [PT] 2"x4", 4"x4").
 - WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
 - SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16').
 - USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
 - PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
 - PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. **DO NOT NAIL INTO TREE.**
 - WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
 - CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. **DO NOT PENETRATE TREE OR PALM WITH NAILS.**
 - IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT 'DO NOT REMOVE'.
 - PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

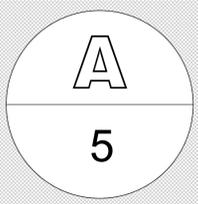


LAKWOOD ENGINEERING
1711 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE: 7/16/25
REV SET: PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: LANDSCAPING PLAN



DRAWN BY: SW APPROVED BY: BH

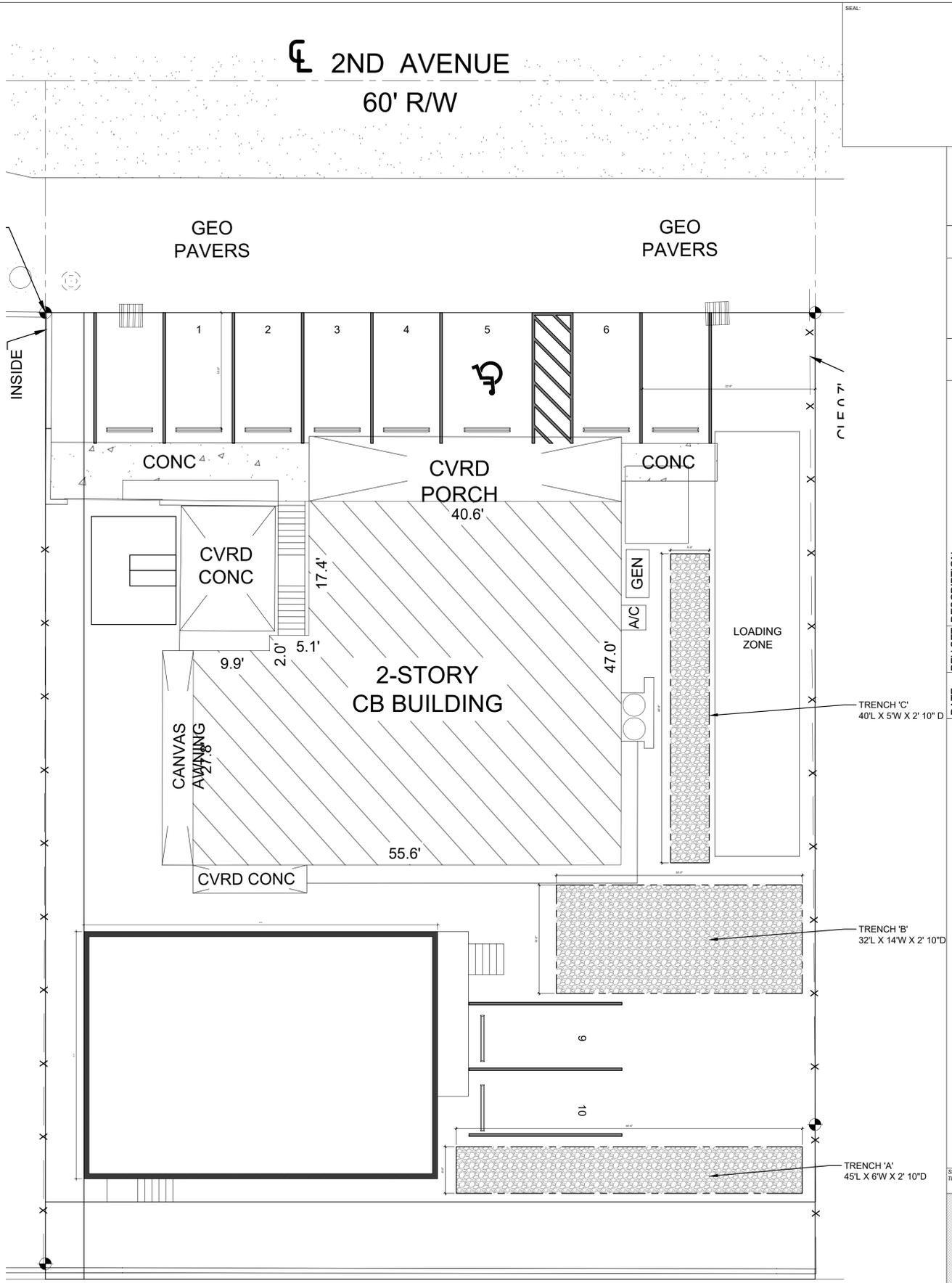
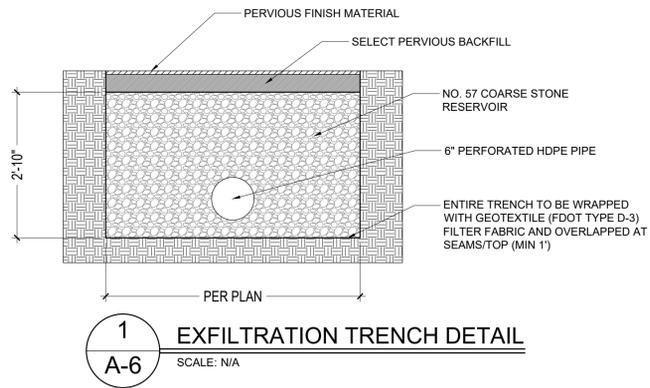
WATER QUANTITY CALCULATIONS - 25 YR/72 HR DESIGN STORM		
WATER QUANTITY - PRE-DEVELOPMENT		
Project Area	0.29 ac	12520 sq. ft
Pervious Area	0.08 ac	3666 sq. ft
Impervious Area	0.20 ac	8854 sq. ft
% Impervious	70.72%	
Rainfall for 25yr/24 hr event (P)	9.00 in	
Depth to Water Table	3.00 ft	
Predeveloped Available Storage	4.95 in	
Soil Storage (S)	1.45 in	
$Q_{pre} = (P - 0.2S)^2 / (P + 0.8S)$ [25yr/72hr]	10.42 in	
WATER QUANTITY - POST DEVELOPMENT		
Project Area	0.29 ac	12520 sq. ft
Pervious Area	0.14 ac	6157 sq. ft
Impervious Area	0.15 ac	6363 sq. ft
% Impervious	50.82%	
Rainfall for 25yr/72hr event (P)	12.00 in	
Depth to Water Table	3.00 ft	
Developed Available Storage	4.95 in	
Soil Storage (S)	2.43 in	
$Q_{post} = (P - 0.2S)^2 / (P + 0.8S)$ [25yr/72hr]	9.50 in	
POST-D - PRE-D		
$Q_{post} - Q_{pre}$ [25yr/72hr]	-0.85 in	
Volume = QA [25yr/72hr]	-0.24 ac-in	

WATER QUALITY CAPTURE VOLUME		
Project Area	0.29 ac	12520 sq. ft
Surface Water Area	0.00 ac	0 sq. ft
Roof Area	0.10 ac	4543 sq. ft
Pavement/Sidwalks/Stairs	0.04 ac	1742 sq. ft
Site Area for Water Quality (Total Area - (Water Surface + Roof Area))	0.19 ac	8494 sq. ft
% Impervious (Excluding Water Surface + Roof Area)	35.72%	
A) One inch of runoff from drainage basin	0.024 ac-ft	1043.3 CF
B) 2.5 inches * % Impervious * Tot. Proj. Area	0.021 ac-ft	931.6 CF
Treatment Volume Required	1043.3 CF	
Exfiltration Trench Provided	1053.0 CF	

EXFILTRATION TRENCH 'A' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	270 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	45
PIPE AREA	0.196 SF
TOTAL PIPE VOL	8.83 CF
CONTAINMENT VOLUME (V) PROVIDED	310.9 CF

EXFILTRATION TRENCH 'B' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	448 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	32
PIPE AREA	0.196 SF
TOTAL PIPE VOL	6.28 CF
CONTAINMENT VOLUME (V) PROVIDED	510.9 CF

EXFILTRATION TRENCH 'C' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	200 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	40
PIPE AREA	0.196 SF
TOTAL PIPE VOL	7.85 CF
CONTAINMENT VOLUME (V) PROVIDED	231.1 CF



NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



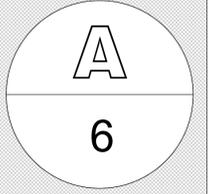
LAKEWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET	DESCRIPTION
PLANNING SET	

DATE: 7/16/25

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: STORMWATER MGMT



DRAWN BY: SW APPROVED BY: BH

5730 2ND AVE. - NEW WAREHOUSE

RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

SCOPE OF WORK:
CONSTRUCTION OF NEW WAREHOUSE BUILDING

PROJECT LOCATION:
5730 2ND AVE.
KEY WEST, FL 33040

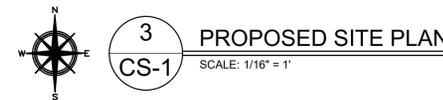
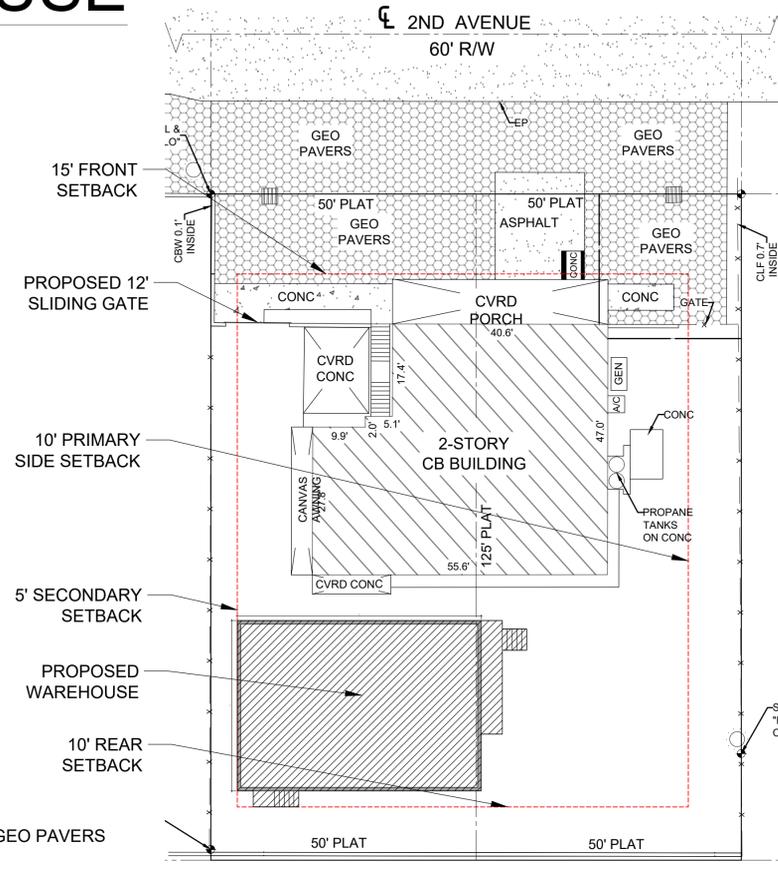
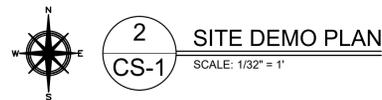
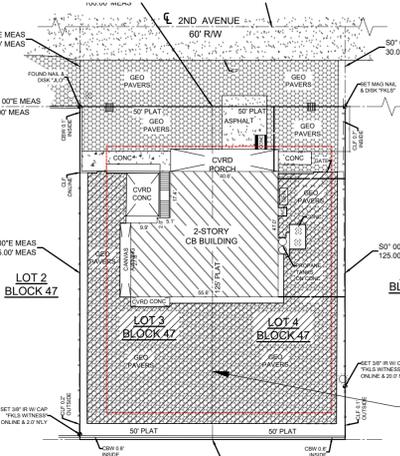
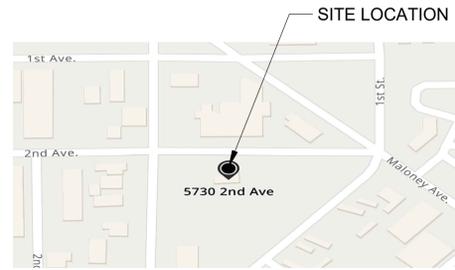
LEGAL DESCRIPTION:
BK 47 LOTS 3 & 4 STOCK ISLAND MALONEY
SUBDIVISION PB1-55 STOCK ISLAND Z-20
OR703-604

SEC/TWP/RANGE:
35/67/25

FLOOD CRITERIA:
FLOOD ZONE - AE-8
BASED UPON N.G.V.D. 1929

SHEET LIST:
CS-1 COVER SHEET & SITE PLAN
A-1 2007 APPROVED SITE PLAN
A-2 PROPOSED SITE PLAN
A-3 CURRENT ELEVATIONS
A-4 PROPOSED ELEVATIONS
A-5 PROPOSED LANDSCAPING PLAN
A-6 STORMWATER MGMT PLAN

GENERAL NOTES:
CONTRACTOR TO NOTIFY ENGINEER OF ANY
FIELD CHANGES OR UNFORSEEN CONDITIONS.
ALL WORK TO BE PERFORMED IN ACCORDANCE
WITH APPLICABLE CODES.



GENERAL CONSTRUCTION NOTES

GENERAL REQUIREMENTS
1. PRIOR TO STARTING ANY WORK THE CONTRACTOR SHALL REVIEW THESE PLANS AND SITE CONDITIONS AND NOTIFY THE ENGINEER IF ANY DISCREPANCIES ARE DISCOVERED.
2. QUALITY OF THE WORK SHALL MEET OR EXCEED INDUSTRY STANDARD PRACTICES.
3. ANY DEVIATIONS FROM THESE PLANS SHALL BE REVIEWED AND APPROVED BY THE ENGINEER.

DESIGN DATA
APPLICABLE CODES: FLORIDA BUILDING CODE (2023), ANSI/APSP/ICC-5 2011, NFPA 70 (NEC), ASCE 24-14 FLOOD RESISTANT DESIGN AND CONSTRUCTION, ACI 318 LATEST EDITION AND ACI 301, AND ALL REFERENCED STANDARDS.

DESIGN LOADS: PER ASCI/SEI 7-22
FLOOR LIVE LOAD 40 PSF
ROOF LIVE LOAD 20 PSF (300 LB CONC.)
BASIC WIND SPEED 180 MPH
EXPOSURE D
STRUCTURAL CAT II

ALL PRESSURES SHOWN ARE BASED ON ASD DESIGN WITH A LOAD FACTOR OF 0.6

SOILS AND FOUNDATIONS
PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS ARE USED IN LIEU OF A COMPLETE GEOTECHNICAL EXPLORATION. FOUNDATIONS SHALL BE PLACED ON A "SEDIMENTARY AND FOLIATED ROCK" WITH AN ALLOWABLE LOAD BEARING PRESSURE OF 2,000 PSF. NOTIFY THE ENGINEER IF SOIL CONDITIONS ARE DIFFERENT. ADDITIONALLY:

- ALL FOUNDATIONS, SLABS AND FOOTERS SHALL BE PLACED ON STABILIZED UNDISTURBED SUBGRADE SOIL.
- MINIMUM FOUNDATION DEPTH SHALL BE 24" UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. IF OVER-EXCAVATED - FILL SHALL NOT BE PLACED BACK INTO THE TRENCH UNLESS APPROVED BY THE ENGINEER.
- FILL UNDER THE FOUNDATIONS SHALL BE USED ONLY IF APPROVED BY THE ENGINEER. CLEAN FILL MATERIAL SHALL BE PLACED IN 6"-8" LAYERS AND COMPACTED TO 98% DENSITY USING THE MODIFIED PROCTOR TEST.
- FILL MATERIAL SHALL BE CLEAN GRANULAR SAND OR LIMEROCK MIX WITHOUT ANY ORGANIC MATERIALS, CLAY, MUCK AND ROCKS LARGER THAN 4". BACKFILL SHALL NOT CONTAIN ANY WOOD OR CELLULOSE DEBRIS.

- CONCRETE
- CONCRETE FOR PILES SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 5000 PSI.
 - WATER/CEMENT RATIO SHALL NOT EXCEED W/C=0.40
 - ALL CAST-IN-PLACE CONCRETE SHALL BE CURED AND PROTECTED FROM OVERDRYING PER ACI 305R-10 "HOT WEATHER CONCRETING".
 - ALL EXPOSED EDGES SHALL HAVE 1/2" CHAMFERS.
 - NO COLD JOINTS ARE ALLOWED UNLESS OTHERWISE APPROVED BY THE ENGINEER.
 - TESTING: ALL FIELD AND LABORATORY TESTING SHALL BE PERFORMED BY AN INDEPENDENT SPECIALIZED COMPANY, PER ACI AND ASTM REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR ALL SCHEDULING, COORDINATION AND COST OF THE TESTING COMPANY. THE RESULTS SHOULD BE DELIVERED TO THE ENGINEER
 - THREE (3) SAMPLES SHALL BE TAKEN AND TESTED EACH TIME. THE MINIMUM SAMPLING FREQUENCY:
 - A) EACH DAY OF CONCRETING FOR EVERY CONCRETE MIX
 - B) EVERY 50 CUBIC YARDS
 - C) EVERY 2000 SQ. FT. OF SLAB AREA
 - CAST-IN-PLACE AND PRECAST MEMBER ERECTION TOLERANCES SHALL BE AS SPECIFIED IN THE TABLE 8.2.2 OR IN SECTION 8.3 OF "PCI DESIGN HANDBOOK/SIXTH EDITION".

- REINFORCEMENT
- ALL REBAR SHALL BE DEFORMED CARBON-STEEL ASTM A615/A615M-13 GRADE 60 OR ASTM A1035 GRADE 100 (MMFX2) UNLESS OTHERWISE SPECIFIED ON THE PLANS.
 - ALL REQUIREMENTS FOR PLACEMENT, COVER, TOLERANCES, ETC. SHALL BE PER ACI 318-11.
 - ALL HOOKS AND BENDS SHALL BE FACTORY MADE UNLESS FIELD BENDS ARE APPROVED BY THE ENGINEER.
 - ONLY PLASTIC CHAIRS AND CENTRALIZERS SHALL BE USED FOR REBAR SUPPORT

HARDWARE
HARDWARE SHALL BE 304 STAINLESS STEEL OR BETTER OR ZMAX GALVANIZED FOR NON-EXPOSED SIMPSON PRODUCTS, UNLESS OTHERWISE SPECIFIED.

- STRUCTURAL LUMBER
- ALL WOOD MEMBERS SHALL MEET OR EXCEED REQUIREMENTS SPECIFIED IN "ANSI/A&PA NATIONAL DESIGN SPECIFICATION (NDS) FOR WOOD CONSTRUCTION" AND ALL REFERENCED STANDARDS.
 - ALL WOOD MEMBERS SHALL BE PRESSURE TREATED SOUTHER PINE NO2 OR GREATER, KILN DRIED AS SPECIFIED IN THE STANDARDS, UNLESS OTHERWISE SPECIFIED.
 - ALL WOOD MEMBERS EXPOSED TO EXTERIOR, IN DIRECT CONTACT WITH CONCRETE OR STEEL SHALL BE PRESSURE-TREATED (PT) UC3B GRADE PER AWP/A STANDARDS.
 - ALL FIELD CUTS IN PT LUMBER SHALL BE TREATED ON SITE.
 - NAILING SHALL BE IN ACCORDANCE WITH FBC 7TH EDITION (2020). NAILS AND OTHER FASTENERS FOR PT WOOD SHALL BE STAINLESS STEEL OR ACQ APPROVED TREATED.
 - SHEATHING SHALL BE 3/4" CDX PLYWOOD SHEATHING GRADE, UNLESS OTHERWISE IS SPECIFIED ON THE PLANS. USE 10D RING-SHANK NAILS WITH SPACING OF 4" O.C. ON ALL EDGES AND 6" O.C. IN THE FIELD.

- STRUCTURAL STEEL
- STRUCTURAL STEEL COMPONENTS SHALL BE AS DESCRIBED IN "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360 OR LATER EDITION.
 - HSS SHAPES (STRUCTURAL TUBING) SHALL BE ASTM A500 (FY=46 KSI).
 - STEEL PLATES, FLANGES AND MISCELLANEOUS ELEMENTS SHALL BE ASTM A36 (FY=36 KSI) UNLESS NOTED OTHERWISE ON THE PLANS.
 - W-SHAPES, C-SHAPES AND OTHER FORMED STEEL SHALL BE ASTM A992 (FY=50 KSI).
 - ALL WELDING SHALL BE IN CONFORMANCE WITH THE LATEST SPECIFICATIONS AWS D1.1/D1.1M:2010, STRUCTURAL WELDING CODE - STEEL.

- STRUCTURAL STEEL COATING
- ALL SURFACES SHALL BE ABRASIVE BLAST CLEANED TO NEAR-WHITE METAL (PER SSPC-SP10)
 - NON-EXPOSED STEEL SHALL BE COATED WITH 2 COATS OF A UNIVERSAL COMPATIBLE PRIMER
 - EXPOSED STEEL
 - A. ALL SURFACES SHALL BE PRIMED WITH POLYAMIDE EPOXY - ONE COAT (8.0 MILS DFT).
 - B. APPLY SEALANT AT ALL LOCATIONS WHERE STEEL IS WELDED, LAPPED, ETC. SEALANT MATERIAL SHALL BE COMPATIBLE WITH THE PAINTING SYSTEM.
 - C. TOP LAYER SHALL BE TWO (2) COAT POLYURETHANE (3.0 MILS DFT EACH).
 - D. TOP PAINT SHALL BE UV RESISTANT OR HAVE A UV RESISTANT COATING.

- REINFORCED MASONRY (CMU)
- ALL MASONRY SHALL BE REINFORCED CONCRETE MASONRY UNIT IN ACCORDANCE WITH THE LATEST EDITION OF ACI 530/ASCE 5/TMS 402.
- INSTALL ALL BLOCKS IN RUNNING BOND.
 - MINIMUM MASONRY BLOCK (ASTM C90) STRENGTH SHALL (F_m) BE 2000 PSI.
 - TYPE "S" MORTAR (ASTM C270) SHALL BE USED USING 3/8" FULL BEDDING REINFORCED W/ 9 GAGE GALVANIZED LADDER WIRE EVERY 2ND ROW.
 - FILLED CELLS SHALL BE REINFORCED WITH #5 REBARS @ 24" O.C. (UNLESS OTHERWISE IS SPECIFIED ON THE PLANS).
 - GROUT SHALL BE PEA ROCK PUMP MIX (ASTM C476) WITH A MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI (28 DAY) (ASTM C1019). TARGETED SLUMP SHALL BE 8"-11".
 - EACH GROUTED CELL SHALL HAVE CLEANOUT OPENINGS AT THE BOTTOM. THERE SHALL BE NO LOOSE MORTAR OR OTHER DEBRIS IN THE BOTTOM OF THE CELL. USE BLAST PRESSURE WASHING FOR SURFACE PREPARATION.

- WINDOWS & DOORS
- ALL EXTERIOR WINDOWS SHALL BE LARGE AND SMALL MISSILE IMPACT RATED.
 - ALL EXTERIOR WINDOWS SHALL HAVE FLORIDA PRODUCT APPROVAL AND NOA. PRODUCT APPROVAL LABELS SHALL BE PERMANENTLY ATTACHED TO THE FRAME.
 - WIND PRESSURE ON COMPONENTS AND CLADDING (CH 30 PART 1)

SITE DATA TABLE				
	CODE REQUIREMENT	EXISTING SITE	PROPOSED	VARIANCE REQUEST
ZONING		MU		N/A
FLOOD ZONE		AE8		N/A
SIZE OF SITE		12,520		N/A
FRONT SETBACK	15'-0"	15'-0"	15'-0"	N/A
PRIMARY SIDE SETBACK	10'-0"	23'-0"	23'-0"	N/A
SECONDARY SIDE SETBACK	5'-0"	15'-2"	5'-0"	N/A
REAR SETBACK	10'-0"	48'-0"	10'-0"	N/A
OPEN SPACE/LANDSCAPING	20%	11%	45%	34% IMPROVEMENT

IMPERVIOUS SURFACES				
EXISTING		PROPOSED		DIFFERENCE
SIZE OF SITE	ELEMENTS	SIZE OF SITE	ELEMENTS	
12,520 SF	BUILDING	12,520 SF	BUILDING	
2,339 SF	COVERED FRONT PORCH	2,339 SF	COVERED FRONT PORCH	
341 SF	COVERED CONCRETE	341 SF	COVERED CONCRETE	
251 SF	STAIRS	251 SF	STAIRS	
61 SF	CONCRETE FENCE	61 SF	CONCRETE FENCE	
107 SF	CANVAS AWNING	107 SF	CANVAS AWNING	
111 SF	GEO PAVERS*	111 SF	GEO PAVERS*	
5,076 SF	OPEN CONCRETE AREAS	995 SF	OPEN CONCRETE AREAS	4,081 SF TO BE REMOVED
369 SF	ASPHALT AREA	369 SF	ASPHALT AREA	
249 SF	GENERATOR	249 SF	GENERATOR	
19 SF	A/C	19 SF	A/C	
10 SF	WAREHOUSE	10 SF	WAREHOUSE	
0 SF		1,601 SF	WAREHOUSE	1,601 SF TO BE ADDED
8,933	TOTAL (SF)	6,453	TOTAL (SF)	2,480 SF TO BE REMOVED
12,520	LOT SIZE (SF)	12,520	LOT SIZE (SF)	
71.35%	TOTAL IMPERVIOUS (%)	51.34%	TOTAL IMPERVIOUS (%)	20.01% IMPROVEMENT

*GEO PAVER RATIO: 70% IMPERVIOUS / 30% PERMEABLE

OPEN SPACE				
EXISTING		PROPOSED		DIFFERENCE
SIZE OF SITE	ELEMENTS	SIZE OF SITE	ELEMENTS	
12,520 SF	BUILDING	12,520 SF	BUILDING	
2,339 SF	COVERED FRONT PORCH	2,339 SF	COVERED FRONT PORCH	
341 SF	COVERED CONCRETE	341 SF	COVERED CONCRETE	
251 SF	STAIRS	251 SF	STAIRS	
61 SF	CONCRETE FENCE	61 SF	CONCRETE FENCE	
107 SF	CANVAS AWNING	107 SF	CANVAS AWNING	
111 SF	GEO PAVERS	111 SF	GEO PAVERS	
7,251 SF	OPEN CONCRETE AREAS	1,421 SF	OPEN CONCRETE AREAS	5,830 SF TO BE REMOVED
369 SF	ASPHALT AREA	369 SF	ASPHALT AREA	
249 SF	GENERATOR	249 SF	GENERATOR	
19 SF	A/C	19 SF	A/C	
10 SF	WAREHOUSE	10 SF	WAREHOUSE	
0 SF		1,601 SF	WAREHOUSE	1,601 SF TO BE ADDED
11,108	NON OPEN SPACE (SF)	6,879	NON OPEN SPACE (SF)	4,229 SF TO BE REMOVED
1,412	OPEN SPACE (SF)	5,666	OPEN SPACE (SF)	4,254 SF TO BE ADDED
11%	OPEN SPACE (%)	37%	OPEN SPACE (%)	26% IMPROVEMENT

STORMWATER MANAGEMENT NOTE: SINCE PROJECT REDUCES THE AMOUNT OF EXISTING IMPERVIOUS SURFACES, A STORMWATER MANAGEMENT PLAN IS NOT REQUIRED.

SCALE 1/16" = 1'



NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.

ROBERT HULEC, P.E.
LIC # 96937



LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE: 7/16/25

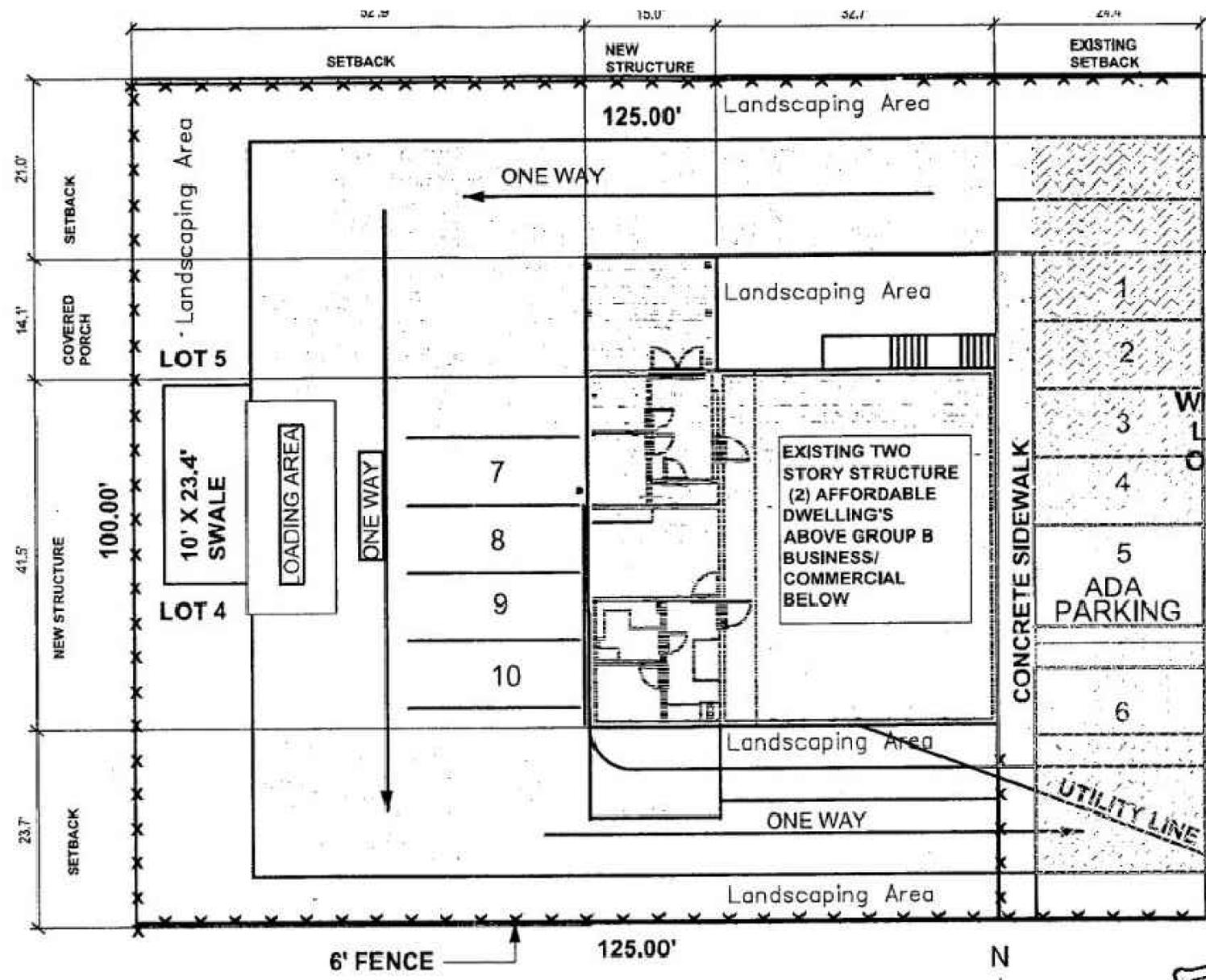
REV SET DESCRIPTION PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE COVER & SITE PLAN



DRAWN BY: SW APPROVED BY: BH



SCOPE OF WORK:
AS BUILT DRAWINGS
FOR SECOND FLOOR
DWELLING UNITS

DO NOT REMOVE
WINDOW & DOOR SPECIFICATION
LABELS UNTIL CERTIFICATE OF
OCCUPANCY HAS BEEN ISSUED

Monroe County Planning
Approved as per Monroe
County Code see permit
conditions.
By: *JH* Date: *10/15/07*

BUILDING APPROVED
SUBJECT TO FLORIDA BUILDING CODE
K 9/12/07

File

FLOOD ZONE
AE EL 8'



1 SITE PLAN

SCALE: 1" = 20ft.

SCOPE OF WORK:

AS - BUILT DRAWINGS:

NOTE: THESE DRAWINGS ARE AS-BUILT DOCUMENTS AND REFLECT CURRENT STRUCTURAL COMPONENTS ARE VISABLE AND CERTAIN ASSUMPTIONS OF THE CONSTRUCTION WERE MADE.



1 APPROVED SITE PLAN - 2007
SCALE: 1/8" = 1'



RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

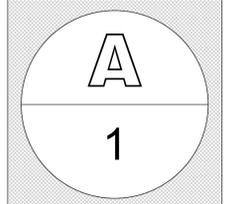


LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE:	REV SET:	DESCRIPTION:
7/16/25	PLANNING SET	

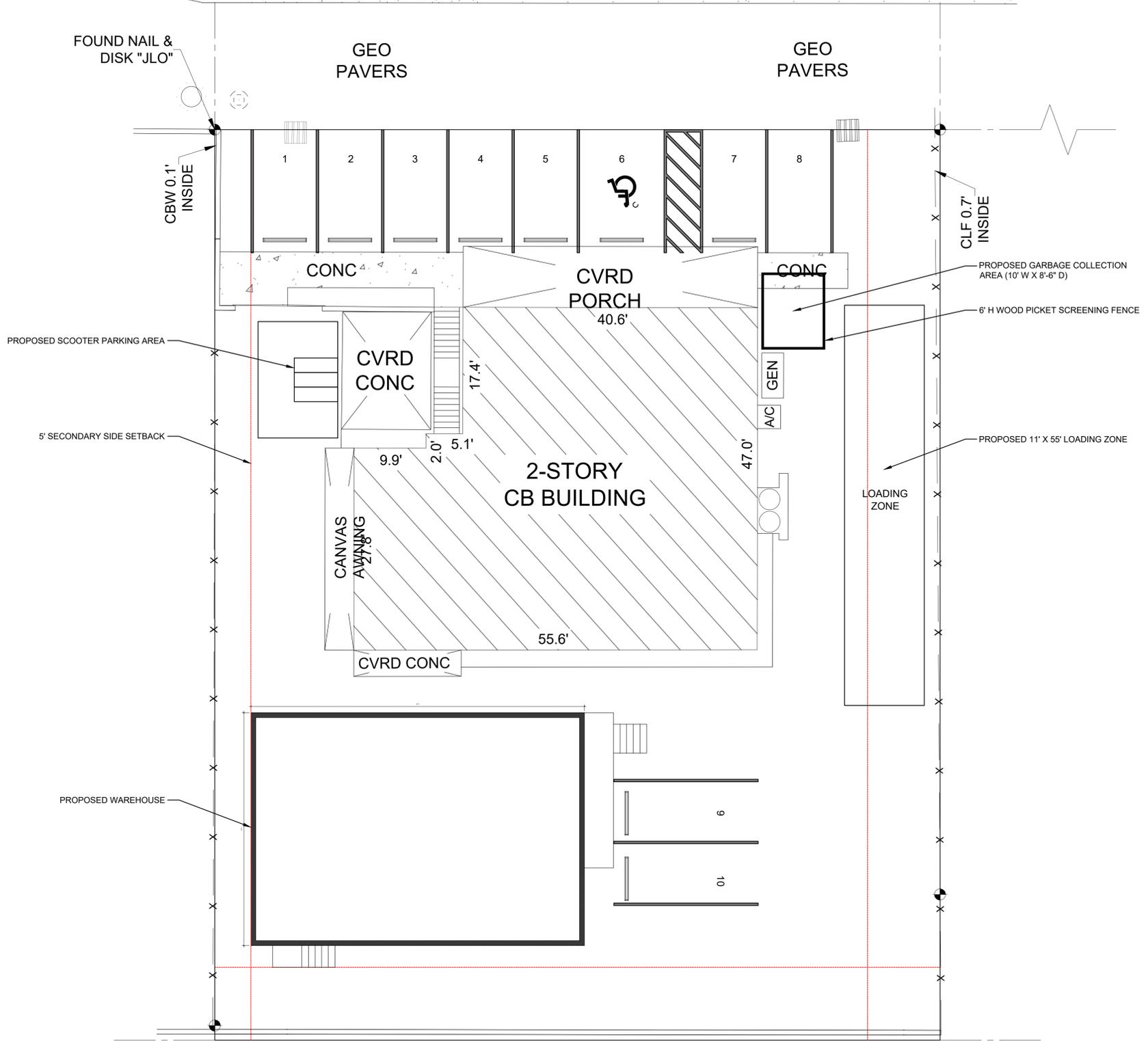
NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: PREVIOUS SITE PLAN



DRAWN BY: SW APPROVED BY: BH

2ND AVENUE
60' R/W



RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



LAKWOOD ENGINEERING
DESIGN & CONSTRUCTION SERVICES
LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET	DESCRIPTION
1	PLANNING SET

DATE: 7/16/25

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: SITE PLAN

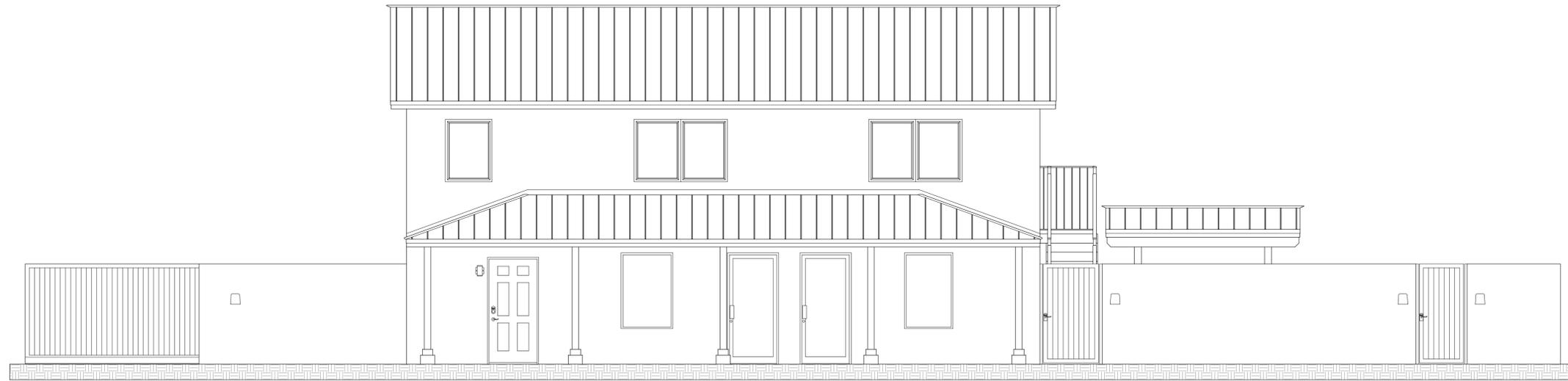


DRAWN BY: SW APPROVED BY: BH

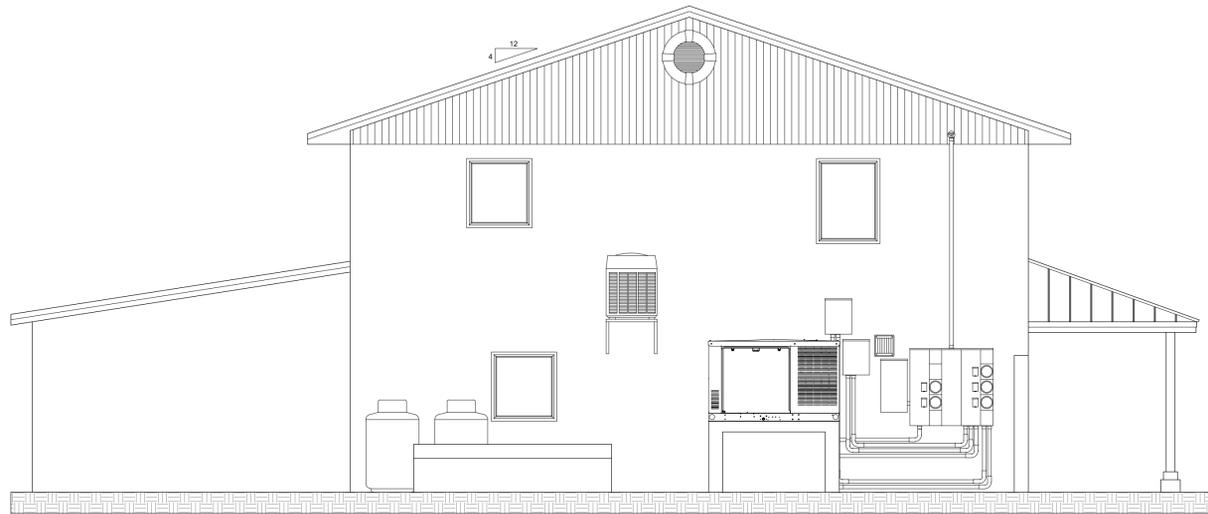
SCALE 1/8" = 1'
0' 4' 8' 12' 16' 20'

1 PROPOSED SITE PLAN
A-2 SCALE: 1/8" = 1'

CURRENT ELEVATION



1 EXISTING NORTH ELEVATION
A-3 SCALE: 1/4" = 1'



2 EXISTING EAST ELEVATION
A-3 SCALE: 1/4" = 1'

SCALE 1/4" = 1'



SEAL:

RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

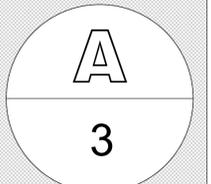


LAKESWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

DATE:	REV SET	DESCRIPTION
7/16/25		PLANNING SET

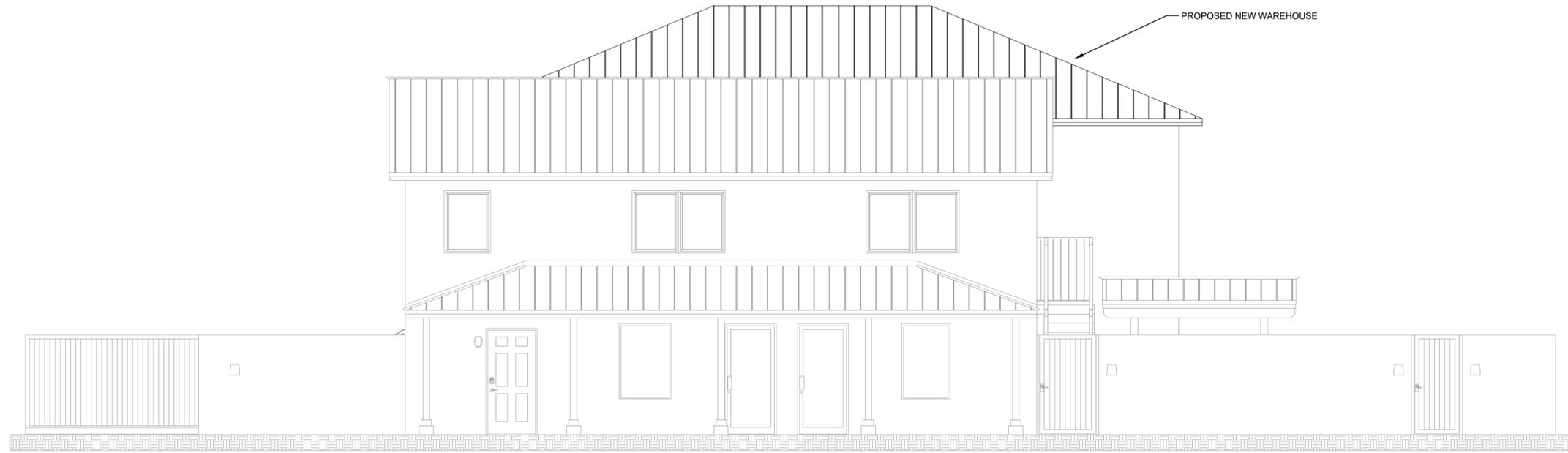
NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET
TITLE CURRENT ELEVATION

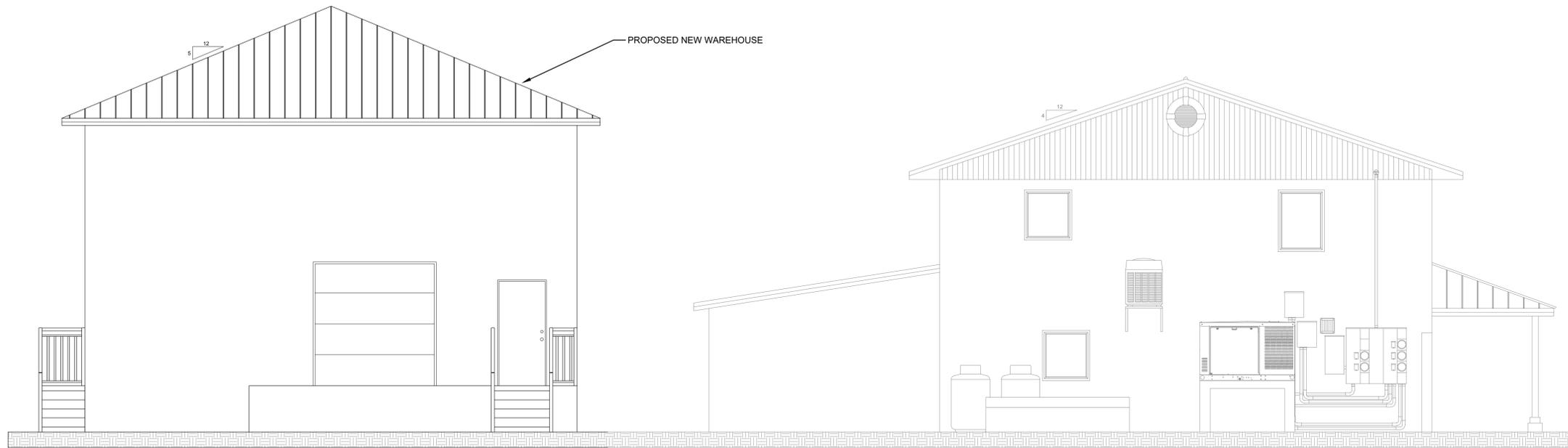


DRAWN BY: SW APPROVED BY: BH

PROPOSED ELEVATIONS



1
A-4 PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'



2
A-4 PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'

SCALE 1/4" = 1'



RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937

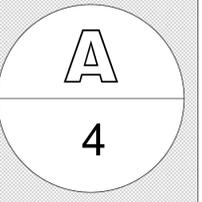


LAKWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET DESCRIPTION SET
DATE: 7/16/25 PLANNING SET

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE PROPOSED ELEVATION



DRAWN BY: SW APPROVED BY: BH

LANDSCAPE CALCULATIONS

3,328 S.F. PARKING / VEHICULAR USE AREAS

3,328 X 20% = 665.5 S.F. Landscape Area Required

1,561 S.F. Landscape Area Provided: MEETS REQUIREMENT

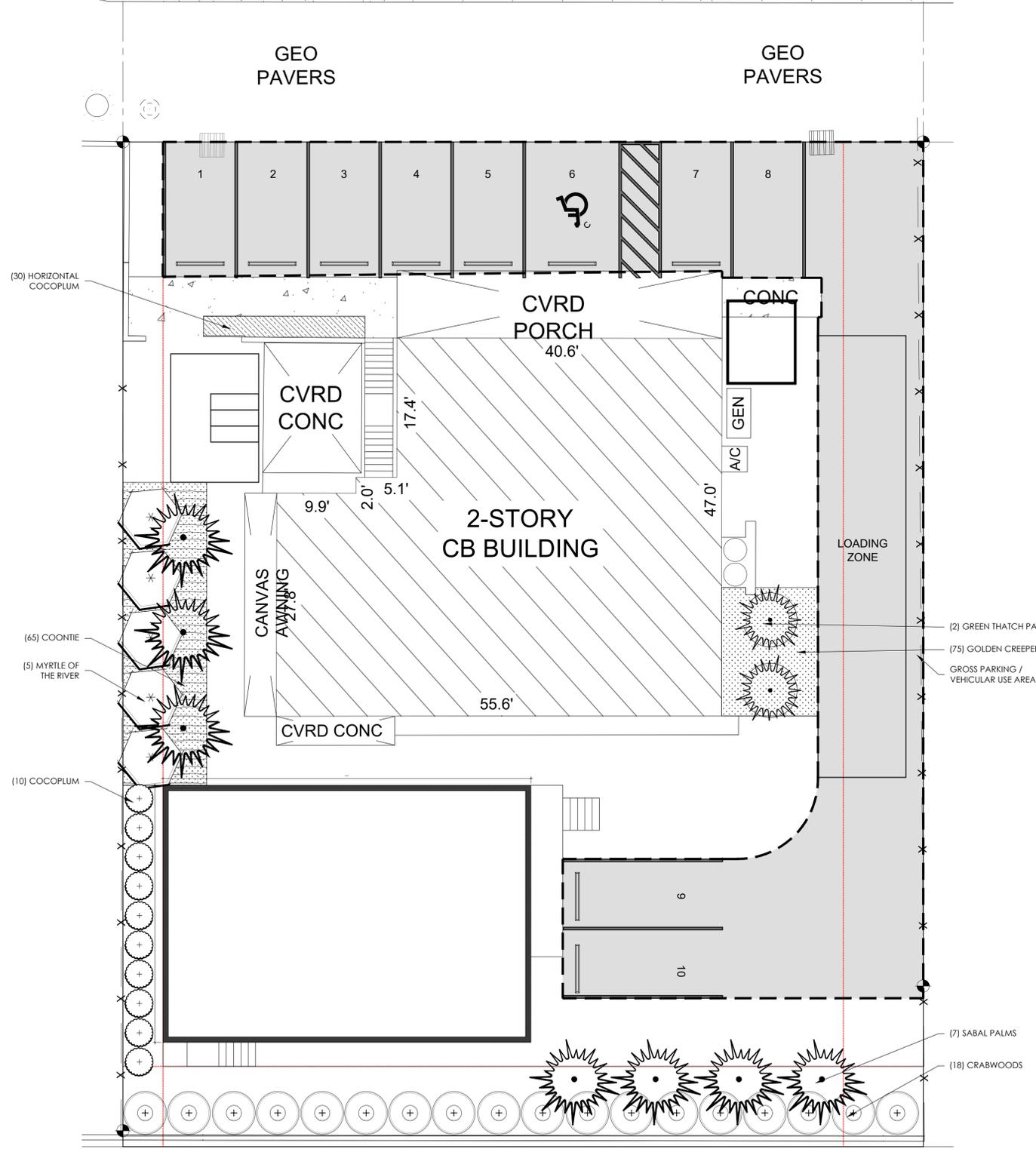
PLANT LIST

SCIENTIFIC NAME	COMMON NAME	QTY.	SPECIFICATION
TREES & PALMS			
Sabal Palmetto	Sabal Palms	7	(2) 10' GW. (2) 12' GW. (1) 15' GW (2) 17' GW. slicks
Calyptanthes zuzygium	Myrtle of the River	5	45 gallon, Min. 8'-0" PH.
Thrinax radiata	Green Thatch Palms	2	6'-0" PH.
Gymnanthes lucida	Crabwood	18	25 Gallon
ACCENTS & SHRUBS			
Chrysolobanus icaco	Cocoplum	10	15 Gallon
GROUNDCOVERS			
Ernodea littoralis	Golden Creeper	75	1 gallon, full
Chrysolobanus icaco 'horizontalis'	Horizontal Cocoplum	30	3 gallon, full
Zamia pumila	Coontie	65	3 gallon, full

NOTE: LANDSCAPE CONTRACTOR TO VISIT SITE PRIOR TO BID TO ENSURE ACCESS AND VERIFY EXISTING SITE CONDITIONS. **NO EXCEPTIONS.**

2ND AVENUE
60' R/W

RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.



- GENERAL LANDSCAPE NOTES:**
- CHANGES MAY OCCUR DURING THE NORMAL COURSE OF IMPLEMENTATION. VERBAL CHANGE ORDERS WILL NOT BE HONORED. ANY CHANGES MUST BE SUBMITTED TO LANDSCAPE ARCHITECT IN WRITING AS A CHANGE ORDER TO BE REVIEWED AND APPROVED IN WRITING BY OWNER/CLIENT.
 - ALL NEWLY PLANTED AREAS TO RECEIVE 100% COVERAGE BY AUTOMATIC IRRIGATION SYSTEM (DRIP PREFERRED) UNLESS OTHERWISE DIRECT BY OWNER. LANDSCAPE CONTRACTOR TO COORDINATE INSTALLATION OF IRRIGATION SYSTEM WITH IRRIGATION CONTRACTOR. IRRIGATION TIME CLOCK TO BE HARD WIRED ON COMPLETION - RESPONSIBILITY OF IRRIGATION CONTRACTOR. LANDSCAPE CONTRACTOR TO HAND WATER OR ARRANGE FOR WATERING DURING PLANTING UNTIL IRRIGATION SYSTEM IS 100% OPERABLE. THIS IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
 - LANDSCAPE CONTRACTOR TO BECOME FAMILIAR WITH THE SCOPE OF WORK AS WELL AS THE SITE, DIGGING CONDITIONS, AND ANY OBSTACLES PRIOR TO BIDDING.
 - LANDSCAPE CONTRACTOR SHALL LOCATE AND VERIFY ALL UNDERGROUND UTILITIES PRIOR TO DIGGING.
 - ALL PLANT MATERIAL IS TO BE FLORIDA NO. 1 OR BETTER. FLORIDA DEPARTMENT OF AGRICULTURE GRADES AND STANDARDS, PARTS I & II, 1975, RESPECTIVELY.
 - ALL TREES TO BE STAKES IN A GOOD WORKMANLIKE MANNER. NO HAIL STAKING PERMITTED [REFER TO PLANTING DETAILS].
 - LANDSCAPE PLAN SHALL BE INSTALLED IN COMPLIANCE WITH ALL LOCAL CODES.
 - ALL TREE HOLES TO BE BACK FILLED AROUND AND UNDER ROOT BALL WITH WASHED BEACH SAND. ALL SHRUB BEDS TO BE INSTALLED WITH WASHED BEACH SAND (SEE SPEC).
 - ALL SHRUBS AND GROUND COVERS SHALL BE GUARANTEED FOR SIX MONTHS FROM DATE OF FINAL ACCEPTANCE. ALL TREES & PALMS ARE TO GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE - **NO EXCEPTIONS**
 - ALL PLANTING BEDS SHALL BE WEED AND GRASS FREE.
 - ALL TREES, PALMS, SHRUBS AND GROUND COVER PLANTS SHALL BE FERTILIZED AT INSTALLATION ACCORDING TO MANUFACTURERS' RECOMMENDATIONS. TYPE AND AMOUNT OF FERTILIZER IS UP TO DISCRETION OF LANDSCAPE CONTRACTOR IN ORDER TO AVOID 'BURN' ON PLANTS THAT MAY ALREADY CONTAIN FERTILIZER FROM NURSERY AND ENSURE PROPER ESTABLISHMENT TO MAINTAIN CONTRACTORS WARRANTY.
 - PLANTING PLAN SHALL TAKE PRECEDENCE OVER PLANT LIST IN CASE OF DISCREPANCIES.**
 - NO CHANGE SHALL BE MADE WITHOUT PRIOR CONSENT OF LANDSCAPE ARCHITECT.
 - ALL MATERIAL SHALL BE SUBJECT TO AVAILABILITY AT TIME OF INSTALLATION. SUBSTITUTIONS MAY BE MADE AFTER CONSULTATION WITH LANDSCAPE ARCHITECT.
 - LANDSCAPE CONTRACTOR TO COORDINATE HIS WORK WITH GENERAL CONTRACTOR, IRRIGATION CONTRACTOR, AND THE ELECTRICAL CONTRACTOR.
 - ALL EXISTING PLANT MATERIAL TO REMAIN SHALL BE PROTECTED.
 - ALL TREES TO BE RELOCATED WILL BE ROOT PRUNED 30 DAYS MINIMUM (OR MORE IF REQUIRED BY SPECIES). UPON RELOCATION, THIN OUT 30% OF THE RELOCATED TREES' CANOPY.
 - AFTER REMOVAL OR RELOCATION OF EXISTING TREES AND PALMS, BACKFILL TREE PIT WITH WASHED BEACH SAND, AND SOD DISTURBED AREA, IF REQUIRED.
 - ALL TREES ON SOD AREA SHALL RECEIVE A MULCH RING 2' IN DIAMETER TYPICAL.
 - ALL TREES SHALL HAVE 2" CALIPER AT D.B.H. MINIMUM FOR A 10' HEIGHT TREE.
 - ALL 1 GALLON MATERIAL TO HAVE 12" SPREAD MINIMUM. ALL 3 GALLON MATERIAL TO HAVE 20-24" SPREAD MINIMUM.
 - LANDSCAPE CONTRACTOR TO BE COUNTY OR CITY LICENSED WHERE WORK IS TO BE PERFORMED. LIABILITY AND WORKMANS COMP INSURANCE IS REQUIRED FOR EACH AND EVERY EMPLOYEE TO BE ON-SITE AT ANY TIME DURING IMPLEMENTATION. PAPERWORK TO THIS EFFECT TO BE PROVIDED ON REQUEST WITHIN 2 BUSINESS DAYS.

- TREE BRACING NOTES:**
- 2" AND LARGER CALIPER TREES BRACED BY GUYING:**
- CHOOSE THE CORRECT SIZE AND NUMBER OF STAKES AND SIZE OF HOSE AND WIRE. GUYING SHALL BE COMPLETED WITHIN 48 HOURS OF PLANTING THE TREE.
 - CUT LENGTHS OF STAKING HOSE TO EXTEND 2 INCHES PAST TREE TRUNK WHEN WRAPPING AROUND.
 - SPACE STAKES EVENLY ON OUTSIDE OF WATER RING AND DRIVE EACH FIRMLY INTO GROUND. STAKES SHOULD BE DRIVEN AT A 30 DEGREE ANGLE WITH THE POINT OF THE STAKE TOWARD THE TREE UNTIL 4 TO 5 INCHES ARE LEFT SHOWING.
 - PLACE THE HOSE AROUND THE TRUNK JUST ABOVE THE LOWEST BRANCH.
 - THREAD THE WIRE THROUGH THE HOSE AND PAST THE STAKE. ALLOWING APPROXIMATELY 2 FEET OF EACH OF THE TWO ENDS BEYOND THE STAKE BEFORE CUTTING THE WIRE.
 - TWIST WIRE AT RUBBER HOSE TO KEEP IT IN PLACE
 - PULL WIRE DOWN AND WIND BOTH ENDS AROUND STAKE TWICE. TWIST WIRE BACK ONTO ITSELF TO SECURE IT BEFORE CUTTING OFF THE EXCESS.
 - THE ABOVE PROCEDURES ARE TO BE FOLLOWED FOR EACH STAKE. KEEPING THE TREE STRAIGHT AT ALL TIMES. THERE SHOULD BE A 1 TO 3 INCH SWAY IN THE TREE [THE WIRES SHOULD NOT BE PULLED TIGHT] FOR BEST ESTABLISHMENT.
 - FLAG THE GUY WIRES WITH SURVEYORS FLAGGING OR APPROVED EQUAL FOR SAFETY.
 - GUYS ARE NOT TO BE REMOVED UNTIL APPROVED BY LANDSCAPE CONTRACTOR.
- SPECIMEN TREES AND TALL PALMS BRACED WITH PROPS:**
- CHOOSE THE CORRECT SIZE, LENGTH, AND NUMBER OF PROPS TO BE USED (PRESSURE TREATED [PT] 2"x4", 4"x4").
 - WRAP AT LEAST 5 LAYERS OF BURLAP AROUND TRUNK OF THE PALM AT LEAST 4 INCHES WIDER THAN THE BATTENS BEING USED. BATTENS SHOULD BE MOUNTED AT A POINT 1/3 OF THE DISTANCE FROM GROUND TO THE CLEAR TRUNK OF THE TREE OR PALM, BUT NOT LESS THAN 4 FEET, WHICHEVER IS GREATER.
 - SELECT THE PROPER LENGTH AND SIZE OF BATTENS (PT 2"x4"x12'-16')
 - USE THE SAME NUMBER OF BATTENS AS PROPS BEING USED.
 - PLACE THE BATTENS VERTICALLY AND EVENLY SPACED AGAINST THE BURLAP.
 - PLACE THE BATTENS IN PLACE WITH METAL OR PLASTIC BANDING STRAPS. **DO NOT NAIL INTO TREE.**
 - WEDGE LOWER END OF PROP INTO SOIL AND SECURE WITH A 2"x4"x30" STAKES. PROPS SHOULD BE INSTALLED AT A 30 TO 40 DEGREE ANGLE FROM THE BATTENS AND OF SUFFICIENT LENGTH TO REACH THE GROUND. **NOTE: ON STRAIGHT TREES OR PALMS, SPACE PROPS EQUAL DISTANCE AROUND TREE OR PALM. ON CURVED PALMS OR TREES, SPACE PROPS AGAINST THE FRONT OF THE CURVE OF THE PALM OR TREE.**
 - CUT A SMOOTH ANGLE AT THE END OF THE PROPS. ALIGN WITH AND NAIL INTO BATTENS. **DO NOT PENETRATE TREE OR PALM WITH NAILS.**
 - IF IT APPEARS THAT ADDITIONAL CONSTRUCTION WORK WILL TAKE PLACE NEAR TO OR IN VICINITY OF THE NEWLY BRACED TREES OR PALMS, THEN PROPS ARE TO BE CLEARED LABELED WITH THE STATEMENT 'DO NOT REMOVE'.**
 - PROPS ARE NOT TO BE REMOVED UNTIL APPROVED BY THE LANDSCAPE CONTRACTOR.

NOT VALID FOR CONSTRUCTION UNLESS DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SHA AUTHENTICATION CODE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

ROBERT HULEC, P.E.
LIC # 96937



REV SET	DESCRIPTION	DATE
1	PLANNING SET	7/16/25

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET TITLE: LANDSCAPING PLAN

A

5

DRAWN BY: SW APPROVED BY: BH

1 PROPOSED LANDSCAPING PLAN
A-5 SCALE: 1/8" = 1'

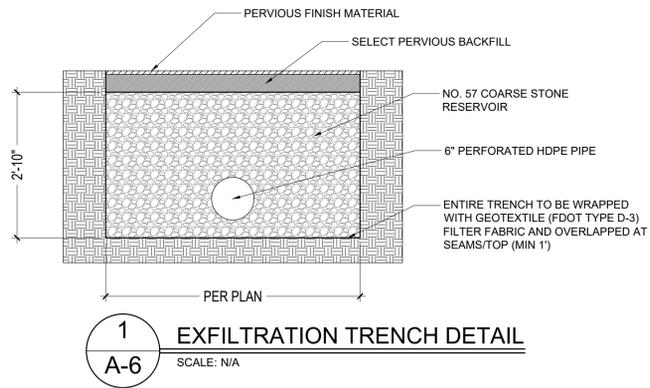
WATER QUANTITY CALCULATIONS - 25 YR/72 HR DESIGN STORM		
WATER QUANTITY - PRE-DEVELOPMENT		
Project Area	0.29 ac	12520 sq. ft
Pervious Area	0.08 ac	3666 sq. ft
Impervious Area	0.20 ac	8854 sq. ft
% Impervious	70.72%	
Rainfall for 25yr/24 hr event (P)	9.00 in	
Depth to Water Table	3.00 ft	
Predeveloped Available Storage	4.95 in	
Soil Storage (S)	1.45 in	
$Q_{pre} = (P - 0.2S)^2 / (P + 0.8S)$ [25yr/72hr]	10.42 in	
WATER QUANTITY - POST DEVELOPMENT		
Project Area	0.29 ac	12520 sq. ft
Pervious Area	0.14 ac	6157 sq. ft
Impervious Area	0.15 ac	6363 sq. ft
% Impervious	50.82%	
Rainfall for 25yr/72hr event (P)	12.00 in	
Depth to Water Table	3.00 ft	
Developed Available Storage	4.95 in	
Soil Storage (S)	2.43 in	
$Q_{post} = (P - 0.2S)^2 / (P + 0.8S)$ [25yr/72hr]	9.50 in	
POST-D - PRE-D		
$Q_{post} - Q_{pre}$ [25yr/72hr]	-0.85 in	
Volume = QA [25yr/72hr]	-0.24 ac-in	

WATER QUALITY CAPTURE VOLUME		
Project Area	0.29 ac	12520 sq. ft
Surface Water Area	0.00 ac	0 sq. ft
Roof Area	0.10 ac	4543 sq. ft
Pavement/Sidwalks/Stairs	0.04 ac	1742 sq. ft
Site Area for Water Quality (Total Area - (Water Surface + Roof Area))	0.19 ac	8494 sq. ft
% Impervious (Excluding Water Surface + Roof Area)	35.72%	
A) One inch of runoff from drainage basin	0.024 ac-ft	1043.3 CF
B) 2.5 inches * % Impervious * Tot. Proj. Area	0.021 ac-ft	931.6 CF
Treatment Volume Required	1043.3 CF	
Exfiltration Trench Provided	1053.0 CF	

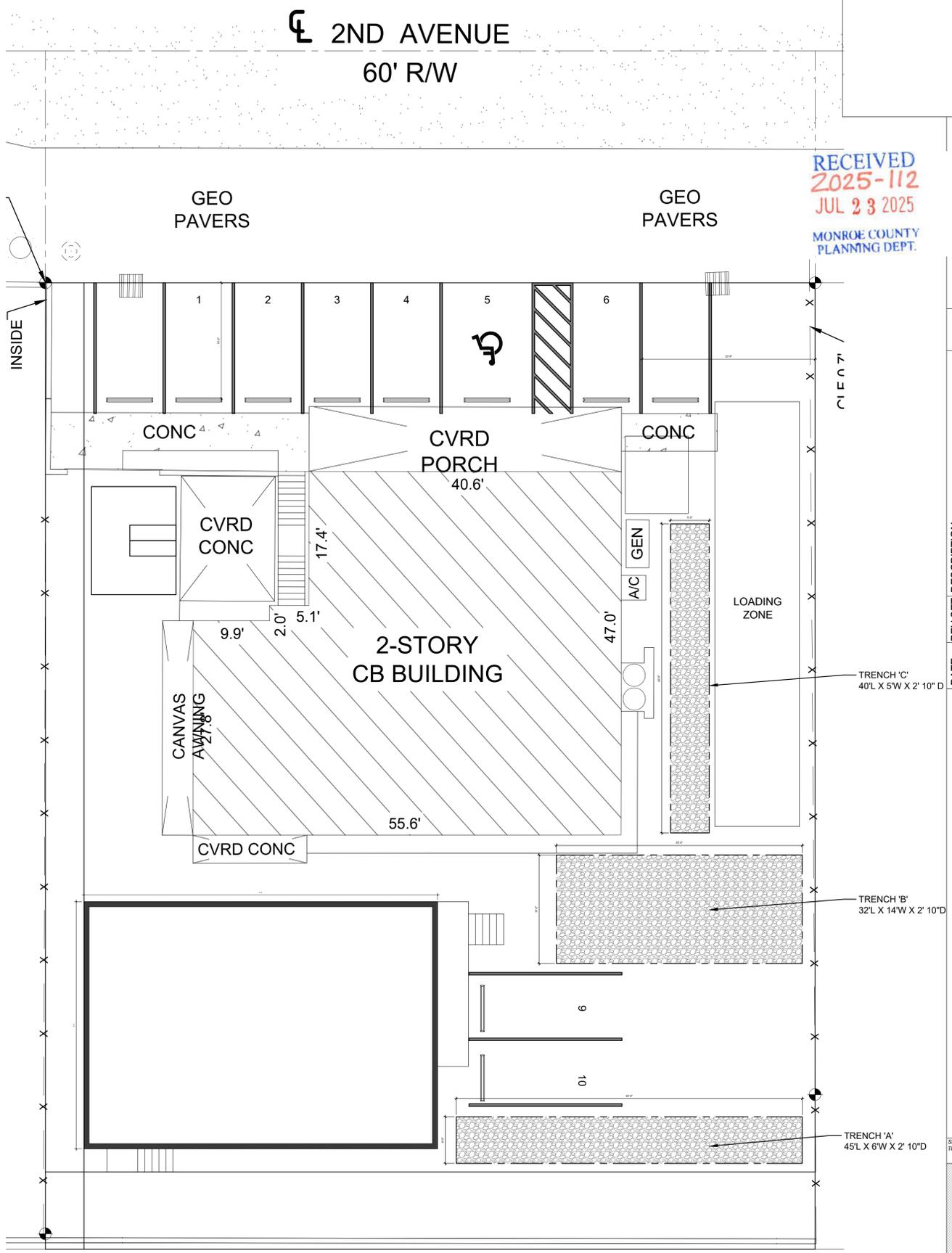
EXFILTRATION TRENCH 'A' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	270 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	45
PIPE AREA	0.196 SF
TOTAL PIPE VOL	8.83 CF
CONTAINMENT VOLUME (V) PROVIDED	310.9 CF

EXFILTRATION TRENCH 'B' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	448 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	32
PIPE AREA	0.196 SF
TOTAL PIPE VOL	6.28 CF
CONTAINMENT VOLUME (V) PROVIDED	510.9 CF

EXFILTRATION TRENCH 'C' DESIGN	
CONTAINMENT VOLUME (V) = ((TRENCH AREA X DEPTH) - PIPE VOL) X VOID FACTOR + PIPE VOL	
VOID FACTOR	0.4
AREA	200 SF
DEPTH	2.83 FT
PIPE DIAMETER	6 IN
PIPE LENGTH	40
PIPE AREA	0.196 SF
TOTAL PIPE VOL	7.85 CF
CONTAINMENT VOLUME (V) PROVIDED	231.1 CF



1 EXFILTRATION TRENCH DETAIL
SCALE: N/A



2 PROPOSED STORMWATER PLAN
SCALE: 1/8" = 1'

RECEIVED
2025-112
JUL 23 2025
MONROE COUNTY
PLANNING DEPT.

NOT VALID FOR CONSTRUCTION UNLESS
DIGITALLY SIGNED WITH ORIGINAL SEAL.
PRINTED COPIES OF THIS DOCUMENT ARE NOT
CONSIDERED SIGNED AND SEALED AND THE SHA
AUTHENTICATION CODE MUST BE VERIFIED ON
ANY ELECTRONIC COPIES.
ROBERT HULEC, P.E.
LIC # 96937

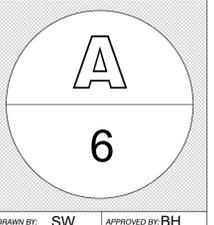
LAKEWOOD ENGINEERING
DESIGN & CONSTRUCTION SERVICES
LAKEWOOD ENGINEERING
1211 WATSON ST.
KEY WEST, FL 33040
305-890-6284

REV SET	DESCRIPTION
PLANNING SET	

DATE: 7/16/25

NEW WAREHOUSE
5730 2ND AVE.
KEY WEST, FL 33040

SHEET
TITLE: STORMWATER MGMT



DRAWN BY: SW APPROVED BY: BH