

County of Monroe

Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Voice: (305) 289-2500
FAX: (305) 289-2536



Board of County Commissioners:
Mayor James K. Scholl, District 3
Mayor Pro Tem Michelle Lincoln, District 2
Craig Cates, District 1
David Rice, District 4
Holly Merrill Raschein, District 5

We strive to be caring, professional, and fair

Sent via email to thomas@owentrepanier.com
owen@owentrepanier.com

September 22, 2025

Trepanier & Associates, Inc.
1421 First Street, Unit 101
Key West, FL 33040

**Subject: Letter of Development Rights Determination (LDRD), 6630 Maloney Avenue, Stock Island
Parcel Identification Number: 00127510-000000 (File # 2024-120)**

Dear Applicant:

This letter is in response to your request for a determination as to the number of permanent residential dwelling units and the amount of nonresidential floor area that was lawfully established and thereby exempt from the Residential Rate of Growth Ordinance (ROGO) and Nonresidential Rate of Growth Ordinance (NROGO) permit allocation systems on the above-described premises.

Background Information:

The subject property is located at 6630 Maloney Avenue, Stock Island, approximate Mile Marker 5, ocean side, Stock Island (the "Property"). The Property is bordered to the northwest by mobile homes, to the northeast by Maloney Avenue, to the southeast by residences and mangroves, and to the southwest mangroves and water.

The Property is described as Lots 1 through 25, inclusive, Blue Waters Subdivision, according to the vacated and annulled map or plat thereof as recorded in Plat Book 4, Page 151, Public Records of Monroe County, Florida, and is currently assessed under Parcel ID # 00127510-000000.

The Property is located within the Urban Residential Mobile Home (URM) Land Use (Zoning) District and is designated Residential High (RH) on the Future Land Use Map (FLUM) of the Comprehensive Plan. The aerial photograph on the next page shows the boundaries of the Property and the land use districts of the immediate area.



The Property (outlined in blue) with Land Use (Zoning) Districts (Aerial Dated 2025)

Permanent Residential Dwelling Units:

The applicant is requesting recognition of eighteen (18) permanent residential dwelling units as being in existence and lawfully established on the Property and thereby exempt from the Rate of Growth Ordinance (ROGO) permit allocation system.

Pursuant to Section 138-22(a) of the Monroe County Land Development Code (LDC), the residential ROGO shall not apply to the redevelopment, rehabilitation or replacement of any lawfully-established residential dwelling unit or space that does not increase the number of residential dwelling units above that which existed on the site prior to the redevelopment, rehabilitation or replacement.

As defined in LDC Section 101-1:

Dwelling, attached, means a dwelling unit developed without open yards on all sides of the dwelling unit

Dwelling unit means one or more rooms physically arranged for occupancy by one residential household sharing common living, cooking, and toilet facilities.

Market rate housing means an attached or detached dwelling unit that is intended to serve as permanent housing for households not eligible for affordable or employee housing under this Land Development Code.

Multifamily residential development means a type of residential housing where multiple separate dwelling units for residential inhabitants are contained within one building or several buildings within one complex.

Permanent residential unit means a dwelling unit that is designed for, and capable of, serving as a residence for a household for non-transient occupancy, excluding hotel, motel, and recreational vehicle.

Residence or residential use, as applied to any lot, plat, parcel, tract, area or building, means used or intended for dwelling purposes, but not including transient units.

Exhibit 1

In accordance with the 2030 Comprehensive Plan, Policy 101.5.29 states notwithstanding the density limitations set forth in Policy 101.5.25, land upon which a lawfully established residential dwelling unit exists shall be entitled to a density of one dwelling unit per each recognized lawfully established unit. Such lawfully-established dwelling unit(s) shall not be considered as nonconforming as to the density provisions of Policy 101.5.25 and the Monroe County Code.

Pursuant to LDC Section 138-19(a), *lawfully established ROGO/NROGO exemption* means a dwelling unit or nonresidential floor area that has received a permit or other official approval from the division of growth management for the units and/or nonresidential floor area.

Pursuant to LDC Section 138-22, the Planning Director shall review available documents to determine if a body of evidence exists to support the lawful existence of units on or about July 13, 1992, the effective date of the original ROGO. Such evidence shall be documented and submitted to the Planning Director on a form provided by the Planning and Environmental Resources Department. Any issued Monroe County building permit(s) for the original construction of the structure confirming the existence of the dwelling unit and its use(s) on or about July 13, 1992 can stand as the only piece of evidence for a ROGO exemption.

Monroe County Building Permit A11872 was issued for the construction of four (4) single-family residences on the Property. The Certificate of Occupancy was signed and dated August 23, 1989.

Monroe County Building Permit A15950 was issued for the construction of four (4) single-family residences on the Property. The Certificate of Occupancy was signed and dated August 30, 1990.

Monroe County Building Permit 91103012 was issued for the construction of a single-family residence on the Property. The Certificate of Occupancy was signed and dated June 9, 1994.

If there are no building permit(s) for the original construction of the structure which confirm the lawful existence of the dwelling units and its use(s) on or about July 13, 1992 the application shall include, at a minimum, at least two of the following documents:

- (1) *Any other issued Monroe County building permit(s) supporting the existence of the structure(s) and its use(s) on or about July 13, 1992;*

The following building permits supporting the existence of the structure(s) and uses are on file in the Building Department's records.

<i>Date Issued</i>	<i>Permit Number</i>	<i>Description of Work</i>
5-27-1975	C536	Service change from 60 amps to 100 amps. <i>Lots 24 and 25 of the Property.</i>
5-29-1984	A11872	4 units – single family residences – 1,200 sq. ft. each unit.
8-27-1986	A15950	Four (4) units – single family residences – 1,200 SF each with open deck 612 SF, 600 SF slab and stairs.
2-10-1989	89100344	Sewer connection K.W. Resort Utilities Corp. letter on file sewer connection for 4 units HRS approval 12-29-88. <i>Sewer plan depicts 8 units.</i>
6-20-1989	89100866	1,200 SF concrete slab under existing SFR not to exceed footprints – existing sewer.
6-20-1989	89100867	Land Clear – Exotic vegetation approved for removal OLS 4-25-89 (I) remove all Brazilian pepper and Australian pines.
5-15-1990	90100654	Lower enclosure under existing house 522 SF for storage and parking only.
11-08-1991	91103012	Single family residence – 2,624 SF w/ covered decks and stairs 600 SF enclosure A/C. <i>Approved plot plan depicts a total of nine (9) units the Property.</i>

Exhibit 1

5-11-1998	98100492	120 LF wood fence – 4’ high.
5-17-2001	01101826	Install new meter for existing meter center. Currently (1) meter is pig-tailed to #4 and #2 100 amp service. <i>Plot plan in file depicts nine (9) units.</i>
5-9-2007	07102116	Hook up sewer line from unit to clean out box at front of units 1 thru 4.
6-20-2008	08102302	Permit approval to repair existing 100 amp electrical service.
7-3-2008	08102406	Permit approval to replace existing 100 amp service meter center per approved riser diagram in file.
11-28-2011	11105292	Permit approval to pave 5520 sq. ft. of existing lime rock base with hot asphalt as per approved plans.
7-25-2019	19101728	Permit approval to remove and replace 3,390 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101729	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101730	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101731	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101732	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101733	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101734	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101735	Permit approval to remove and replace 2,400 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
7-25-2019	19101736	Permit approval to remove and replace 2,190 sq. ft. of existing roof material and 4 attic windows, as per approved plans.
1-31-2022	22100207	Emergency permit approval to repair lose meter hub as per approved plans.
3-28-2022	22100849	Permit approval to reconnect units 2-A, 3-A, 6-B, and 8-B as per approved plans. <i>Note: Planning Department did not review this application.</i>

It should be noted that a checklist included in file of Monroe County Building Permit #A15950 includes a note that appears to have been written by County Staff which reads “4 more SFH’s, *might become duplexes under future proposed LUP*”, see below:

CHECKLIST FOR REVIEW OF BUILDING PERMITS			
Owner's Name	<u>Fred Losley</u>		
Date Received	<u>7-9-86</u>	Date Reviewed	<u>7-9-86</u> Reviewer <u>je</u>
Description	<u>Blue Waters Subdivision, Stock Island</u>		
	Lot	Section	Township
	<u>35</u>	<u>67</u>	<u>25</u>
Unity of Title	_____		
Zoning Classification	<u>RU-3 *</u>	Page	<u>5</u>
Lot Size	<u>150 x 400</u>	Substandard Lot	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
Principal and/or accessory use	<u>4 more SFH's, might become duplexes under future proposed LUP</u>		
(A) LOT AND BUILDING REQUIREMENTS			
(1) Minimum living area	<u>Duplex 20x30 = 600 sq. ft. eff. living</u> <u>SFH 40x50 = 1200 sq. ft.</u>		OK

Exhibit 1

County permits support the lawful establishment of nine (9) dwelling units on the property on or about July 13, 1992 through Building Permit #s A11872, A15950, and 91103012.

(2) Documentation from the Monroe County Property Appraiser's Office indicating residential use on or about July 13, 1992;

The Monroe County Property Appraiser (MCPA) currently assesses the Property under Parcel ID # 00127510-000000. The current Property Class (PC) is "Multi Family 10 Or More Units" (0300). MCPA records indicate nine (9) structures are currently located on the Property. All nine (9) structures have a Building Type of "Apartments/03C" according to the Property Appraiser.

Additionally, the applicant submitted a series of historic property record cards for the Property for the following years: 1992, 1996, 2007, and 2008.

A property record card dated 10-22-92 assessed the Property a PC code of 08 (Multi family less than 10 units) and indicated that there were eight (8) buildings on the Property. All eight buildings are Type "R2 M.F." with year built dates ranging between 1986 and 1990.

A property record card dated 7-20-96 assessed the Property as PC code of 08 (Multi family less than 10 units) and indicated that there were nine (9) buildings on the Property, eight (8) of which were previously recognized in the 1992 record card described above. The ninth building had a Type "R1 S.F.R." and a year built date of 1994.

County Property Appraiser's documentation supports the existence of 16 dwelling units on the Property on or about July 13, 1992 with an additional lawfully established unit after this date for a total of 17 dwelling units.

(3) Aerial photographs (to confirm the number of structures, not the number or type of dwelling units) and original dated photographs showing the structure(s) existed on or about July 13, 1992;

Based on a review of available aerial imagery, prior to 1985, several structures that appear to be trailers and/or mobile homes are present on the Property. One (1) structure first appeared on the Property in 1985. Based on the location and shape of this structure, it appears to be one of the residences approved via Building Permit # A11872. Various other structures, which appear to be trailers and/or mobile homes are also present in 1985. In 1991 aerials, eight (8) structures, which appear to be the eight residences permitted via Building Permit #s A11872 and A15950, were present on the Property. In 1994, nine (9) structures were present on the Property. The newest of the nine (9) structures appears to be the residence approved via building permit 91103012 based on location and shape. In all available aerial photos between 1994 and 2023, the same nine (9) structures appear on the Property.

Additionally, starting with the 1991 aerials, one additional structure was observed at the southeast corner of the Property. The structure can be seen in aerials between 1991 and 2023. The use of the structure is unclear. No building permit was found for any structure at this location.

As a note, aerial photography can only confirm the number of structures, not the use or the number of dwelling units, in existence at any given time.

(4) Residential county directory entries on or about July 13, 1992;

The 1991 and 1992 directories were reviewed. In the 1991 directory, there were six (6) entries for 6630 Maloney Avenue. One of the entries from 1991 is Summerland Electric and is a nonresidential listing.

In the 1992 directory, there were five (5) entries for 6630 Maloney Avenue including an entry for Summerland Electric as described in the prior paragraph.

Exhibit 1

Additionally, the applicant submitted a photo of a 1995 phone directory, which included an entry for 6630 Maloney Avenue. The Property was referred to as "Pine and Palm Condominiums" and listed 16 dwelling units described as "seasonal rental".

County directory entries support the existence of five (5) residential units of the Property on or about July 13, 1992.

(5) Rental, occupancy or lease records, on or about July 13, 1992, indicating the number, type and term of the rental or occupancy;

Rental, occupancy, or lease records on or about July 13, 1992, were not provided by the applicant for review.

(6) State and/or County licenses, on or about July 13, 1992, indicating the number and types of rental units;

A document titled Business Tax Account 124232 was submitted by the applicant for the Property from 2019. The Property is described on the Business Tax Account as "Apartments, Condo Houses, & Commercial Units". The Business Tax Account indicates a total of 20 units on the Property with a business start date of 11-2-2018 and a business close date of 7-23-2019. The account status is "Closed".

State and/or County licenses do not support the residential use of the Property on or about July 13, 1992.

(7) Documentation from the utility providers indicating the type of service (commercial or residential) provided and the number of meters in existence on or about July 13, 1992; and

A letter from KW Resort Utilities dated June 4, 1991, located in the file of Monroe County Building Permit #91103012 noted that only single family residences were located on the Property at that time. See image of letter below:



The applicant submitted 17 letters from Keys Energy Services, each indicating residential electrical service with one (1) meter attributed to various units at 6630 Maloney Avenue. The following table lists unit numbers associated with electric service and the date service was first provided:

<i>Unit Number</i>	<i>Start Date</i>
8	4-22-1980
4B	2-15-1989
7B	10-1-1990
1B	7-30-1992
2B	7-13-1993
10A	10-7-1994
5A	11-28-1995

Exhibit 1

3B	4-10-1996
6	5-30-1996
11A	6-22-1996
9B	7-15-1996
5B	5-22-1997
7A	1-8-1998
1A	5-4-1998
4A	5-18-2001
10C	6-24-2008
7D	7-8-2008

An email provided from FKAA dated August 1, 2019 states that “the Florida Keys Aqueduct Authority has provided service to the above referenced property [6630 Maloney Avenue] and customer since prior to December, 1982. This is a master meter, which means all individual units are metered past the master meter”. Further written clarification from FKAA on August 1, 2019 confirmed that there were 14 units attached to the master meter.

On March 14, 2024, FKAA provided a list of 14 units with service start dates. By utilizing the Location IDs provided, the following table links the unit numbers with the service start dates.

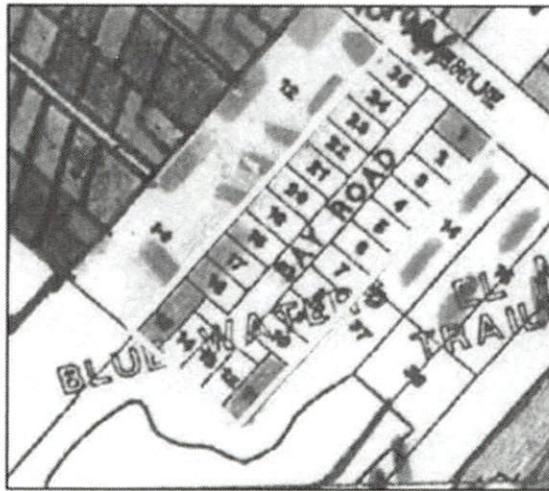
<i>Location ID</i>	<i>Unit Number</i>	<i>Start Date</i>
041789	1A	2-21-1991
041790	1B	2-21-1991
041791	2	2-22-1991
041792	3	2-21-1991
041793	4B	2-21-1991
041794	5	2-21-1991
041795	6	2-21-1991
041796	7C	2-21-1991
041797	7B	2-21-1991
041798	8	2-21-1991
041799	9A	2-26-1991
049033	4A	7-9-2001
049329	7A	4-24-2002
049330	9B	4-24-2002

Documentation from the utility providers indicating the type of service provided and the number of meters in existence supports the existence of 11 residential units on the Property on or about July 13, 1992.

(8) Similar supporting documentation not listed above as determined suitable by the Planning Director.

Land Use District: Since 1986, the property has been located within the Urban Residential Mobile Home (URM) Land Use (Zoning) District, in which detached dwellings are permitted as of right. **Attached dwelling units, or duplexes, are not permitted within the URM Land Use District.** Between 1973 and 1986, the Property was located in the multiple-family residential district (RU-3), in which multiple-family dwelling apartments were permitted.

1988 Monroe County Mobile Home Study: The 1988 Monroe County Mobile Home Study does record the existence of five (5) mobile homes on the Property at that time although these structures appear to be unrelated to the current residential structures on the Property. See image of study below, with the Property highlighted in yellow. Mobile homes are depicted with blue shading:



Supplemental Information: The applicant submitted additional information on July 7, 2025. The additional information included two affidavits as described below:

The first affidavit is from James Tompkins, licensed electrician (license number 13008716) and states “6630 Maloney Avenue has 19 electrical panels (one for each of the 19 units). It is my professional opinion that 16 of those electrical panels predate July 13, 1992.”

The second affidavit is from Serge Mashtakov, PE (license number PE71480), and states “6630 Maloney Avenue has 19 residential dwellings. It is my professional opinion, based on site inspections of existing electrical services, power metering, and indoor panels, that 16 of those residential dwellings predate July 13, 1992.”

Nonresidential Floor Area:

The applicant is requesting recognition of 1,500 square feet of nonresidential floor area as being lawfully established and thereby exempt from the NROGO permit allocation system on the Property.

As defined in LDC Section 101-1:

Floor area means the sum of the gross covered and enclosed habitable areas of a building or any other covered and enclosed structure, measured from the exterior walls or from the centerline of party walls.

Habitable floor area means any floor area for occupancy and equipped for uses including, but not limited to, kitchen, dining, living, family or recreation room, laundry, bedroom, bathroom, office, workshop, professional studio or commercial occupancy.

Habitable space means any structure equipped for human habitation such as, but not limited to, office, workshop, kitchen, dining, living, laundry, bathroom, bedroom, den, family or recreational room; professional studio or commercial occupancy including all interior hallways, corridors, stairways and foyers connecting these areas. Garages, exterior stairs and open decks and patios are not considered habitable structures.

As defined in LDC Section 138-47(a), *nonresidential floor area* means the sum of the total floor area for a nonresidential building or structure, as defined in Section 101-1. Additionally, covered and unenclosed boat racks with three or fewer sides not associated with retail sales of boats are not considered nonresidential floor area. Further, the term "nonresidential floor area" does not include space occupied by residential uses, including spaces occupied by a transient residential unit and an institutional-residential use as defined in Section 101-1.

Pursuant to LDC Section 138-48(a), no building permit shall be issued after September 19, 2001 that results in additional nonresidential floor area on a site unless that nonresidential development has received a NROGO allocation award or is determined to be exempt as provided in LDC Section 138-50. Pursuant to LDC Section 138-49(a), the NROGO shall apply to the development of all new and expanded nonresidential floor area, except as exempted by LDC Section 138-50, for Letter of Development Rights Determination (File # 2024-120)
6630 Maloney Avenue, Stock Island

Exhibit 1

which a building permit or other final development approval is required. Pursuant to LDC Section 138-47(a) *Lawfully established ROGO/NROGO exemption* means a dwelling unit or nonresidential floor area that has received a permit or other official approval from the division of growth management for the units unit and/or nonresidential floor area.

Pursuant to LDC Section 138-50(a), the Planning Director shall review available documents to determine if a body of evidence exists to support the lawful existence of nonresidential floor area on or about September 19, 2001, the effective date of the original NROGO. Such evidence shall be documented and submitted to the Planning Director on a form provided by the Planning and Environmental Resources Department. Any issued Monroe County building permit(s) confirming the existence of the structure(s) and its use(s) on or about September 19, 2001 can stand as the only piece of evidence for an NROGO exemption.

If there are no building permit(s) which confirm the lawful existence of the structure(s) and its use(s) on or about September 19, 2001, the application shall include, at a minimum, at least two of the following documents:

(1) *Any issued Monroe County building permit(s) supporting the existence of the structure(s) and its use(s) on or about September 19, 2001;*

Please refer to the table included on Pages 3 and 4 of this LDRD for a list of all relevant build permits issued on the Property.

County permit records do not support the existence of a nonresidential structure or use on the Property on or about September 19, 2001.

(2) *Documentation from the Monroe County Property Appraiser's Office indicating nonresidential use on or about September 19, 2001;*

The Monroe County Property Appraiser (MCPA) currently assesses the Property under Parcel ID # 00127510-000000. The current Property Class (PC) is "Multi Family 10 Or More Units" (0300). MCPA records indicate nine (9) structures are currently located on the Property. All nine (9) structures have a Building Type of "Apartments/03C" according to the Property Appraiser.

A property record card dated May 15, 2001 was located in Monroe County Building Permit File # 01101826. The 2001 property record card assessed the Property with a PC code of 08 (Multi family less than 10 units) and indicated that there were nine (9) residential structures on the Property.

The property record card from 2007 indicated nine (9) buildings on the Property. The use of the property was listed as "0300 - Multi Family (10 Units Or More)". Buildings 1 through 8 are listed as Building Type R2. Building 9 is listed as Building Type R1.

Documentation from the Monroe County Property Appraiser does not support the nonresidential use of the Property on or about September 19, 2001.

(3) *Aerial photographs (to confirm the number of structures, not the type of structure) and original dated photographs showing the structure(s) existed on or about September 19, 2001;*

Based on a review of available aerial imagery, prior to 1985, several structures that appear to be trailers and/or mobile homes are present on the Property. One (1) structure first appeared on the Property in 1985. Based on the location and shape of this structure, it appears to be one of the residences approved via Building Permit # A11872. Various other structures, which appear to be trailers and/or mobile homes are also present in 1985. In 1991 aeriels, eight (8) structures, which appear to be the eight residences permitted via Building Permit #s A11872 and A15950, were present on the Property. In 1994, nine (9) structures were present on the Property. The newest of the nine (9) structures appears to be the residence approved via Building Permit # 91103012 based on location and shape. In all available aeriels photos between 1994 and 2023, the same nine (9) structures appear on the Property.

Exhibit 1

Additionally, starting with the 1991 aerials, one additional structure was observed at the southeast corner of the Property. The structure can be seen in aerials between 1991 and 2023. No building permit was found for any structure at this location.

As a note, aerial photography can only confirm the number of structures, not the use or the number of dwelling units, in existence at any given time.

(4) Nonresidential County Directory entries on or about September 19, 2001;

County directory entries on or about September 19, 2001 were not provided by the applicant and were not available for review.

(5) Rental, occupancy or lease records, on or about September 19, 2001, indicating the number, type and term of the rental or occupancy;

Rental, occupancy, or lease records on or about September 19, 2001, were not provided by the applicant for review.

(6) State and/or county licenses, on or about September 19, 2001, indicating the nonresidential use;

The applicant submitted a document titled Business Tax Account 301, which indicates a business at the Property named Summerland Electric. The status of the business is "Closed". The document notes a business start date of 10-9-1073 and a business close date of 11-1-2018.

The applicant submitted a document titled Business Tax Account 29666, which indicates a business at the Property named Blake's Quality Painting. The status of the business is "Closed". There is a business start date of 8-5-1993 and a business close date of 9-17-2007.

State and/or county licenses indicate two businesses indicated that the address was at the Property on or about September 19, 2001.

(7) Documentation from the utility providers indicating the type of service (commercial or residential) provided and the number of meters in existence on or about September 19, 2001; and

A Contract for Service from Keys Energy Services was submitted by the applicant. The contract for service is for a business located at 6630 Maloney Avenue 10C. The date of the contract for service is 4-29-2019. Additionally, as detailed in item 7 of the residential portion of this letter, unit 10C was recognized by Keys Energy as a residential unit with service starting on 6-24-2008.

Documentation from the utility providers that was submitted for review does not indicate that nonresidential service was provided to the Property on or about September 19, 2001.

(8) Similar supporting documentation not listed above as determined suitable by the planning director.

Land Use District: The property is located within the Urban Residential Mobile Home (URM) Land Use (Zoning) District, in which detached dwellings are permitted as of right. New nonresidential uses are not permitted within the URM Land Use District. Between 1973 and 1986, the Property was located in the multiple-family residential district (RU-3), in which nonresidential uses were not permitted.

Lawfulness Determination:

Based on a review of the above documents associated with the Property, the Planning and Environmental Resources Department has determined that **9 residential dwelling units** were lawfully established on the Property on or about July 13, 1992. Additionally, the Department has determined that a total of **zero (0) square feet of nonresidential floor area** was lawfully established on or about September 19, 2001.

* * * * *

Exhibit 1

This letter does not provide any vesting to existing regulations. The replacement structures and any new accessory structures must be built in compliance with all applicable regulations of the Monroe County Code and Comprehensive Plan at the time of development approval. Furthermore, if the NROGO-exempted development is not replaced, but substantially improved as defined in the Monroe County Code, such development must be brought into compliance with all applicable regulations.

You may appeal any decision, determination or interpretation set forth in this letter pursuant to Monroe County Code Section 102-185. A notice of appeal must be filed with the County Administrator, 1100 Simonton Street, Gato Building, Key West, Florida 33040, within 30 calendar days from the date of this letter. In addition, please submit a copy of your notice of appeal to the Planning Commission Coordinator, Monroe County Planning and Environmental Resources Department, 2798 Overseas Highway, Suite 400, Marathon, Florida 33050.

We trust that this information is of assistance. If you have any questions regarding the contents of this letter or if we may further assist you with your project, please feel free to contact our Marathon office at (305) 289-2500.

Sincerely,



Devin Tolpin, AICP, CFM
Senior Director of Planning and Environmental Resources

cc: Matthew Restaino, Senior Planner

County of Monroe

Planning & Environmental Resources Department
Marathon Government Center
2798 Overseas Highway, Suite 400
Marathon, FL 33050
Voice: (305) 289-2500
FAX: (305) 289-2536



Board of County Commissioners:
Mayor James K Scholl, District 3
Mayor Pro Tem Michelle Lincoln, District 2
Craig Cates, District 1
David Rice, District 4
Holly Merrill Raschein, District 5

We strive to be caring, professional, and fair

September 22, 2025

Sent via email: garythecarpenter@hotmail.com

Mr. Gary Burchfield
Gary The Carpenter Construction
800 Simonton Street
Key West, FL 33040

**Subject: Letter of Understanding (LOU), 6630 Maloney Avenue, Stock Island
Parcel Identification Number: 00127510-000000 (File# 2023-252)**

Dear Mr. Burchfield:

Pursuant to Section 110-3 of the Monroe County Land Development Code (LDC), also referred to as "The Code", this document shall constitute a Letter of Understanding (LOU) following your request for a Pre-Application Conference with Planning and Environmental Resources staff. The purpose of the Pre-Application Conference is to acquaint the participants with the requirements of the Land Development Code, applicable Comprehensive Plan policies and the views and concerns of the County. The substance of the Pre-Application Conference held on December 20, 2023, is recorded in this LOU, which sets forth the subjects discussed at the conference and the County's position in regard to the subject matters discussed.

In attendance at the pre-application conference were:

- Matthew Restaino, Senior Planner, Monroe County
- Jean Pessolano, Senior Environmental Planner, Monroe County
- Gary Burchfield (agent) – Gary the Carpenter

Materials presented for review included:

- Pre-application conference request form
- Boundary Survey
- Photos of the property

I. APPLICANT PROPOSAL

The applicant would like to add four (4) additional dwelling units to a developed parcel. The four (4) dwelling units would be used for Employee Housing.

II. SUBJECT PROPERTY DESCRIPTION

1. The subject property is located at 6630 Maloney Avenue, approximate Mile Marker 5, ocean side, Stock Island (the "Property"). The Property is bordered to the northwest by mobile homes, to the southwest by mangroves and water, to the southeast by residences and mangroves, to the northeast by Maloney Avenue. There are a total of nine (9) residential structures on the Property.

The Property is described as Lots 1 through 25, inclusive, Blue Waters Subdivision, according to the vacated and annulled map or plat thereof as recorded in Plat Book 4, Page 151, Public Records of Monroe County, Florida, and is currently assessed under Parcel ID # 00127510-000000.

2. The Property is located within the Urban Residential Mobile Home (URM) Land Use (Zoning) District and is designated Residential High (RH) on the Future Land Use Map (FLUM) of the Comprehensive Plan. The Property is primarily designated as Developed Land on the 2009 Habitat Map. The aerial photograph below (dated 2025) shows the boundaries of the Property and land use districts of the immediate area.



The Property (outlined in blue) with Land Use (Zoning) Districts (Aerial Dated 2025)

3. A boundary survey was submitted with this application but does not specify the total area of the Property. According to the Monroe County Property Appraiser, the Property has a total area of 38,400 square feet of upland. In order to provide calculations throughout this LOU, a total upland square footage of 38,400 square feet will be used.

A current signed and sealed boundary survey of the Property, which includes parcel boundaries, upland square footage, utility locations, etc., will be required to be submitted with any future development application. Calculations are subject to change dependent on the total areas indicated on the submitted boundary survey.

III. RELEVANT PRIOR COUNTY ACTIONS

On January 27, 1984, the Board of County Commissioners adopted Resolution No. 036-1984, as duly recorded in Book 904, Page 1065, of the Public Records of Monroe County, for the vacation and annulment of that plat described as Lots 1-25 inclusive of Blue Waters Subdivision according to the plat thereof as recorded in Plat Book 4, Page 151, of the Public Records of Monroe County, Florida. County records associated with the resolution include a staff memorandum, dated December 20, 1983, from Mr. John Lobato, County Planner/Draftsman, to Mr. Ron Saunders, Asst. County Attorney, which includes the following:

As per a discussion with Judy O'Dell, Zoning Coordinator, I find no objections with the deletion of the previous platted 25 lot parcel to open land use, under the existing zoned use. I would further recommend the change on the basis of the lower density proposed, four residential rental units, as apposed to 25 single family dwellings as per the original approved plat.

Mr. Losley has also expressed the desire to extend the improvement to a total of eight (8) rental units at some future date when a sewage treatment plant connection will be available to him. His density factor would still remain at 1/3 of the original approved plat.

On August 23, 1989, a Certificate of Occupancy was issued for building permit A11872 for the construction of four (4) single-family residences on the Property.

On August 30, 1990, a Certificate of Occupancy was issued for building permit A15950 for the construction of four (4) single-family residences on the Property.

On June 9, 1994, a Certificate of Occupancy was issued for building permit 91103012 for the construction of a single-family residence on the Property.

On June 12, 2024, a Letter of Development Rights Determination (LDRD) has been requested by an agent acting on behalf of the owner of the Property, requesting recognition of the lawful establishment of 18 permanent dwelling units and 1,500 square feet of nonresidential floor area as being lawfully established and exempt from the ROGO/NROGO allocation systems. The submitted application was assigned Planning and Environmental Resources Department File No. 2024-120. The LDRD is being issued concurrently with this LOU and has determined that **9 residential dwelling units** were lawfully established on the Property on or about July 13, 1992. Additionally, the Department has determined that a total of **zero (0) square feet of nonresidential floor area** was lawfully established on or about September 19, 2001.

IV. REVIEW

The following regulations directly affect the proposal; however, please note that there may be other regulations not referred to nor described in this LOU, which may govern the proposed development:

1. The Property is located within the Urban Residential Mobile Home (URM) Land Use (Zoning) District.
2. The Property is located within the Residential High (RH) Future Land Use Map (FLUM) Category.
3. The Property is located within an area designated Tier III (infill area) on the Tier Overlay District Map.
4. All new development must be consistent with the purpose of the RH FLUM Category, and all other applicable goals, objectives, and policies of the Monroe County Year 2030 Comprehensive Plan.

Exhibit 1

Comprehensive Plan Policy 101.5.4: *The principal purpose of the Residential High (RH) future land use category is to provide for high-density single-family, multi-family, and institutional residential development, including mobile homes and manufactured housing, located near employment centers.*

5. The proposed development shall be consistent with the purpose of the URM Land Use (Zoning) District.

LDC Section 130-52: *The purpose of the URM district is to recognize the existence of established mobile home parks and subdivisions, but not to create new such areas, and to provide for such areas to serve as a reservoir of affordable and moderate-cost housing in the county.*

6. The Property is subject to the Stock Island and Key Haven Livable CommuniKeys Plan (LCP) which is adopted as part of the Comprehensive Plan and implemented as objectives and policies of the Comprehensive Plan.

The following LCP Strategies and Action Items are applicable to the Property and the proposed development:

Action Item 2.3.1: *Continue to recognize land use districts and FLUM categories as the regulatory tool used for evaluating individual proposals for compliance with land development standards such as type of use and intensity of use.*

Action Item 9.4.1: *Require all new development and redevelopment along MacDonald, Maloney, Fourth and Fifth Avenues to provide public sidewalks.*

Action Item 9.4.3: *Require the provision of bicycle facilities and parking in all new development and redevelopment.*

7. The Property is located within the URM zoning district. The applicant is proposing the construction of four (4) Employee Housing units on the Property.

In accordance with LDC Section 130-99, detached dwellings are permitted as of right within the URM zoning district. Attached dwelling units are not permitted within the URM Land Use District.

LDC Section 101-1 defines the following relevant terms:

Dwelling, detached, means an individual dwelling unit that is developed with open yards on all sides of the dwelling unit. The term includes single family residences but does not include mobile homes or recreational vehicles.

Employee housing means an attached or detached dwelling unit that is intended to serve as affordable, permanent housing for working households, which derive at least 70 percent of their household income from gainful employment in the county and meet the requirements for affordable housing as defined in this section and as per section 139-1.

8. Pursuant to LDC Sections 118-4, 118-12, 130-157, 130-162, and 130-164, the minimum open space ratio within the URM Land Use District is 0.2 or 20%. To demonstrate compliance, a site plan must be submitted with an application for development approval and indicate the calculation of existing and proposed amounts of open space.

LDC Section 101-1 defines the following relevant terms:

Open Space means (in relation to open space ratio calculations) that portion of any parcel or area of land or water that is required to be maintained such that the area within its boundaries is open and unobstructed from the ground to the sky (This definition is not intended to exclude vegetation from required open space).

Open space ratio (OSR) means the percentage of the total gross area of a parcel that is open space.

Exhibit 1

9. Pursuant to LDC Section 130-157, the maximum permanent residential density for those uses permitted within the URM district is 1 dwelling unit per platted lot.

On January 27, 1984, the Board of County Commissioners vacated and annulled the plat known as the Blue Waters Subdivision. In so doing, the 25 parcels of land, as depicted as part of the vacated and annulled platted subdivision, are not platted lots within Monroe County. The parcels of land described as Lots 1-25 inclusive of Blue Waters Subdivision, are parts of lots 13, 14, 37, and 38, of block 46, of the Plat of Stock Island, as recorded on the plat thereof in Plat Book 1, Page 55, of the Public Records of Monroe County, Florida, and a parcel of land in Section 35 of Township 37, Range 25 in Monroe County, Florida. These parcels of land do not have allocated density per LDC Section 130-157.

Pursuant to LDC Section 130-163, the owners of land upon which a lawfully established dwelling unit exists shall be entitled to one dwelling unit for each type of dwelling unit in existence before January 4, 1996. Such lawfully-established dwelling unit shall not be considered nonconforming as to density, and existing lawfully established residential uses shall be entitled to repair and/or replace such dwelling units with the same type of dwelling unit and shall not be considered a nonconforming use(s). The Property received Certificate of Occupancies for nine (9) dwelling units prior to January 4, 1996, which may still exist and which may establish density for the Property in excess of what is allowed per LDC Section 130-157.

<i>Use within URM zoning district</i>	Maximum Density Standard	Total Area	Development Potential
Mobile Homes; Detached Dwellings	1 DU/Platted Lot; or Lawfully Established Dwelling Units In Existence Before January 4, 1996	0 Platted Lots	Replacement of Lawfully Established Dwelling Units In Existence Before January 4, 1996

LDC Section 101-1 provides the following relevant definitions:

Buildable acre means the upland portion of a parcel that is not required open space required by section 130-157. Also see "net buildable area."

Buildable lot means a duly recorded lot as shown on a plat approved by the county that complies with each and every requirement of the Land Development Code.

Density, allocated means the number of dwelling units or rooms/spaces which may be permitted to be developed per gross acre of upland without the use of Transferable Development Rights (TDRs).

Density, maximum net means the maximum number of dwelling units or rooms/spaces which may be permitted to be developed per buildable acre, with the use of Transferable Development Rights (TDRs) or for affordable housing.

Gross acre means the total area of a site excluding submerged lands, tidally inundated mangroves below the mean high water line, and any dedicated public rights-of-way.

Lot means a duly recorded lot as shown on a plat approved by the County. (Also described as platted lot.)

Plat means an official subdivision approved by the County and in compliance with Chapter 177, F.S.

Platted lot means a lot that is identified on a plat that was approved by the board of county commissioners and duly recorded.

10. Pursuant to LDC Section 138-21, the residential ROGO shall apply to all residential dwelling units, including institutional residential uses, such as nursing homes and rehabilitation centers, for which a building permit is required and for which building permits have not been issued prior to July 13, 1992, except as otherwise provided herein.

Exhibit 1

11. In accordance with LDC Section 131-1(a), unless otherwise noted in the LDC, no structure shall be developed, used or occupied except in accordance with the non-shoreline setbacks set out in the following table:

Land Use District	Primary Front Yard	Primary Side Yard	Secondary Side Yard	Rear Yard
Urban Residential Mobile Home (URM)	10 ft.	10 ft.	5 ft.	10 ft.

LDC Section 101-1 defines the following relevant terms:

Setback means the area between a building or structure and the property line of the parcel of land on which the building or structure is located, unoccupied and unobstructed from the ground upward, except for fences or other development permitted in the area as provided for in this Land Development Code. In measuring a setback, the horizontal distance between the property line and the furthestmost projection of the building or structure shall be used. Further, the setback shall be measured at a right angle (90 degrees) from the property line.

12. Pursuant to LDC Section 131-2, no structure or building shall be developed that exceeds a maximum height, of 35 feet. Exceptions will be allowed for chimneys; spires and/or steeples on structures used for institutional and/or public uses only. Exceptions will be allowed for flood protection as specifically permitted in Comprehensive Plan Policies 101.5.32 and 101.5.33. However, in no event shall any of the exclusions enumerated in LDC Section 131-2 be construed to permit any habitable or usable space to exceed the maximum height limitation, except as specifically permitted in Comprehensive Plan Policies 101.5.31 and 101.5.33.

A signed and sealed survey with elevations measured in NGVD would be required with submittal of a development application in order to verify the existing grade of the Property and the crown or curb of the nearest road, for the purpose of measuring building height of any new structures, additions, or substantial improvements.

LDC Section 101-1 defines the following relevant terms:

Grade means the highest natural elevation of the ground surface, prior to construction, next to the proposed walls of a structure, or the crown or curb of the nearest road directly adjacent to the structure, whichever is higher. To confirm the natural elevation of the ground surface, prior to construction, the county shall utilize the Light Detection and Ranging (LiDAR) dataset for Monroe County prepared in 2007 and other best available data, including, but not limited to, pre-construction boundary surveys with elevations, pre-construction topographic surveys, elevation certificates and/or other optical remote sensing data.

Height means "the vertical distance between grade and the highest part of any structure, including mechanical equipment, but excluding the following: chimneys; spires and/or steeples on structures used for institutional and/or public uses only; radio and/or television antenna, flagpoles; solar apparatus; utility poles and/or transmission towers; and certain antenna supporting structures with attached antenna and/or collocations as permitted in Chapter 146. However, in no event shall any of the exclusions enumerated in this definition be construed to permit any habitable or usable space to exceed the applicable height limitations. In the case of airport districts, the height limitations therein shall be absolute and the exclusions enumerated in this definition shall not apply.

13. Every use shall be provided with off-street parking in accordance with the standards contained in LDC Chapter 114, Article III. Every off-street parking space, both required and unrequired, shall meet the minimum standards.

Exhibit 1

The table below lists the number of parking spaces to be provided for the proposed use:

Specific Use Category	Minimum Required Number of Parking Spaces
Multifamily residential developments	2.0 spaces per each 1-bedroom dwelling unit; 2.0 spaces per each 2-bedroom dwelling unit; and 3.0 spaces per each 3 or more bedroom dwelling unit

LDC Section 101-1 defines the following relevant terms:

Multifamily residential development means a type of residential housing where multiple separate dwelling units for residential inhabitants are contained within one building or several buildings within one complex.

To demonstrate compliance, a site plan should be submitted with a development application that includes a calculation of the required and provided amounts of off-street parking spaces, in accordance with LDC Section 114-67. When two or more separate uses are on a site, the required parking for the site is the sum of the total required parking for each of the individual uses. The parking requirements may be reduced based on a parking demand study if approved by the Planning Director, pursuant to LDC Section 114-67(i)(4).

Standard parking spaces are 8.5 feet in width and 18 feet in length. Design and dimensional requirements of parking spaces and aisle widths are set forth in LDC Section 114-67(b).

ADA accessible parking spaces may be required. Pursuant to LDC Section 114-67(f)(1), the number and design of ADA parking spaces shall be in accordance with the provisions of County Code Chapter 6, which incorporates by reference the Florida Building Code.

- 14. Pursuant to LDC Section 114-71, bicycle parking racks must be designed to accommodate a minimum of four (4) bicycles, be separated from vehicular traffic by at least five (5) feet or a physical barrier and be located within 100 feet of the building entrance at a location that does not interfere with pedestrian traffic. The minimum dimensions for a bicycle parking rack shall be two-foot-wide by six-foot-long stalls with a minimum aisle width of five (5) feet.
- 15. Pursuant to LDC Section 114-14, any nonresidential, mixed use, or multi-family residential development shall make adequate provisions for a solid waste/ recycling collection area.

For multi-family residential developments, the following minimum collection areas are required:

Dwelling Units	Minimum Collection Area (square feet)
3 to 10	144
11 to 15	216

Combinations of collection areas that, in total, meet the standards are acceptable if approved by the Planning Director.

To demonstrate compliance, any development application must include a site plan that indicates a proposed solid waste collection area that meets the standards set forth in in LDC Section 114-14 with regards to minimum size, setback, screening, enclosure design, and location standards.

Exterior collection areas should be located in an area accessible and convenient to the intended users (typically no more than 200 feet from the farthest user). The location of the collection area should not interfere with the primary use of the site. It should be located in areas that can tolerate noise, odor and increased pedestrian and vehicle traffic. The collection area should be designed to be easily accessible by all collection vehicles.

Exhibit 1

16. In accordance with LDC Section 114-104, all street fronts shall plant native canopy street trees species as listed in Section 114-105 within the primary and secondary front yard setback area as established in Section 131-1, with the number of trees to be equal to at least one (1) canopy tree per one-hundred (100) feet of street length. .

Refer to LDC Section 114-102 for Landscape Installation and Maintenance Criteria

17. A stormwater management plan in accordance with LDC Section 114-3(d) shall be required as part of the building permit application. Specifically for single-family and duplex residences,

- (1) Criteria. All water quantity and water quality criteria as per subsections (f)(1) and (f)(2) of this section.
- (2) Administrative procedures. At building permit review, stormwater management criteria will be applied, generally to assess the applicant's compliance with these criteria through the implementation of best management practices. An applicant's stormwater management plan must comply with the criteria listed in subsection (f) of this section and follow the guidelines outlined in the document entitled Layman's Brochure distributed by the county.
- (3) Lot coverage expansion/retrofitting requirements. Those existing single-family and duplex lot owners wishing to expand impervious area shall bring the increase in impervious area into compliance with this section. Any substantial improvements shall be brought into compliance with the applicable provisions of the land development regulations in accordance with Section 114-3(f)(1) and 114-3(f)(2).

As no proposed site plan was provided, staff cannot determine the applicability of additional potential requirements as provided in LDC Section 114-3. *Surface Water Management Criteria* at this time.

18. Pursuant to LDC Section 114-2 (a)(1)a., U.S. 1 shall have sufficient available capacity to operate at LOS C for the overall arterial length and the 24 roadway segments of U.S. 1, as measured by the U.S. 1 Level of Service Task Force Methodology, at all intersections and roadway segments. In addition, all segments of U.S. 1, as identified in the U.S. 1 Level of Service Task Force Methodology, which would be impacted by a proposed development's access to U.S. 1, shall have sufficient available capacity to operate at LOS C.

Pursuant to LDC Section 114-200(a), in addition to all application requirements, traffic studies by a qualified traffic engineer, as determined by the Planning Director, who is a licensed engineer in the state, shall be required as follows, in accordance with the Monroe County Traffic Report Guidelines Manual:

(1) Traffic studies shall be required for proposed development as shown in the table below, based on the anticipated number of vehicle trips per day generated by the site:

Required Traffic Studies		
Gross Daily Trip Generation*	Project Location	Type of Report Required
11-249	Segments of U.S. 1 designated as Inadequate Capacity or Marginally Adequate Capacity according to the biennial assessment of public facilities capacity report (see Sec. 114-2).	Level 1
250-500	All Areas	Level 2
>500	All Areas	Level 3
*Gross Daily Trip Generation shall be calculated in accordance with the methods used in the Institute of Transportation Engineers, Trip Generation Manual, current edition.		

LDC Section 101-1 defines the following relevant terms:

Trip means a single or uni-directional movement with either the origin or destination existing or entering inside the study site.

Trip generation means the attraction or production of trips caused by a given type of land development.

- 19. All entrance drives and street intersections shall provide clear site triangles in both directions as set forth in LDC Section 114-201. Fences and landscaping within clear sight triangles must be located and designed to comply with LDC standards. Signs cannot be located within clear sight triangles. Any proposed site plan and landscape plan must indicate required clear sight triangles.
- 20. No building permit shall be issued by the County for impact-producing development unless the applicant has paid applicable impact fees in accordance with LDC Chapter 126.
- 21. In accordance with LDC Section 139-1(e)(2)(a), **residential developments, other than mobile home or mobile home spaces covered by subsection (e)(2)b. of this section, that result in the development or redevelopment of three (3) or more dwelling units on a parcel or contiguous parcels shall be required to develop or redevelop at least 30 percent of the residential units as affordable housing units.** Residential development or redevelopment of three (3) units on a parcel or contiguous parcels shall require that one (1) developed or redeveloped unit be an affordable housing unit. For the purpose of this section, and notwithstanding subsection (e)(2)b. of this section, any dwelling unit exceeding the number of lawfully established dwelling units on site, which are created by either a TRE or ROGO allocation award, shall be considered developed units.
- 22. For additional requirements related to affordable and employee housing please refer to LDC Section 139-1.

V. OTHER ISSUES CONCERNING THE PROPOSAL

- 1. All new structures and substantial improvements of existing structures must be designed to current floodplain management standards, pursuant to LDC Chapter 122. For further information about floodplain management standards, please contact one of the Monroe County Floodplain Coordinators for the Upper Keys.
- 2. Prior to the issuance of any building permit, if such review is required, all proposed development shall be found in compliance by the Monroe County Building Department and the Monroe County Office of the Fire Marshal. Staff recommends that the Applicant coordinate with these offices prior to application submittal. The Department does not review for compliance with the Florida Building Code.

* * * * *

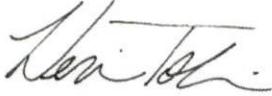
Pursuant to LDC Section 110-3(a)(3), you are entitled to rely upon representation made at the conference only to the extent such representations are set forth in the LOU. An LOU shall not provide any vesting to requirements, code and the comprehensive plan. The development shall be required to be consistent with all regulations and policies at the time of development approval. The Planning Director acknowledges that all items required as part of the application for development approval may not have been addressed at the conference, and consequently reserves the right for additional comment.

You may appeal any decision, determination or interpretation made in this letter pursuant to Monroe County LDC Section 102-185. A notice of appeal in the form prescribed by the Planning Director must be filed with the County Administrator, 1100 Simonton Street, Gato Building, Key West, Florida 33040, within 30 calendar days from the date of this letter. Additionally, a copy of the notice of appeal must be filed with the Planning Commission Coordinator, Monroe County Planning and Environmental Resources Department, 2798 Overseas Highway, Suite 400, Marathon, Florida 33050.

Exhibit 1

We trust that this information is of assistance. If you have any questions regarding the contents of this letter, or if we may further assist you with your project, please feel free to contact the Department's Marathon office at (305) 289-2500.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Devin Tolpin". The signature is fluid and cursive, with a horizontal line above the first few letters.

Devin Tolpin, AICP, CFM
Senior Director of Planning and Environmental Resources

cc: Matthew Restaino, Senior Planner



Re: 6630 Maloney Avenue LDRD Request File 2024-120

From Owen Trepanier <owen@owentrepanier.com>

Date Mon 7/7/2025 10:55 AM

To Tolpin-Devin <Tolpin-Devin@MonroeCounty-FL.Gov>

Cc Restaino-Matthew <Restaino-Matthew@MonroeCounty-FL.Gov>; Roberts-Debra <Roberts-Debra@MonroeCounty-FL.Gov>; McKinney-Jessica <McKinney-Jessica@MonroeCounty-FL.Gov>

 4 attachments (2 MB)

Electrician Affidavit.pdf; Engineer Affidavit.pdf; 004 - PRC 1992 - 1161691.pdf; 1 unit CO, Sketch & Plans.pdf;

Dear Devin,

Thank you for the opportunity to provide supplemental material for the pending LDRD application. Since submission, we were able to locate/obtain the following additional material:

- Affidavit from James Tomkins, Florida licensed electrician, stating "6630 Maloney Avenue has 19 electrical panels (one for each of the 19 units). It is my professional opinion that 16 of those electrical panels predate July 13, 1992."
- Affidavit from Serge Mashtakov, Florida licensed professional engineer, stating "6630 Maloney Avenue has 19 residential dwellings. It is my professional opinion, based on site inspections of existing electrical services, power metering and indoor panels, that 16 of those residential dwellings predate July 13, 1992."

I believe it is instructive to consider some evidence previously submitted as well:

- 1992 Monroe County Property Record Card. This is a critical document since the Property Appraiser records in 1992 reflect the "on the ground situation" from the data collection which occurred in 1991. Therefore, the eight duplex structures identified by the County for taxing purposes existed prior to 1992.
- 1994 CO for the rear single family home.

Upon reviewing the body of evidence, it is clear to me that while the permit history may appear contradictory, the evidence that documents what existed on site (vs. what was permitted), clearly demonstrates 8 duplexes existed on site prior to July 13, 1992, and one SFR was CO's in 1994, for a total of 17 residential dwelling units.

Thank you very much.

Owen Trepanier

Trepanier & Associates, Inc.

305-293-8983

From: Tolpin-Devin <Tolpin-Devin@MonroeCounty-FL.Gov>

Sent: Thursday, February 27, 2025 11:25 AM

To: Owen Trepanier <owen@owentrepanier.com>

Cc: Restaino-Matthew <Restaino-Matthew@MonroeCounty-FL.Gov>; Roberts-Debra <Roberts-Debra@MonroeCounty-FL.Gov>; McKinney-Jessica <McKinney-Jessica@MonroeCounty-FL.Gov>

Subject: 6630 Maloney Avenue LDRD Request File 2024-120

Exhibit 2

Good Morning Owen,

We have had an opportunity to review the above referenced LDRD request with the Planning director. In the request, you are requesting recognition of 17 or 18 dwelling units as being exempt from ROGO and 1,500 square feet of nonresidential floor area as being exempt from NROGO.

Pursuant to LDC Section 138-22, the Planning Director shall review available documents to determine if a body of evidence exists to support the lawful existence of [*dwelling*] units on or about July 13, 1992, the effective date of the original ROGO.

Pursuant to LDC Section 138-50(a), the Planning Director shall review available documents to determine if a body of evidence exists to support the lawful existence of nonresidential floor area on or about September 19, 2001, the effective date of the original NROGO.

Based on our review of available documentation, we have not found sufficient evidence to support that the nine residential structures were duplexes in 1992. Additionally, Staff has not found sufficient documentation of a lawful nonresidential use on the property.

Prior to issuing the letter, we wanted to reach out to see if you have any other documentation that could be provided that would support the existence of 17 or 18 dwelling units on the property **on or about July 13, 1992**. If you do, please provide it to the Planning Department.

Thank you,

Devin Tolpin, AICP, CFM

Planning & Development Review Manager
Monroe County | Planning and Environmental Resources
102050 Overseas Highway, Key Largo, FL 33037
305.453.8755

AFFIDAVIT

I, James Tomkins swear/affirm the following to be true and correct to the best of my knowledge:

I am a licensed electrician, (license no. 13008716). 6630 Maloney Avenue has 19 electrical panels (one for each of the 19 units). It is my professional opinion that 16 of those electrical panels predate July 13, 1992. I have no financial relationship with the property and do not stand to gain because of this affidavit.

James Tomkins 3/21/25
Signature Date

Subscribed and sworn to (or affirmed) before me on 3/21/25 (date) by James Tomkins (name of affiant), he/she is personally known to me or has presented FLORIDA DL as identification.

Lison M Cole
Notary's Signature and Seal Name of Acknowledger printed or stamped
Lison M Cole Title or Rank
Notary
HH 349589 Commission Number, if any



AFFIDAVIT

I, Serge Mashtakov PE, swear/affirm the following to be true and correct to the best of my professional knowledge:

I am a licensed professional engineer, (license no. PE 71480). 6630 Maloney Avenue has 19 residential dwellings. It is my professional opinion, based on site inspections of existing electrical services, power metering and indoor panels, that 16 of those residential dwellings predate July 13, 1992. I have no financial relationship with the property and do not stand to gain because of this affidavit.


Signature

4/24/2025
Date

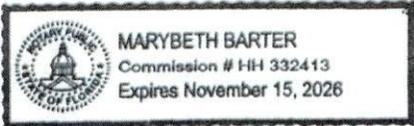
Subscribed and sworn to (or affirmed) before me on 3-24-2025 (date) by Serge Mashtakov (name of affiant), he/she is personally known to me or has presented FLDL M232-780-80-228-0 as identification.

Marybeth Barter
Notary's Signature and Seal

Name of Acknowledger printed or stamped

Title or Rank

Commission Number, if any



PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

0 15

O A S I S - MONROE COUNTY

PROPERTY RECORD CARD 10/22/92

LOSLEY FREDERICK A
AKA FRED A LOSLEY
PO BOX 2755
KEY WEST FL

33040

PARCEL 00127510-000000 35 67 25
ALTERNATE KEY 1161691 MILL GROUP 100A
1490 1 THRU 25

LAND DATA 08*****
LINE USE FRONT DEPTH ZONE NOTES NBR.UNITS TYP RATE DEPTH% LOC% SHP% PHY% JUS VAL
01 010D 0 0 LOTS 1 38400.00 SF 4.75 100 100 100 182400
02 010W 0 0 THRU 25 10200.00 SF 4.75 100 100 100 48450

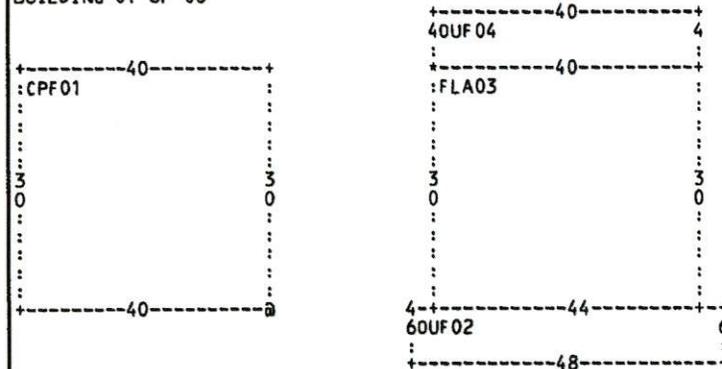
NEIGHBORHOOD 0133 BLUE WATERS SUB PB4-151 TOTAL LAND CLASSIFIED 0
1.000 TOTAL LAND JUST VALUE 230,850

LEGAL DESCRIPTION *****

BLUE WATERS SUB PB4-151 STOCK ISLAND
LOTS 1 THRU 25 OR580-508 OR782-1936 RE: 12752 THRU 12775
COMBINED FOR ASSESSING PURPOSES 4-26-88JMH

BUILDING SKETCH *****

BUILDING 01 OF 08



BUILDING 01 OF 08

CPF01=L40U30R40D30.R250UF02=R44D6L48U6R4
FLA03=U30R40D30L40.U300UF04=R40U4L40D4.

BUILDING CHARACTERISTICS

BUILDING 01 OF 08 APPRAISED BY 016 EAH ON
EFF. AGE GROUP 1 ONE NEXT REVIEW 00/00
CONDITION 6 GAP YEAR BUILT 1986 FUNCTIONAL OBSOLESCENCE 0
QUALITY GRADE 400 GRADE 8 SPEC.ARC.CODE 1 LOCATIONAL OBSOLESCENCE 0
IMPROVE. TYPE R2 M.F. PERIMETER 140.0

SECTION TYPE ID	EXTERIOR WALL	TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
CPF 01	10	CUSTOM	1.0	87	N	0	0	1,200.0 SF
OUF 02	10	CUSTOM	1.0	87	N	0	0	288.0 SF
FLA 03	10	CUSTOM	1.0	87	N	0	0	1,200.0 SF
OUF 04	10	CUSTOM	1.0	87	N	0	0	160.0 SF

B-132 X 64 10-6

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

P 15

BUILDING REFINEMENTS

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

D 16

BUILDING 05 OF 08

EUF01=L40D36R40U36.R200UU02=U5R40D5L40.F
LA03=R40D29L40U29.D29OUF04=R40D7L40U7.

BUILDING CHARACTERISTICS

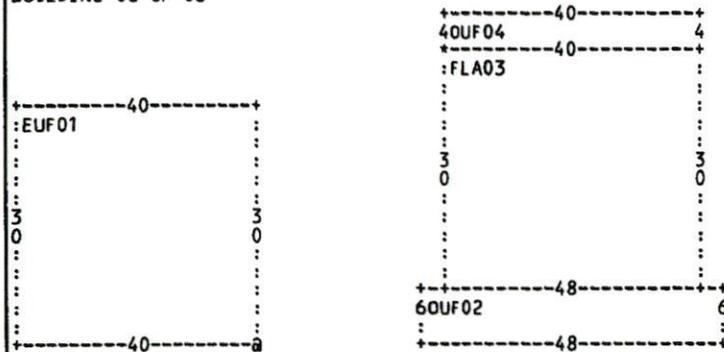
BUILDING 05 OF 08 APPRAISED BY 016 EAH ON
EFF. AGE GROUP 1 ONE NEXT REVIEW 00/00
CONDITION G GAP YEAR BUILT 1989 FUNCTIONAL OBSOLESCENCE 0
QUALITY GRADE 400 GRADE 8 SPEC.ARC.CODE I LOCATIONAL OBSOLESCENCE 0
IMPROVE. TYPE R2 M.F. PERIMETER 138.0

SECTION TYPE ID	EXTERIOR WALL	TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
EUF 01	10	CUSTOM	1.0	90	N	0	0	1,440.0 SF
OUU 02	10	CUSTOM	1.0	90	N	0	0	200.0 SF
FLA 03	10	CUSTOM	1.0	90	N	0	0	1,160.0 SF
OUF 04	10	CUSTOM	1.0	90	N	0	0	280.0 SF

BUILDING REFINEMENTS

BUILDING 05 OF 08
ROOF TYPE 02 GABLE/HIP BEDROOMS 4 FIREPLACES 0 BUILT-IN KITCHEN N
ROOF COVER 03 ASPHALT SHINGL 2FIXBATH 0 DISHWASHER N AIR-CONDITIONING N
FOUNDATION 06 CONC PILINGS 3FIXBATH 2 VACUUM N GARBAGE DISPOSAL N
INT.FINISH 02 SFT/HD W 03 DRYWALL 4FIXBATH 0 INTERCOM N COMPACTOR N
SRC. HEAT 00 00 XFIXTURE 6 SECURITY N
TYPE HEAT 00 00

BUILDING 06 OF 08



BUILDING 06 OF 08

EUF01=U30L40D30R40.R25OUF02=U6R48D6L48.U
6R4FLA03=U30R40D30L40.U30OUF04=U4R40D4L40.

BUILDING CHARACTERISTICS

BUILDING 06 OF 08 APPRAISED BY 016 EAH ON
EFF. AGE GROUP 1 ONE NEXT REVIEW 00/00
CONDITION G GAP YEAR BUILT 1990 FUNCTIONAL OBSOLESCENCE 0
QUALITY GRADE 400 GRADE 8 SPEC.ARC.CODE I LOCATIONAL OBSOLESCENCE 0
IMPROVE. TYPE R2 M.F. PERIMETER 140.0

SECTION TYPE ID	EXTERIOR WALL	TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
EUF 01	10	CUSTOM	1.0	90	N	0	0	1,200.0 SF

B-132 X 64 10-6

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

E 16

SECTION TYPE ID	EXTERIOR WALL	TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
EUF 01	10	CUSTOM	1.0	90	N	0	0	1,200.0 SF

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

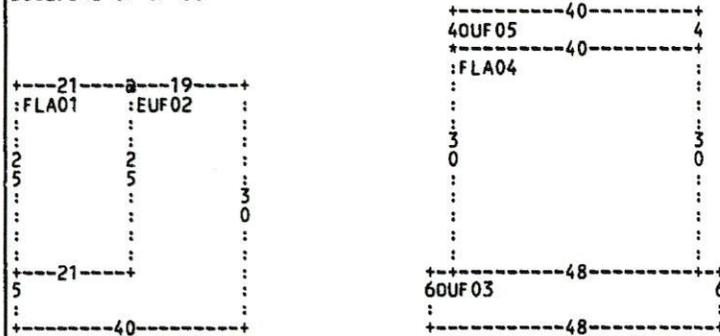
E 16

TYPE	ID	STORIES	YR	FINISH	BASEMENT%			
EUF	01	10	91	N	0	0	1,200.0	SF
OUF	02	10	91	N	0	0	288.0	SF
FLA	03	10	91	N	0	0	1,200.0	SF
OUF	04	10	91	N	0	0	160.0	SF

BUILDING REFINEMENTS

BUILDING 06 OF 08
 ROOF TYPE 02 GABLE/HIP BEDROOMS 2 FIREPLACES 0 BUILT-IN KITCHEN N
 ROOF COVER 03 ASPHALT SHINGL 2FIXBATH 0 DISHWASHER N AIR-CONDITIONING N
 FOUNDATION 06 CONC PILINGS 3FIXBATH 2 VACUUM N GARBAGE DISPOSAL N
 INT.FINISH 03 CONC S/B 02 WALL BD/ 4FIXBATH 0 INTERCOM N COMPACTOR N
 SRC. HEAT 00 00 XFIXTURE 6 SECURITY N
 TYPE HEAT 00 00

BUILDING 07 OF 08



FLA01=D25L21U25R21.EUF02=R19D30L40U5R21
 U25.D30R50OUF03=U6R48D6L48.U6R4FLA04=U30
 R40D30L40.U30OUF05=U4R40D4L40.

BUILDING CHARACTERISTICS

BUILDING 07 OF 08 APPRAISED BY 016 EAH ON
 EFF. AGE GROUP 1 ONE NEXT REVIEW 00/00
 CONDITION G GAP YEAR BUILT 1990 FUNCTIONAL OBSOLESCENCE 0
 QUALITY GRADE 400 GRADE 8 SPEC.ARC.CODE LOCALATIONAL OBSOLESCENCE 0
 IMPROVE. TYPE R2 M.F. PERIMETER 232.0

SECTION TYPE	ID	EXTERIOR WALL TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
FLA	01	10	91	N	0	0	525.0	SF
EUF	02	10	91	N	0	0	675.0	SF
OUF	03	10	91	N	0	0	288.0	SF
FLA	04	10	91	N	0	0	1,200.0	SF
OUF	05	10	91	N	0	0	160.0	SF

BUILDING REFINEMENTS

BUILDING 07 OF 08
 ROOF TYPE 02 GABLE/HIP BEDROOMS 2 FIREPLACES 0 BUILT-IN KITCHEN N
 ROOF COVER 03 ASPHALT SHINGL 2FIXBATH 0 DISHWASHER N AIR-CONDITIONING N
 FOUNDATION 06 CONC PILINGS 3FIXBATH 2 VACUUM N GARBAGE DISPOSAL N

B-132 x 64 10-6

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

F 16

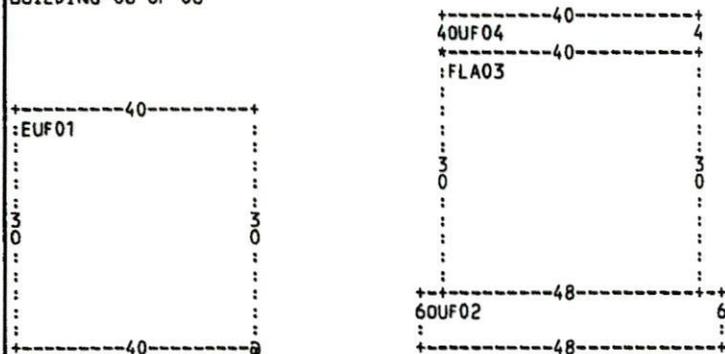
INT.FINISH 03 CONC S/B 02 WALL BD/ 4FIXBATH 0 INTERCOM N COMPACTOR N
 SRC HEAT 00 00 XFIXTURE 6 SECURITY N

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

F 16

INT.FINISH 03 CONC S/B 02 WALL BD/ 4FIXBATH 0 INTERCOM N COMPACTOR N
 SRC. HEAT 00 00 XFIXTURE 6 SECURITY N
 TYPE HEAT 00 00

BUILDING 08 OF 08



BUILDING 08 OF 08

EUF01=U30L40D30R40.R25OUF02=U6R48D6L48.U
 6R4FLA03=U30R40D30L40.U30OUF04=U4R40D4L40.

BUILDING CHARACTERISTICS

BUILDING 08 OF 08 APPRAISED BY 016 EAH ON
 EFF. AGE GROUP 1 ONE NEXT REVIEW 00/00
 CONDITION G GAP YEAR BUILT 1990 FUNCTIONAL OBSOLESCENCE 0
 QUALITY GRADE 400 GRADE 8 SPEC.ARC.CODE LOCATIONAL OBSOLESCENCE 0
 IMPROVE. TYPE R2 M.F. PERIMETER 140.0

SECTION TYPE	ID	EXTERIOR WALL	TYPE	NBR STORIES	ROLL YR	ATTIC FINISH	BASEMENT%	FINISHED BASEMENT%	FLOOR AREA
EUF	01	10	CUSTOM	1.0	91	N	0	0	1,200.0 SF
OUF	02	10	CUSTOM	1.0	91	N	0	0	288.0 SF
FLA	03	10	CUSTOM	1.0	91	N	0	0	1,200.0 SF
OUF	04	10	CUSTOM	1.0	91	N	0	0	160.0 SF

BUILDING REFINEMENTS

BUILDING 08 OF 08
 ROOF TYPE 02 GABLE/HIP BEDROOMS 2 FIREPLACES 0 BUILT-IN KITCHEN N
 ROOF COVER 03 ASPHALT SHINGL 2FIXBATH 0 DISHWASHER N AIR-CONDITIONING N
 FOUNDATION 06 CONC PILING 3FIXBATH 2 VACUUM N GARBAGE DISPOSAL N
 INT.FINISH 03 CONC S/B 02 WALL BD/ 4FIXBATH 0 INTERCOM N COMPACTOR N
 SRC. HEAT 00 00 XFIXTURE 6 SECURITY N
 TYPE HEAT 00 00

COST/MARKET METHOD*****

BLDG REPLACEMENT COST	ADJUSTED REPLACEMENT COST	BLDG. VALUES	M.I. VALUES	LAND VALUES	PROP VALUES
01 80,536	79,731	597,717	0	230,850	828,567
02 79,212	78,420				
03 79,212	78,420				
04 79,212	78,420				

B-132 X 64 10-6

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

G 16

05 78,035 77,255
 06 63,268 62,636

PARCEL/NAME: 00127510-000000 LOSLEY FREDERICK A

G 16

05	78,035	77,255
06	63,268	62,636
07	81,009	80,199
08	63,268	62,636

VALUE SELECTED *****

SPECIFIED BY EAH ON 12/13/90 VALUE METHOD 1 COST/MARKET METHOD VALUE 828,567

HISTORY OF TAXABLE VALUES *****

TAX YEAR	LAND VALUE	BUILDING VALUE	MISC. IMPR/ EQUIPVALUE	ASSESSED VALUE	EXEMPTION VALUE	TAXABLE VALUE
1982	4,775	0	0	4,775	0	4,775
1983	4,224	0	0	4,224	0	4,224
1984	5,760	0	0	5,760	0	5,760
1985	5,760	0	0	5,760	0	5,760
1986	4,800	0	0	4,800	0	4,800
1987	4,800	62,482	0	67,282	0	67,282
1988	136,800	216,122	0	352,922	0	352,922
1989	175,200	248,523	0	423,723	0	423,723
1990	194,400	392,246	0	586,646	0	586,646
1991	230,850	597,717	0	828,567	0	828,567
1992	230,850	597,717	0	828,567	0	828,567

EQUIPMENT LINES *****

TYPE DESCRIPTION # UNITS UN RATE YEAR IN/PWT DEPR VALUE

TOTAL VALUES *****

TOTAL-J-VAL	TOT-EXPT-VAL	T-VALUE	PREV-TX-VAL	PREV-JUST	NEW-CON-VAL
828,567	0	828,567	828,567	828,567	0

B-132 X 64 10-6

PARCEL/NAME: 00127780-000000 BUTLER WILLIAM N AND ANIT **H 16**

O A S I S - MONROE COUNTY

Monroe County Building Department



CERTIFICATE OF OCCUPANCY

OWNER: LOSLEY FREDERICK A

PERMIT NUMBER: 91-10003012 000 000

THIS IS TO CERTIFY THAT THE BUILDING LOCATED AT:

LT 1-25 MALONEY AVE STOCK
RE NUMBER: 35-67-25-012751-00000-00

BK LT 1 BLUE WATERS SUB

FOR WHICH PERMIT HAS HERETOFORE BEEN ISSUED, HAS BEEN COMPLETED ACCORDING TO PLANS AND SPECIFICATIONS FILED IN THE OFFICE OF THE MONROE COUNTY BUILDING INSPECTOR, AND THAT THE PROPOSED USE OF THE BUILDING, TO WIT, AS A SINGLE FAMILY HOME COMPILES WITH ALL THE BUILDING AND HEALTH LAWS AND ORDINANCES OF MONROE COUNTY AND IS APPROVED FOR THIS USE.

THE FOLLOWING INSPECTIONS HAVE BEEN MADE BY THIS DEPARTMENT ON THIS SITE:

FINAL BIOLOGICAL
TIE BEAM
INSULATION/DRYWALL
STEEL-COLUMN
CERTIFICATE OF ELEVATION
INVESTIGATION
ROUGH ELECTRIC - TOTAL
ROUGH A/C
ROUGH PLUMBING - TOTAL

SLAB/WOOD FLOOR
FRAMING
STEEL-AUGER
FINAL BUILDING
HURRICANE SHUTTERS
TEMPORARY POLE
FINAL ELECTRIC
FINAL A/C
FINAL PLUMBING

DATED THIS 09 DAY OF JUNE

1994

CERTIFICATE NUMBER 94-1000066

BUILDING OFFICIAL/ASS'T
BUILDING OFFICIAL

BUILDING INSPECTOR

PLUMBING INSPECTOR

ELECTRICAL INSPECTOR

Exhibit 2

4-136

131

BLUE WATERS SUBDIVISION

A RE-SUBDIVISION OF ALL OF LOTS 13 AND 38, AND THE NORTHWESTERLY HALF OF LOTS 14 AND 37, BLOCK 46, P.B. 1-55, AND A SUBDIVISION OF ADJACENT SUBMERGED LAND.

STOCK ISLAND MONROE COUNTY FLORIDA

SCALE: 1" = 30'

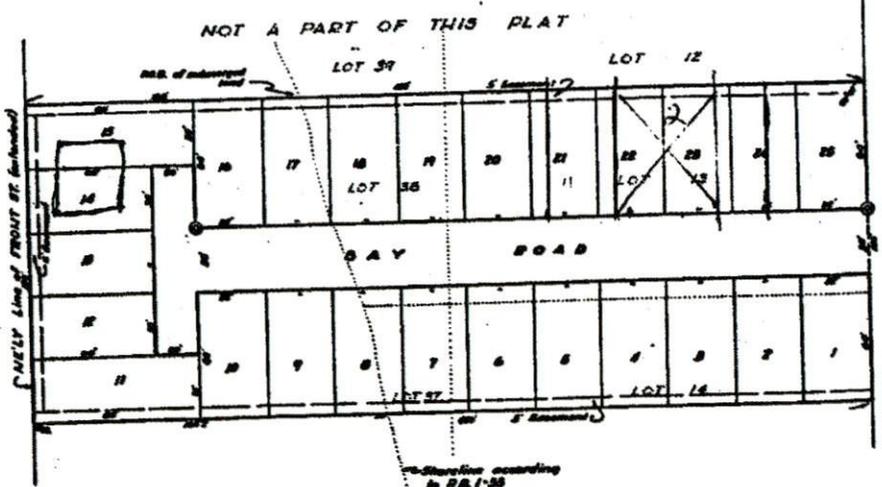
SCALE IN FEET

NOVEMBER 1959



E.R. McCarthy
Civil Engineer
Lead Surveyor
Key West, Florida

NORTH



NOT A PART OF THIS PLAT

KNOW ALL MEN BY THESE PRESENTS: That Dan L. Monro and Eva M. Monro, his wife, owners of the following described property, have caused to be made the attached plat entitled "BLUE WATERS SUBDIVISION".

DESCRIPTION: A re-subdivision of all of Lots 13 and 38, and the northwesterly half of Lots 14 and 37, Block 46, P.B. 1-55 and a subdivision of adjacent submerged land, Stock Island, Monroe County, Florida. The adjacent submerged land being more particularly described as follows: From the north corner of Lot 38 go southwesterly along the northerly line of said Lot 38 a distance of 70 feet more or less to a point in the shore of Stock Island which point is the point of beginning, thence southwesterly along the northerly line of said Lot 38 a distance of 150 feet to a point in the northerly line of Front St. thence southwesterly along the northerly line of Front St. a distance of 150 feet to a point in the shore of Stock Island, thence northwesterly along the northerly line of said Stock Island a distance of 150 feet, more or less, back to the point of beginning.

The road, as shown, is hereby reserved for the exclusive use of the property owners in this subdivision.

IN WITNESS WHEREOF we have hereunto set our hands and seals this 20th day of November, A.D. 1959

Witnessed by
[Signature] Dan L. Monro
[Signature] Eva M. Monro

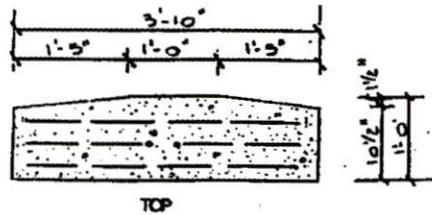
STATE OF FLORIDA ss
COUNTY OF MONROE ss
I hereby certify that on this day personally appeared before me, the undersigned authority, Dan L. Monro and Eva M. Monro, his wife, known to be the persons described in and who executed the foregoing instrument and who acknowledged that they executed the same freely and voluntarily for the uses and purposes therein expressed.

Witness my hand and official seal this 20th day of November, A.D. 1959

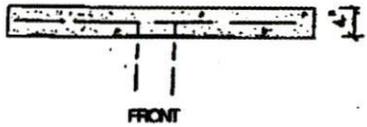
My commission expires:
July 14, 1960
[Signature]
Notary Public
State of Florida

991008302

5 RODS (ACROSS)
6 RODS (TAILS)



TOP



FRONT

PRECAST STEPS

CONCRETE DECK EXTENDS 1'-0" OVER BEAM AT STAIR LOCATION. (SEE TYPICAL SECTION)

BUTTERFLY STAIRS (SEE DETAILS THIS SHEET)

12" X 16" CONCRETE BEAM (SEE TYPICAL SECTION)

COLUMN (SEE TYPICAL SECTION)

CONCRETE LANDING

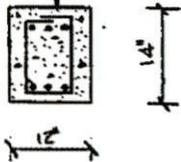
10 1/2" TYP.

MAIN BEAM WITH 6# 6 RODS (SEE DETAILS THIS SHEET)

FINISHED GRADE

2'-0" X 4'-0" X 1'-0" CONCRETE FOOTING WITH 3# 3 RODS EACH WAY

6# 6 RODS WITH # 3 TIES
10 # 3 TIES-1 @ 2" REM
@ 6" FROM EACH END



APPROVED

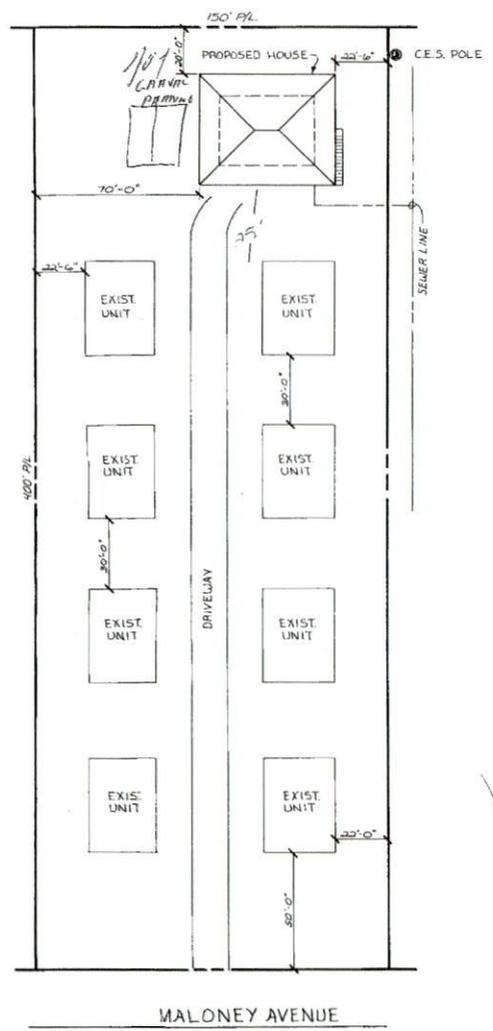
MONROE COUNTY BUILDING & ZONING DEPT.

Joe Caspell
Building Inspector

Date 8-7-91

STAIR DETAIL

MAIN BEAM



CITY ELECTRIC SYSTEM HAS APPROVED METER LOCATION ONLY.

1. All electrical work must meet all County Codes, City Electric System policies and National Electric Safety Code Rules And Regulations.
2. All work needing City Electric System authorization must meet National Electric Safety Code requirements.
3. Any returns to these plans must be reauthorized for City Electric System review.

Approved By: Ernest Cook
Date: 6-18-97

LEGAL

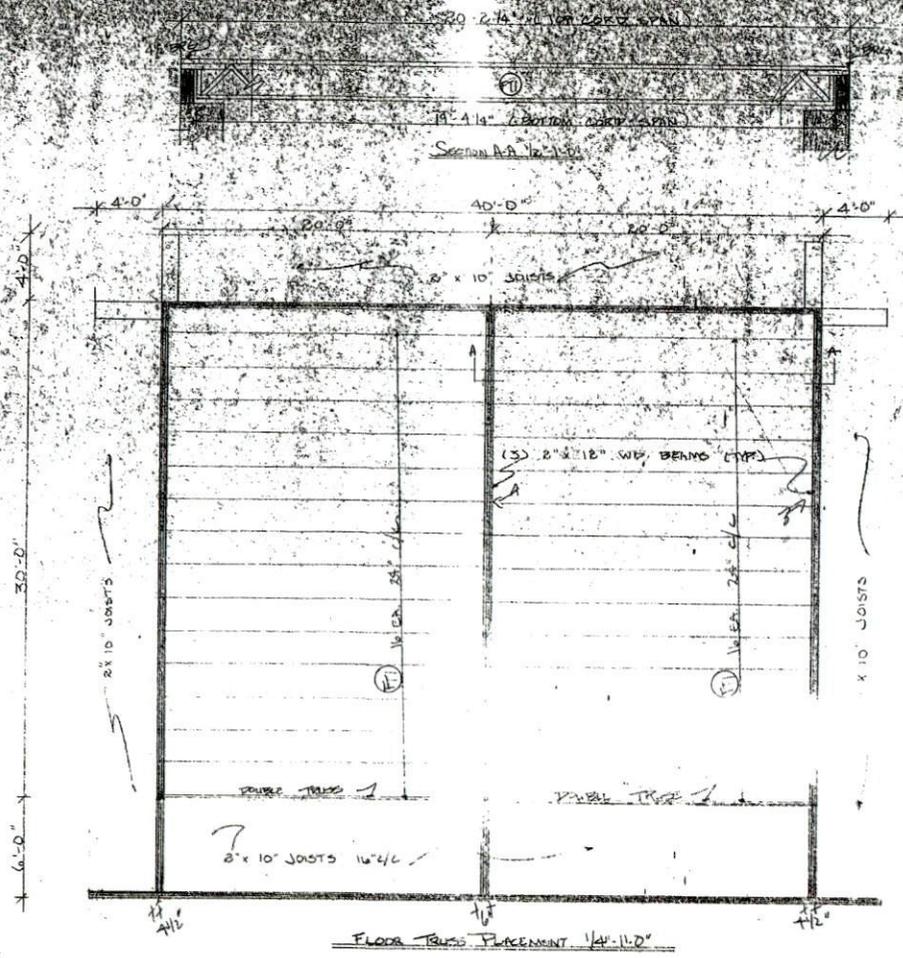
LOTS 1-25, INCLUSIVE OF BLUEWATER SUBDIVISION ACCORDING TO THE PLAT THERE OF AS RECORDED IN PLAT BOOK 4, PAGE 151 OF THE PUBLIC RECORDS OF MONROE COUNTY, FLORIDA.

LU DIST: URM PAGE 576
PLAN AREA: URM BY: URM DATE: 6-20-97
PLANNING REQUIREMENTS: OK
BY: [Signature] DATE: 1-25-97

PLOT PLAN

1"=30'

9110003012

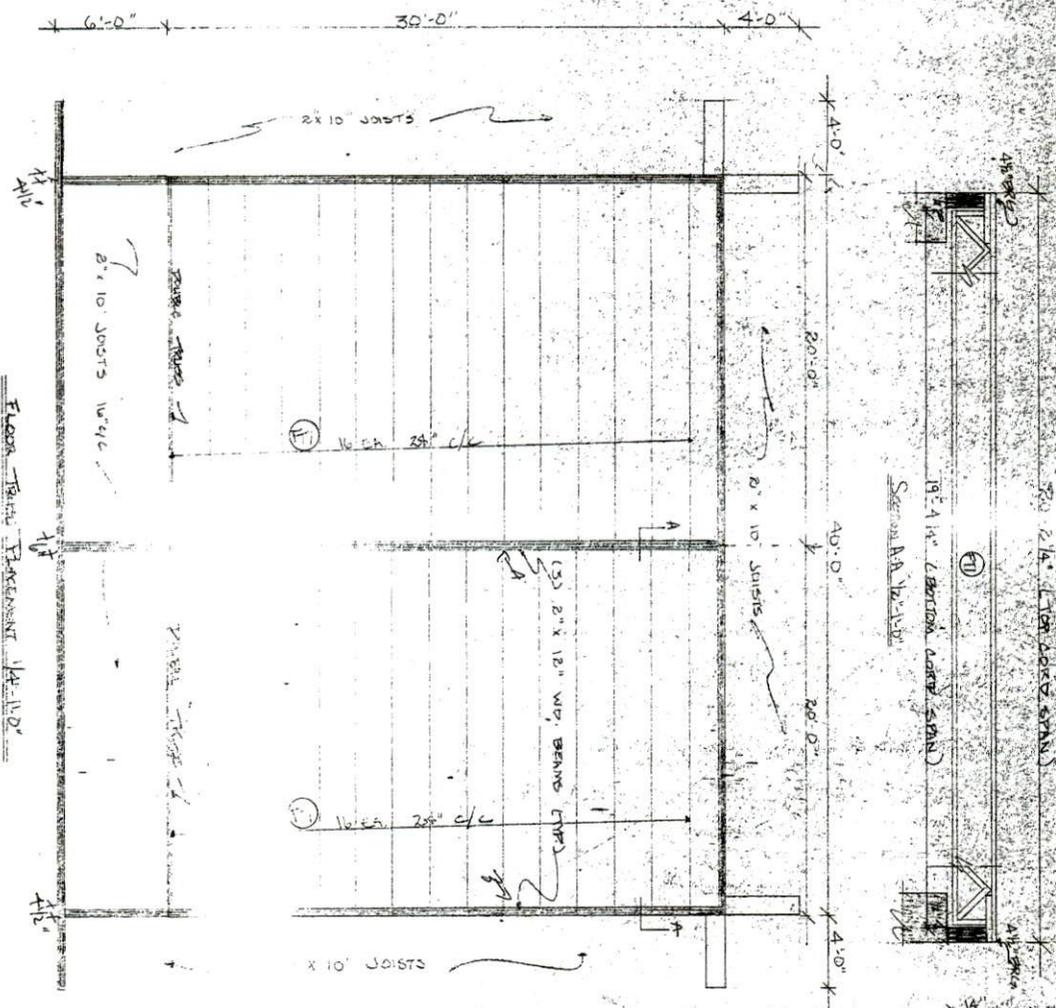


ATTENTION TRUSS ERECTOR:
 Truss bracing is as important as each truss. Please
 see comments on Drawing Wood Trusses (DWG-170)
 and engineering pertaining to this truss layout for infor-
 mation on temporary and permanent bracing of trusses.

DO NOT CUT OR ALTER WITHOUT
 AUTHORIZATION FROM THIS OFFICE.

SUMMERLAND ELECTRIC
FLOOR TRUSS LAYOUT
DESIGN TRUSS, INC.
JAN. 11, 1988 SHEET 2 OF 2

9110063012

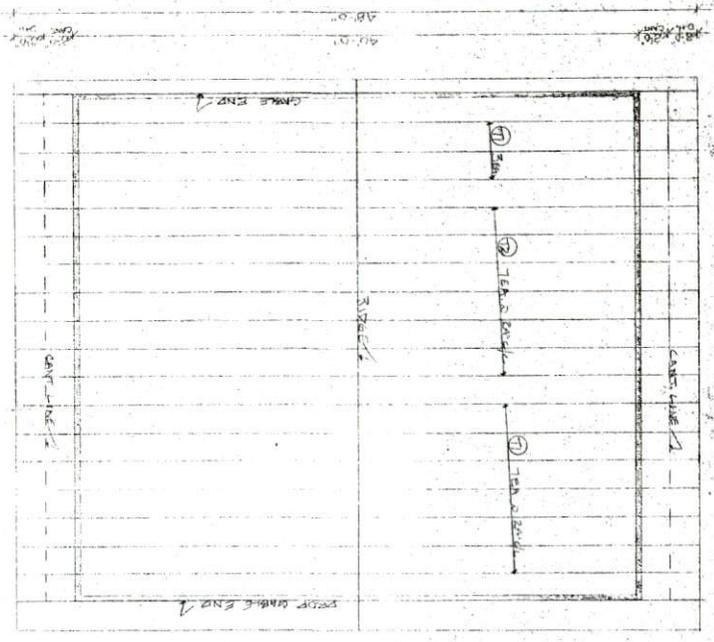
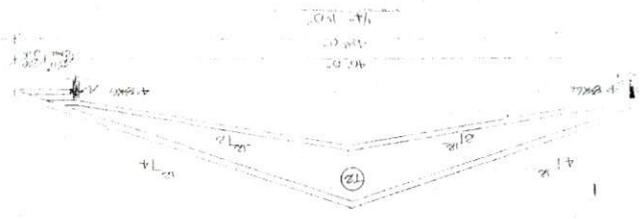
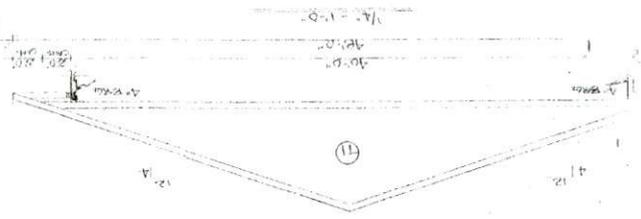


ATTENTION TRUSS SECTION
 THIS DRAWING IS A LIMITED LIABILITY DESIGN. THE DESIGNER ASSUMES NO LIABILITY FOR THE TRUSS SECTION BEING CONSTRUCTED UNLESS THE TRUSS SECTION IS APPROVED BY THE DESIGNER IN WRITING.
 DO NOT CUT OR ALTER WITHOUT AUTHORIZATION FROM THE OFFICE.

SUMNERLAND ELECTRIC
 FLOOR TRUSS LAYOUT
 DESIGN TRUSSES, INC.
 JAN 11 1998 | SHEET 2 OF 2

SUMMIT ELECTRIC
 GENERAL ROOF W/SHED TRUSS
 DESIGN TRUSS, INC.
 JAN. 11, 1987 | SHEET 1 OF 2

DO NOT CUT OR ALTER MEMBERS
 UNLESS SPECIFICALLY NOTED
 ATTENTION TO CONNECTIONS AND
 CONNECTIONS TO BE MADE AS SHOWN
 UNLESS OTHERWISE NOTED



9110003012

A ZONE ENCLOSURE

ENCLOSURE MUST BE SILENT FOR BUILDING CODES & ENCLOSURES LIMITED WORK ONLY - NO HABITABLE

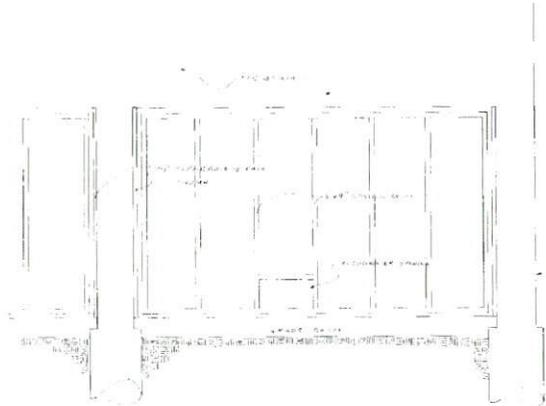
ENCLOSURE MUST HAVE A SOLID WALL ENCLOSURE WITH A TOTAL SURFACE AREA OF NOT LESS THAN 100 SQUARE FEET PER 1000 SQUARE FEET OF ENCLOSURE & A SOUND TRANSMISSION COEFFICIENT OF ALL SURFACES SHALL BE 0.50 OR BETTER. ALL ENCLOSURES MUST BE EQUIPPED WITH SILENCING DEVICES TO REDUCE FLOODING NOISES OR DEVICES PROVIDED WITHIN THE ENCLOSURE TO REDUCE FLOODING NOISES TO A LEVEL OF 45 DB(A) READING.

NO ELECTRICAL, PLUMBING, MECHANICAL, OR OTHER SERVICES SHALL BE ALLOWED INSIDE THE ENCLOSURE EXCEPT FOR VENTILATION.

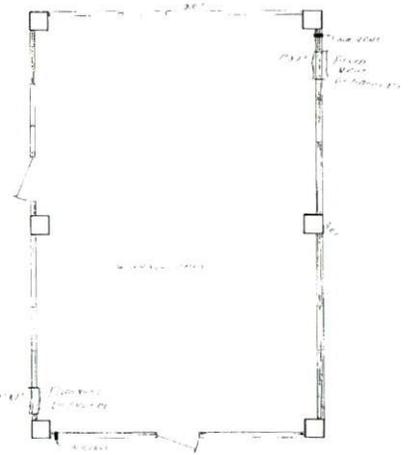
WALLS MUST BE CONSTRUCTED OF 1/2" GYPSUM BOARD OR EQUIVALENT ON EACH SIDE OF THE ENCLOSURE.

ENCLOSURE AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE PROVIDED WITH AIR VENTILATION LEADING ABOVE THE BASE FLOOD ELEVATION TO PREVENT THE ENTIRE ROOM FROM BEING UNDER PRESSURE DURING FLOODING.

THIS ENCLOSURE MAY AFFECT YOUR INSURANCE.



SECTION



ENCLOSURE LOCATION

ENCLOSURE DESIGNATION AC
DATE CLOSED 11/11
ENCLOSURE NO. 1234 E
BY 101

FRED LOSLEY
[Signature]

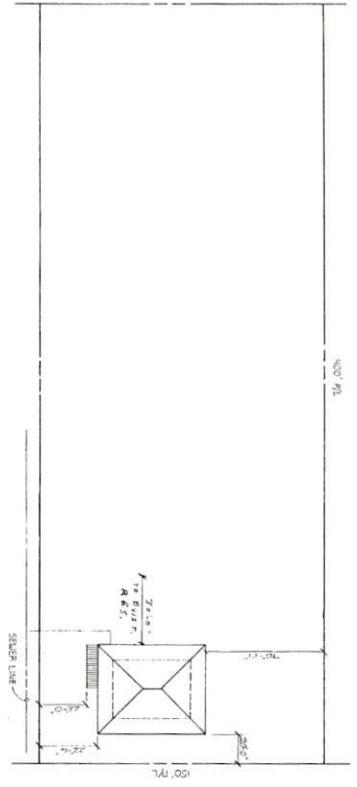
SHEET 1 OF 6
 RESIDUE FOR
 FRED LOSLEY

John Maloney

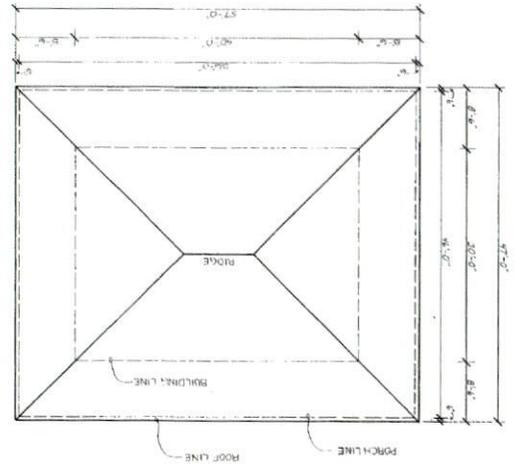
PLOT PLAN

MALONEY AVENUE

LEGAL
 LOTS 1-25 INCLUSIVE OF BAYVIEW SUBDIVISION
 ACCORDING TO THE PLAT THEREOF AS RECORDED
 IN PLAT BOOK # PAGE 241 OF THE PUBLIC RECORDS
 OF MONROE COUNTY, FLORIDA



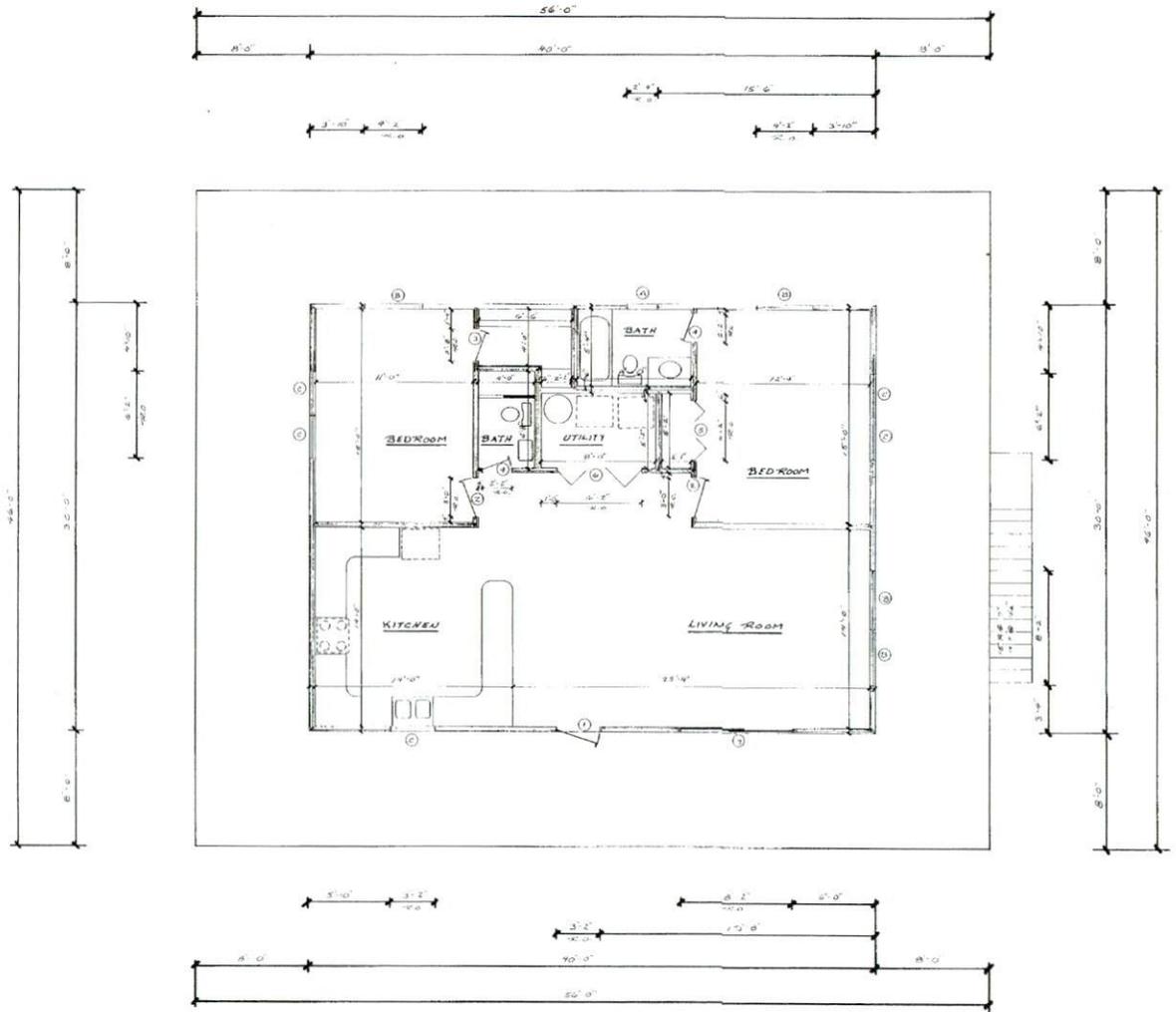
ROOF PLAN



APPROVED BY: *[Signature]*
 CITY ENGINEER (MONROE COUNTY)
 THE CITY ENGINEER'S OFFICE SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY ENGINEER'S OFFICE.
 THE CITY ENGINEER'S OFFICE SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED TO THE CITY ENGINEER'S OFFICE.

NOTES

1. ALL WOOD WALLS ARE 3 1/2" UNLESS SPECIFIED.
2. ALL CONCRETE BLOCK WALLS ARE 7 1/2" UNLESS SPECIFIED.
3. ALL CONSTRUCTION SHALL CONFORM TO SOUTHERN STANDARDS BUILDING CODES AND ALL LOCAL CODES.
4. CONTRACTOR SHALL PROVIDE AND INSTALL SMOKE DETECTORS.
5. CONTRACTOR SHALL NOT SCALE DRAWINGS. ANY INFORMATION THAT HE CANNOT OBTAIN FROM DIMENSIONS, DETAILS, OR SCHEDULES HE SHALL COORDINATE WITH OWNER.
6. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK.
7. ALL CONCRETE SHALL BE 4000 PSI MINIMUM.
8. INSULATION FOR ROOF AND WALLS SHALL BE FIBER-GLASS INSULATION R-19 OR BETTER.
9. WHERE DISCREPANCIES BETWEEN DRAWING SPECIFICATIONS AND CODE REQUIREMENTS OCCUR, ADHERE TO THE MOST STRINGENT REQUIREMENTS.
10. DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
11. ALL WOOD MEMBERS EXPOSED TO WEATHER OR IN CONTACT WITH MASONRY, CONCRETE OR SOIL SHALL BE PRESSURE TREATED.
12. PROVIDE HURRICANE CLIPS AT BOTH ENDS OF EACH RAFTER AND JOIST.
13. CONTRACTOR SHALL PROVIDE ALL FASTENING DEVICES NECESSARY AND SUITED FOR EACH APPLICATION.
14. ALL METAL CONNECTIONS AND FABRICATION SHALL COMPLY WITH AISC SPECIFICATIONS.
15. AFTER COMPLETION OF ALL WORK THE CONTRACTOR SHALL RESTORE ANY AND ALL DAMAGED PROPERTY TO ITS ORIGINAL CONDITION.



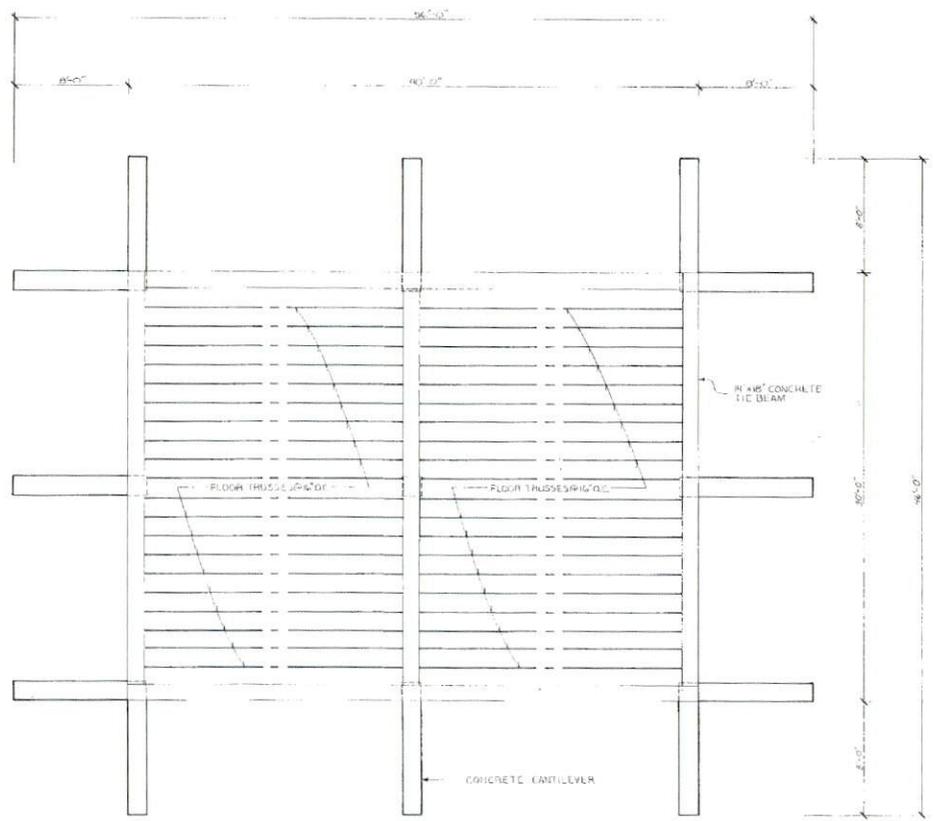
FLOOR PLAN

Handwritten signature

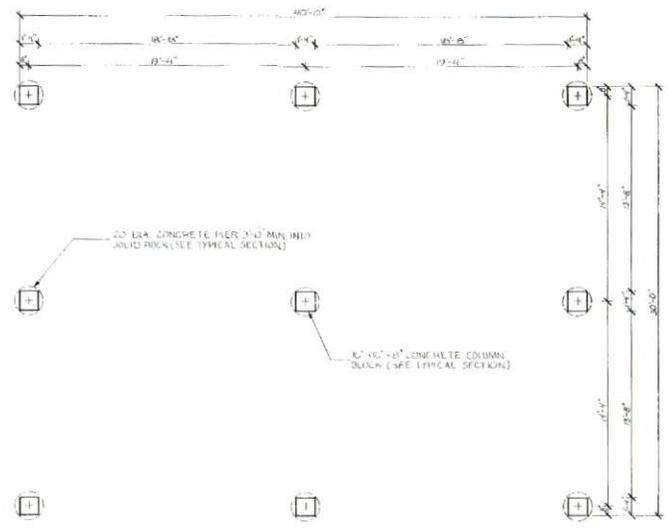
DOOR & WINDOW SCHEDULE				
ITEM	SIZE	CODE	DESCRIPTION	QTY
①	3'-0" x 6'-8"		DOOR WOOD 3/4 SWINGING	1
②	2'-0" x 6'-8"		DOOR WOOD 3/4 SWINGING	2
③	2'-0" x 6'-8"		DOOR WOOD 3/4 SWINGING	1
④	2'-0" x 6'-8"		DOOR WOOD 3/4 SWINGING	2
⑤	4'-0" x 6'-8"		DOOR WOOD 1-1/2 BI-FOLD	1 SET
⑥	4'-0" x 6'-8"		DOOR WOOD 1-1/2 BI-FOLD	1 SET
⑦	8'-0" x 0'-8"		DOOR ALUM. GLASS SLIDING	1 SET
⑧				
⑨	20" x 160"	7132	WINDOW ALUM.	1
⑩	48" x 17"		WINDOW ALUM. DOUBLE HUNG	1
⑪	36" x 37"		WINDOW ALUM. ARCH 1 PFT	5
⑫				

RESIDENCE FOR:
FRED LOSLEY

SHEET 2 OF 6



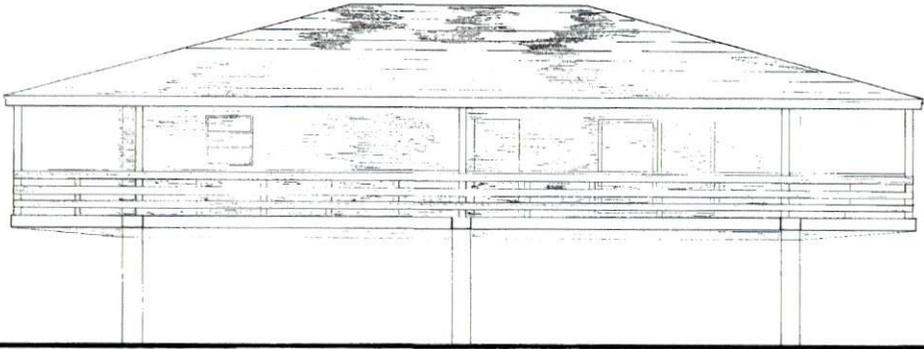
CONCRETE BEAM AND FLOOR FRAMING



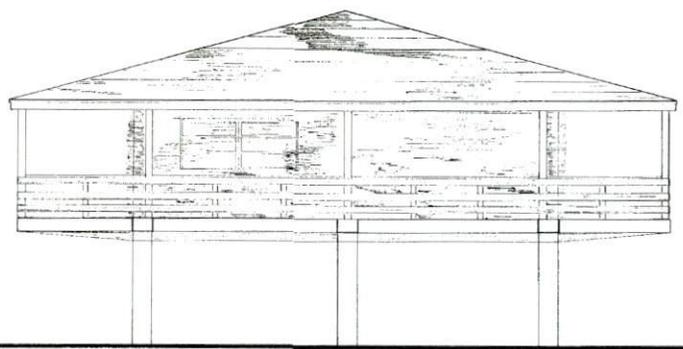
COLUMN PLAN

John G. ...

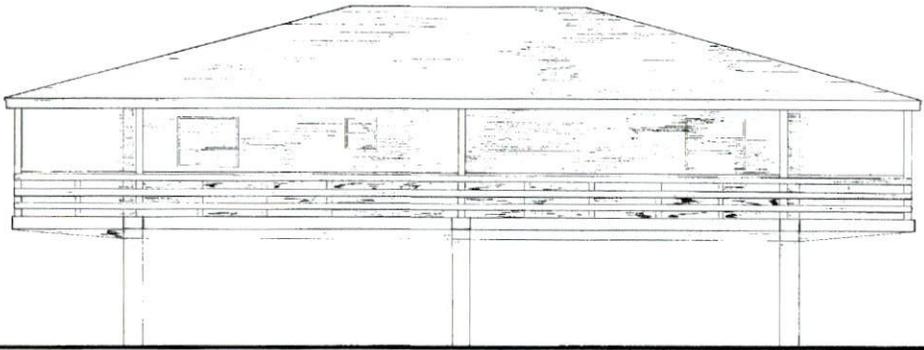
RESIDENCE FOR: FRED LOSLEY		DATE: 9/10/09
BY: JGL	CHECKED: JGL	SCALE: AS SHOWN
SHEET 3 OF 6		DATE: 9/10/09



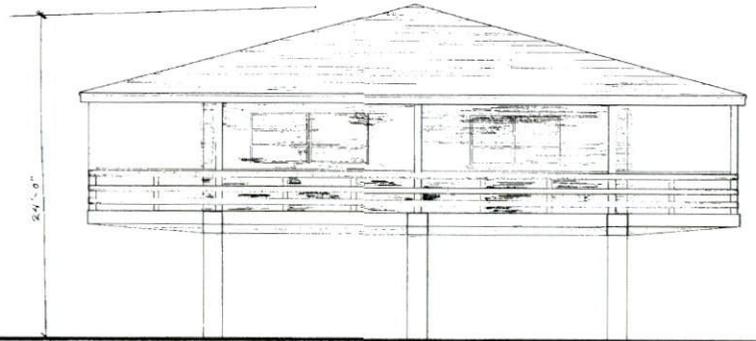
FRONT ELEVATION



LEFT ELEVATION



REAR ELEVATION



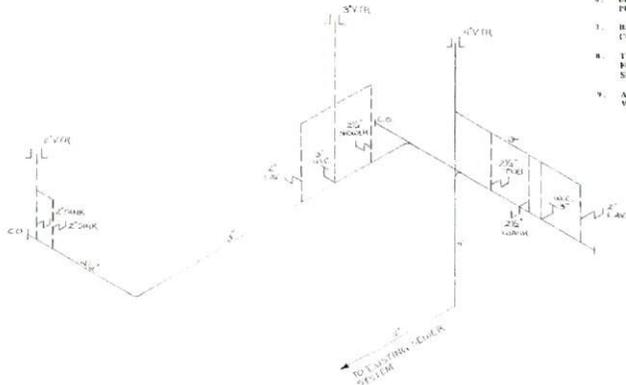
RIGHT ELEVATION

John ... P.E.

RESIDENCE FOR: FRED LOSLEY	
DATE: 10/10/10	SCALE: 1/4" = 1'-0"
SHEET 5 OF 6	

NOTES

1. ALL ELECTRICAL WORK SHALL CONFORM TO NATIONAL ELECTRICAL CODE AND STANDARD BUILDING CODE AND ALL LOCAL CODES.
2. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE FULL COORDINATION OF HIS WORK WITH THAT OF THE GENERAL CONTRACTOR.
3. ALL WORK PERFORMED SHALL BE DONE SO BY A LICENSED ELECTRICAL CONTRACTOR AND IN A FIRST CLASS WORKSMANLIKE MANNER.
4. ALL PANELS SHALL HAVE TYPEWRITTEN DIRECTORIES INDICATING ALL CIRCUITS.
5. LIGHTING FIXTURES INCLUDING LAMPS SHALL BE PROVIDED AND INSTALLED BY ELECTRICAL CONTRACTOR.
6. ELECTRICAL CONTRACTOR SHALL PROVIDE TEMPORARY POWER FOR ALL TRADES.
7. BALANCE LOADS IN AC CIRCUITS WITH LIGHT CONSTRUCTION PRACTICE.
8. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ADEQUATE CIRCUITRY AND BREAKER SIZES.
9. ALL WIRING SHALL BE IN CONCORD WITH GROUNDED WIRE.

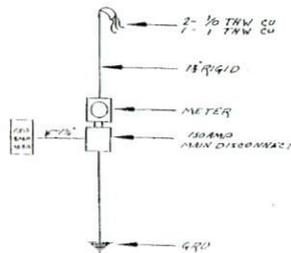


WASTE AND VENT

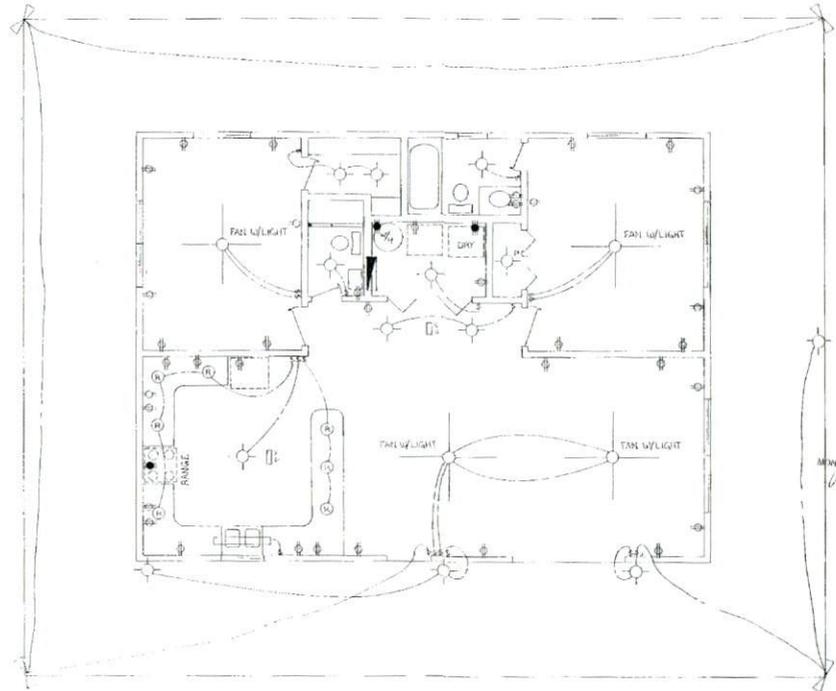
ELECTRIC PANEL - 150 AMP

CIR	WIRE	TRIP	VOLT	DESCRIPTION	CIR	WIRE	TRIP	VOLT	DESCRIPTION
NO.	#		AMPS		NO.	#		AMPS	
1	# 8	30	2000	RANGE	2	# 10	30	2000	DRYER
3	# 10	30	2500	WATER HEATER	4				
5					6				
8					10	# 12	20	1500	WASHING
11	# 12	20	1000	REFRIGERATOR	12	# 14	20	1500	MICROWAVE
13	# 12	20	1000	DISHWASHER	14	# 12	20	1500	APPLIANCE Ckt
15	# 12	20	1500	APPLIANCE Ckt	16	# 12	20	1500	APPLIANCE Ckt
17	# 12	20	1500	APPLIANCE Ckt	18	# 12	20	1500	APPLIANCE Ckt
19	# 12	20	1500	APPLIANCE Ckt	20				1 LG. & RECEPT. 10 C. 11
21	# 12	20	1500	APPLIANCE Ckt	22				
23					24				
25					26				
27					28				
29					30				
31					32				
33					34				
35					36				
37					38				
39					40				

* LIGHT & RECEPTICAL LOAD



ELECTRICAL RISER



ELECTRIC PLAN

ELECTRICAL APPROVED
SUBJECT TO ALL C.C. &
MUNICIPALITY OWN. SANDELMONT
W.C. [Signature] 8-1-11
Electrical Engineer

RESIDENCE FOR:
FRED LOSLEY

SHEET 6 OF 6

A ZONE ENCLOSURE

ENCLOSURE MUST BE SOLELY FOR BUILDING ACCESS, STORAGE, AND/OR LIMITED PARKING ONLY - NO HABITATION.

ENCLOSURE MUST HAVE A MINIMUM OF TWO OPENINGS HAVING A TOTAL NET AREA OF NOT LESS THAN ONE SQUARE FOOT PER EIGHT SQUARE FEET OF ENCLOSED AREA SUBJECT TO FLOODING. THE BOTTOM OF ALL OPENINGS SHALL BE NO HIGHER THAN ONE FOOT ABOVE GRADE. OPENINGS SHALL BE PROVIDED WITH SCREENS, COVERS, VALVES, OR OTHER COVERINGS TO PREVENT THAT THEY PRESENT THE UNEXPECTED ENTRY AND EXIT OF SUBJECTS.

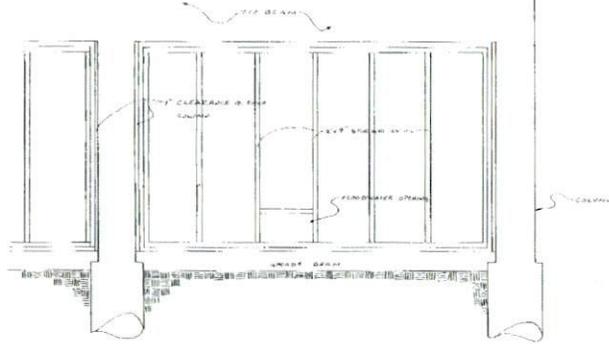
ONLY ELECTRICAL PLUMBING, MECHANICAL EQUIPMENT, MACHINERY, ETC. MAY BE ALLOWED WITHIN THE 100 YEAR FLOOD ELEVATION.

WALLS MUST BE REINFORCED ON THE INSIDE, INCLUDING PERIMETER WALLS, CORNERS AND FLOORS, TO RESIST 150 PSF STEERING PRESSURE.

ENCLOSED AREAS BELOW THE BASE FLOOD ELEVATION SHALL BE PROVIDED WITH AIR VENTS EXTENDING ABOVE THE BASE FLOOD ELEVATION TO PREVENT THE ENTRAPMENT OF AIR WITHIN THE ENCLOSURE BY FLOODWATERS.

THIS ENCLOSURE MAY EFFECT YOUR INSURANCE.

8/21/91

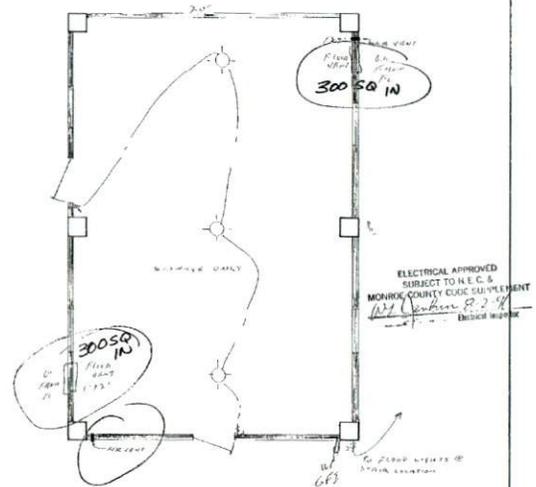



SECTION

1/2" = 1'-0"

DATE OF SUBMITTAL: 8/21/91
 DESIGNER: FRED LOSLEY
 PANEL NO: 1728
 DATE: 6-21-91

-
-
-



ENCLOSURE LOCATION

ELECTRICAL APPROVED
 SUBJECT TO N.E.C. &
 MONROE COUNTY CODE REQUIREMENT
 W.L. Losley P.E.
 ENGINEER

FRED LOSLEY	
DATE: 8/21/91	SCALE: 1/4" = 1'-0"
PROJECT: 1728	DATE: 6-21-91

Exhibit 2



Address: 3553 SOUTH
ROOSEVELT BOULEVARD
KEY WEST
FL 33040
Location: EYWA
Device ID: -BTC01
Transaction: 940396036109

FedEx 2Day

Tracking Number:
275789124902 5.55 lb (S) 12.25
Declared Value 100

Recipient Address:
MONROE COUNTY PLANNING & ENVIR
MARATHON GOVERNMENT CENTER
2798 OVERSEAS HWY STE 400
MARATHON, FL 33050-4277
3052938983

Scheduled Delivery Date 6/13/2024

Pricing option:
ONE RATE

Package Information:
FedEx Pak

Shipment subtotal: \$12.25

Total Due: \$12.25

M = Weight entered manually
S = Weight read from scale
T = Taxable item

Terms and conditions apply, including terms that limit FedEx's liability. The estimated shipping charge may be different than the actual charges for your shipment. Differences may occur based on actual weight, dimensions and other factors. Shipment-related terms and conditions and details on how shipping charges are calculated are available upon request or at fedex.com/serviceguide.

We value your feedback!
Tell us how we're doing!
fedex.com/fscfeedback

*** Thank you ***

Visit us at: fedex.com
Or call 1.800.GoFedEx
1.800.463.3339

Jun 11, 2024 3:02:37 PM

FIRST HORIZON BANK Exhibit 2³⁹²⁸³

05/14/2024

63-1176/670
9006
CHECK GUARANTEE
TRADE PROTECTION



GARY THE CARPENTER CONST. INC.
800 SIMONTON ST.
KEY WEST, FL 33040
PH: 305-292-0261 FAX: 305-292-2225

PAY TO THE
ORDER OF

MADROE County Planning dept

\$ ⁸⁵ ~~2200~~ ⁰⁰ ~~XX~~

Two thousand two hundred and 85/100

DOLLARS

MEMO

[Handwritten Signature]

AUTHORIZED SIGNATURE



Photo Safe Deposit®
Details on Back.

APPLICATION
MONROE COUNTY
PLANNING & ENVIRONMENTAL RESOURCES DEPARTMENT



Request for a Letter of Development Rights Determination (LDRD)

An application must be deemed complete and in compliance with the Monroe County Code by the Staff prior to the item being scheduled for review.

Application Fee: \$2,210.00

Date of Application: 06 / 04 / 2024
Month Day Year

Applicant / Agent Authorized to Act for Property Owner: (Agents must provide notarized authorization from all property owners.)

Trepanier & Associates, Inc. Thomas Francis-Siburg

Applicant (Name of Person, Business or Organization) Name of Person Submitting this Application

1421 First Street, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

305-293-8983 thomas@owentrepanier.com

Work Phone Home Phone Cell Phone Email Address

Property Owner: (Business/Corp must include documents showing who has legal authorized to sign.)

6630 Maloney LLC c/o Thomas Francis-Siburg

(Name/Entity) Contact Person

c/o 1421 First Street, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

305-293-8983

Work Phone Home Phone Cell Phone Email Address

Legal Description of Affected Property:

(If in metes and bounds, attach legal description on separate sheet)

1-25 Blue Waters Stock Island

Block Lot Subdivision Key

00127510-000000 1161691

Real Estate (RE) / Parcel ID Number Alternate Key Number

6630 Maloney Avenue, Key West, FL 33040 5

Street Address (Street, City, State & Zip Code) Approximate Mile Marker

APPLICATION

Number of Permanent Residential Dwelling Units on Property: 18 permanent units

Number of Transient Residential Units on Property: N/A

Amount of Non-Residential (i.e. commercial, industrial) Floor Area on Property: 1,500 sq. ft.

Amount of permitted outdoor storage on the Property: N/A

Please list previous property owners' names:

(1) 6630 Maloney, LLC (2) Edith L. Stack Losely (3) Frederick or Fred A. Losley

(4) Edith L. Stack Losley Amended and Restricted Declaration of Trust Dated June 21, 2007

(5) Frederick Albert Losley Declaration of Trust Dated September 20, 1999

(6) Frederick A. Losley & Consuelo H. Losley (7) Eva Navarro (8) Dan L. Navarro & Eva Navarro

(9) Trustees of the Internal Improvement Fund of the State of Florida

Please provide:

N/A Copy of any recorded conditional use permit and any previous modification approvals.

Copy of the most recently approved site plan.

N/A Copy of any previous ROGO/NROGO Exemption/LDRD/Letter of Understanding.

Copy of any previously issued building permits that indicate the existence of residential units or non-residential floor area or outdoor storage.

Other records that indicate the existence of residential units or non-residential floor area or outdoor storage (i.e., records from other departments and agencies, boundary surveys, mobile home registrations, etc.)

If nonresidential:

Total number of non-residential buildings: 1 to 2 buildings

Total non-residential floor area in square feet: 1,500 sq. ft.

If residential:

Total number of residential buildings: 9 buildings

Total number of permanent, market-rate units: 18 permanent units

Total number of permanent, affordable units: N/A

Total number of transient units (hotel, recreational vehicle and/or campground): N/A

Is there a pending code enforcement proceeding involving all or a portion of the parcel proposed for development?

Yes No Code Case file # CE22070036 Describe the enforcement proceedings and if this application is being submitted to correct the violation: See attached

APPLICATION

All of the following items must be included in order to have a complete application submission:

(Please check the box as each required item is attached to the application)

- Complete application (unaltered and unbound)
- Correct fee (check or money order payable to *Monroe County Planning & Environmental Resources*)
- Proof of ownership (i.e., Warranty Deed)
- Current Property Record Card(s) from the Monroe County Property Appraiser
- Location map
- Current photograph(s) of all buildings on the site
- Water/Electric utility records (indicating when service was initiated)

If applicable, the following items must be included in order to have a complete application submission:

(Please check the box as the required item is attached to the application.)

- Notarized Agent Authorization Letter

If deemed necessary to complete a full review of the application, the Planning & Environmental Resources Department reserves the right to request additional information.

The applicant/owner hereby acknowledges and agrees that any staff discussions or negotiations about conditions of approval are preliminary only, and are not final, nor are they the specific conditions or demands required to gain approval of the application, unless the conditions or demands are actually included in writing in the final development order or the final denial determination or order.

By signing this application, the owner of the subject property authorizes the Monroe County Planning & Environmental Resources staff to conduct all necessary site visits and inspections on the subject property.

I, the Applicant, certify that I am familiar with the information contained in this application, and that to the best of my knowledge such information is true, complete and accurate.

Signature of Applicant: [Handwritten Signature] Date: 6/04/24

STATE OF FLORIDA

COUNTY OF MONROE

Sworn to and subscribed before me this 4 day of JUNE, 2024, by means of physical presence or online notarization

by THOMAS FRANCIS-SIBURG, who is personally known to me

(PRINT NAME OF PERSON MAKING STATEMENT)

OR produced N/A as identification.

(TYPE OF ID PRODUCED)

[Handwritten Signature]
Signature of Notary Public



Print, Type or Stamp Commissioned Name of Notary Public
My commission expires:

Monroe County, FL

****PROPERTY RECORD CARD****

Disclaimer

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the data is intended for ad valorem tax purposes only and should not be relied on for any other purpose.

By continuing into this site you assert that you have read and agree to the above statement.

Summary

Parcel ID 00127510-000000
 Account# 1161691
 Property ID 1161691
 Millage Group 110A
 Location Address 6630 MALONEY Ave 1-25, STOCK ISLAND
 Legal Description LOTS 1 THRU 25 BLUE WATERS SUB PB4-151 STOCK ISLAND OR580-508 OR782-1936 OR1784-19 OR2953-1146 OR2956-0134
 (Note: Not to be used on legal documents.)
 Neighborhood 10060
 Property Class MULTI FAMILY 10 OR MORE UNITS (0300)
 Subdivision BLUE WATERS SUBD
 Sec/Twp/Rng 35/67/25
 Affordable No
 Housing



Owner

6630 MALONEY LLC
 45 NW 21st St
 Miami FL 33127

Valuation

	2023 Certified Values	2022 Certified Values	2021 Certified Values	2020 Certified Values
+ Market Improvement Value	\$990,477	\$1,020,955	\$1,017,930	\$1,063,508
+ Market Misc Value	\$11,139	\$11,854	\$12,568	\$13,283
+ Market Land Value	\$1,167,780	\$1,167,780	\$1,167,780	\$1,167,780
= Just Market Value	\$2,169,396	\$2,200,589	\$2,198,278	\$2,244,571
= Total Assessed Value	\$2,169,396	\$2,200,589	\$2,198,278	\$2,244,571
- School Exempt Value	\$0	\$0	\$0	\$0
= School Taxable Value	\$2,169,396	\$2,200,589	\$2,198,278	\$2,244,571

Historical Assessments

Year	Land Value	Building Value	Yard Item Value	Just (Market) Value	Assessed Value	Exempt Value	Taxable Value	Maximum Portability
2022	\$1,167,780	\$1,020,955	\$11,854	\$2,200,589	\$2,200,589	\$0	\$2,200,589	\$0
2021	\$1,167,780	\$1,017,930	\$12,568	\$2,198,278	\$2,198,278	\$0	\$2,198,278	\$0
2020	\$1,167,780	\$1,063,508	\$13,283	\$2,244,571	\$2,244,571	\$0	\$2,244,571	\$0
2019	\$1,152,312	\$1,058,352	\$13,997	\$2,224,661	\$2,224,661	\$0	\$2,224,661	\$0
2018	\$1,090,272	\$1,025,450	\$10,515	\$2,126,237	\$2,126,237	\$0	\$2,126,237	\$0

The Maximum Portability is an estimate only and should not be relied upon as the actual portability amount. Contact our office to verify the actual portability amount.

Land

Land Use	Number of Units	Unit Type	Frontage	Depth
MULTI FAMILY DRY (030D)	38,400.00	Square Foot	0	0
MULTI FAMILY WATER (030W)	10,200.00	Square Foot	0	0

Exhibit 2

Buildings

Building ID	8021	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1986
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	2848	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,200	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		2,848	1,200	0

Building ID	8022	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1987
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	3248	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,600	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		3,248	1,200	0

Building ID	8023	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1987
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	3248	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,600	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		3,248	1,200	0

Building ID	8024	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1987
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	3248	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,600	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0

Exhibit 2

Code	Description	Sketch Area	Finished Area	Perimeter
OUF	OP PRCH FIN UL	448	0	0
TOTAL		3,248	1,200	0

Building ID	8025	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1989
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	3080	Roof Type	GABLE/HIP
Finished Sq Ft	1160	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	138	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,440	0	0
FLA	FLOOR LIV AREA	1,160	1,160	0
OJU	OP PR UNFIN UL	200	0	0
OUF	OP PRCH FIN UL	280	0	0
TOTAL		3,080	1,160	0

Building ID	8026	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1990
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	2848	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	DRYWALL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,200	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		2,848	1,200	0

Building ID	8027	Exterior Walls	AVE WOOD SIDING with 83% MIN WOOD SIDING
Style	STILT 1 STORY	Year Built	1990
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	2848	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	DRYWALL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
FLA	FLOOR LIV AREA	1,200	1,200	0
LLF	LOW LEV FIN	1,000	0	0
OPU	OP PR UNFIN LL	200	0	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		2,848	1,200	0

Building ID	8028	Exterior Walls	AVE WOOD SIDING
Style	STILT 1 STORY	Year Built	1990
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	2848	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	SFT/HD WD
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	4
Functional Obs	0	Full Bathrooms	2

Exhibit 2

Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	300
Interior Walls	DRYWALL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CPU	COVERED PARKING UNFIN	1,200	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
OUF	OP PRCH FIN UL	448	0	0
TOTAL		2,848	1,200	0

Building ID	8029	Exterior Walls	AVE WOOD SIDING with 100% BRICK
Style	STILT 1 STORY	Year Built	1994
Building Type	APARTMENTS / 03C	EffectiveYearBuilt	1996
Building Name		Foundation	CONC PILINGS
Gross Sq Ft	3720	Roof Type	GABLE/HIP
Finished Sq Ft	1200	Roof Coverage	ASPHALT SHINGL
Stories	1 Floor	Flooring Type	CONC S/B GRND
Condition	AVERAGE	Heating Type	NONE with 0% NONE
Perimeter	140	Bedrooms	2
Functional Obs	0	Full Bathrooms	2
Economic Obs	0	Half Bathrooms	0
Depreciation %	35	Grade	350
Interior Walls	WALL BD/WD WAL	Number of Fire PI	0

Code	Description	Sketch Area	Finished Area	Perimeter
CAT	CATWALK UPPER	1,264	0	0
CPF	COVERED PARKING FIN	570	0	0
FLA	FLOOR LIV AREA	1,200	1,200	0
LLF	LOW LEV FIN	630	0	0
OUF	OP PRCH FIN UL	56	0	0
TOTAL		3,720	1,200	0

Yard Items

Description	Year Built	Roll Year	Size	Quantity	Units	Grade
CONC PATIO	1993	1994	0 x 0	1	80 SF	5
FENCES	1997	1998	4 x 120	1	480 SF	2
ASPHALT PAVING	2012	2012	22 x 251	1	5522 SF	1

Sales

Sale Date	Sale Price	Instrument	Instrument Number	Deed Book	Deed Page	Sale Qualification	Vacant or Improved	Grantor	Grantee
3/29/2019	\$2,660,000	Warranty Deed	2213145	2956	0134	01 - Qualified	Improved		
3/7/2019	\$100	Warranty Deed	2210676	2953	1146	30 - Unqualified	Improved		

Permits

Number	Date Issued	Date Completed	Amount	Permit Type	Notes
C- DEMO-2023-0007	10/6/2023		\$1,500	Commercial	demo (2) small travel trailers remove completely hall away debris
22100849	3/28/2022	4/5/2022	\$350	Residential	RECONNECT UNITS 2-A, 3-A, 6-B AND 8-B
22100207	1/31/2022	2/3/2022	\$1,000	Commercial	REPAIR LOSE METER HUB
19101728	7/25/2019		\$29,571	Residential	BLDG #1- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101729	7/25/2019		\$22,465	Residential	BLDG #2- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101730	7/25/2019		\$22,465	Residential	BLDG #3- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101731	7/25/2019		\$22,465	Residential	BLDG #4- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101732	7/25/2019		\$22,465	Residential	BLDG #5- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101733	7/25/2019		\$22,465	Residential	BLDG #6- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101734	7/25/2019		\$22,465	Residential	BLDG #7- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101735	7/25/2019		\$22,465	Residential	BLDG #8- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
19101736	7/25/2019		\$19,533	Residential	BLDG #9- RE-ROOF - REMOVE & REPLACE 4 ATTIC WINDOWS & INSTALL 30# FELT UNDERLAYMENT & INSTALL MASTER RIB METAL PANEL ROOF.
11105292	11/28/2011	1/10/2012	\$10,194	Residential	5520 SQ ASPHALT PAVING
08102406	7/3/2008	7/31/2008	\$500	Residential	REPLACE 100 AMP SERVICE
08102302	6/20/2008	7/31/2008	\$250	Residential	ELEC UPGRADE
98-0492	5/1/1998	1/1/1999	\$1,000	Residential	FENCE

Exhibit 2

View Tax Info

[View Taxes for this Parcel](#)

Sketches (click to enlarge)

Exhibit 2

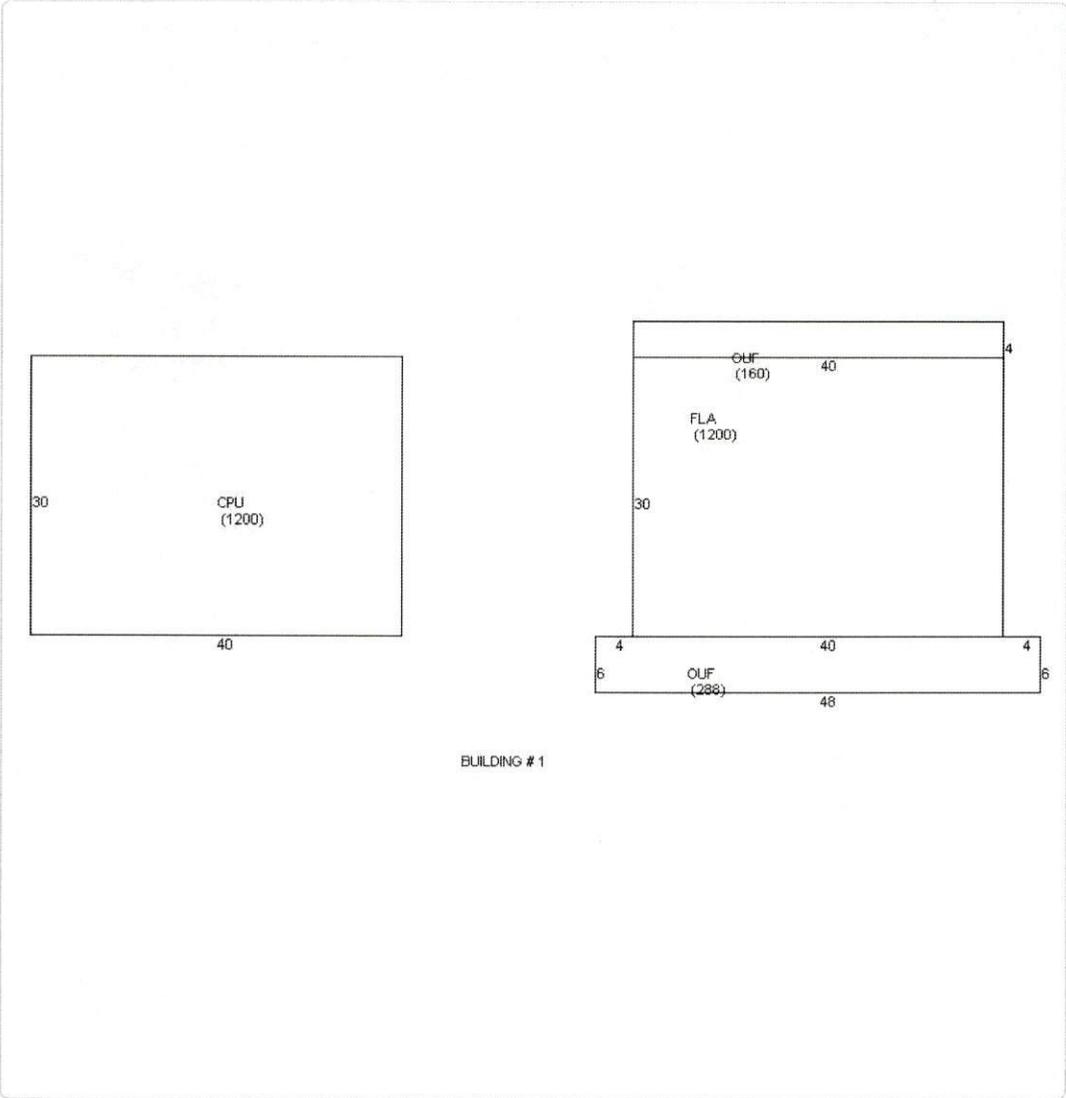
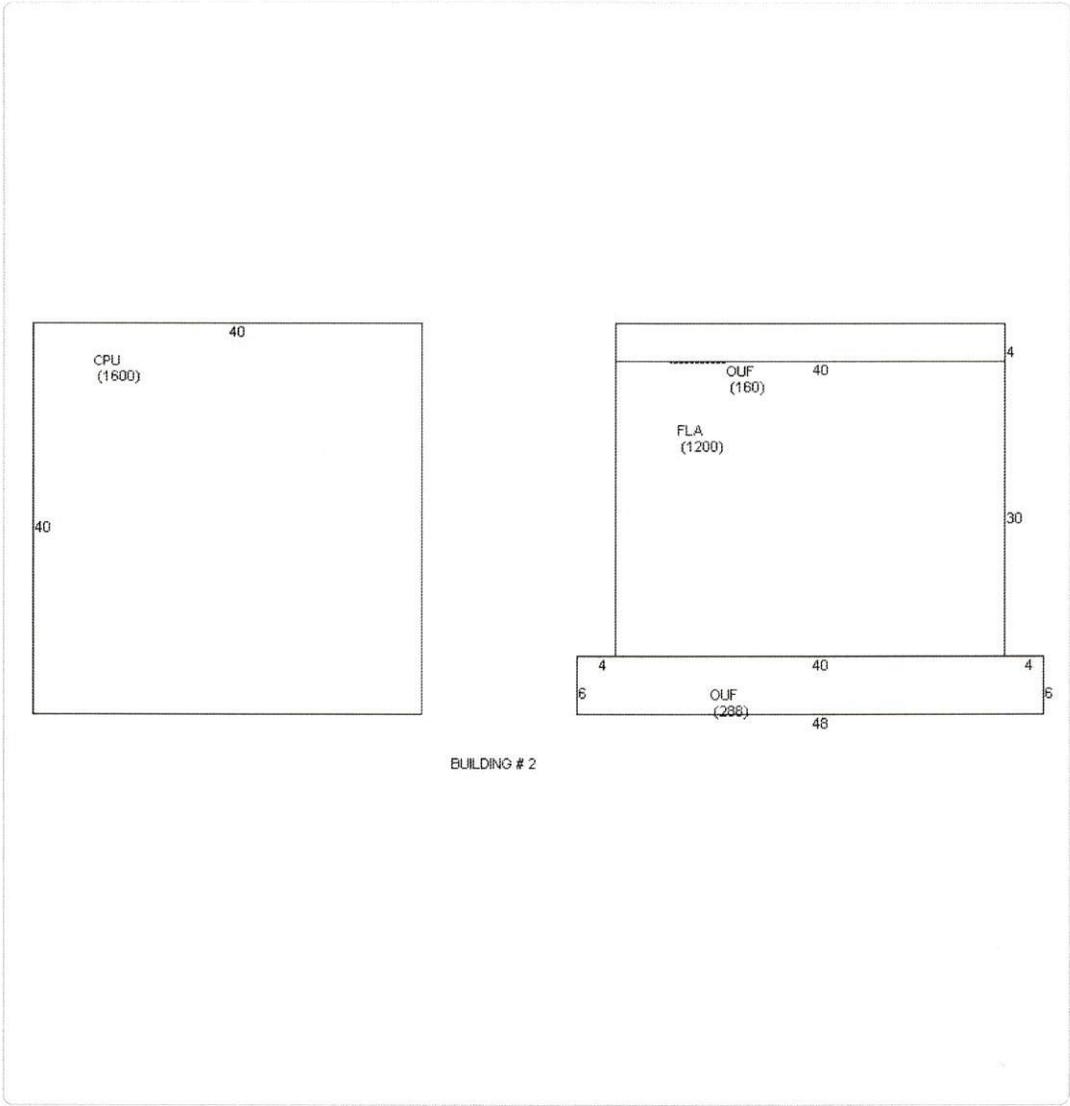
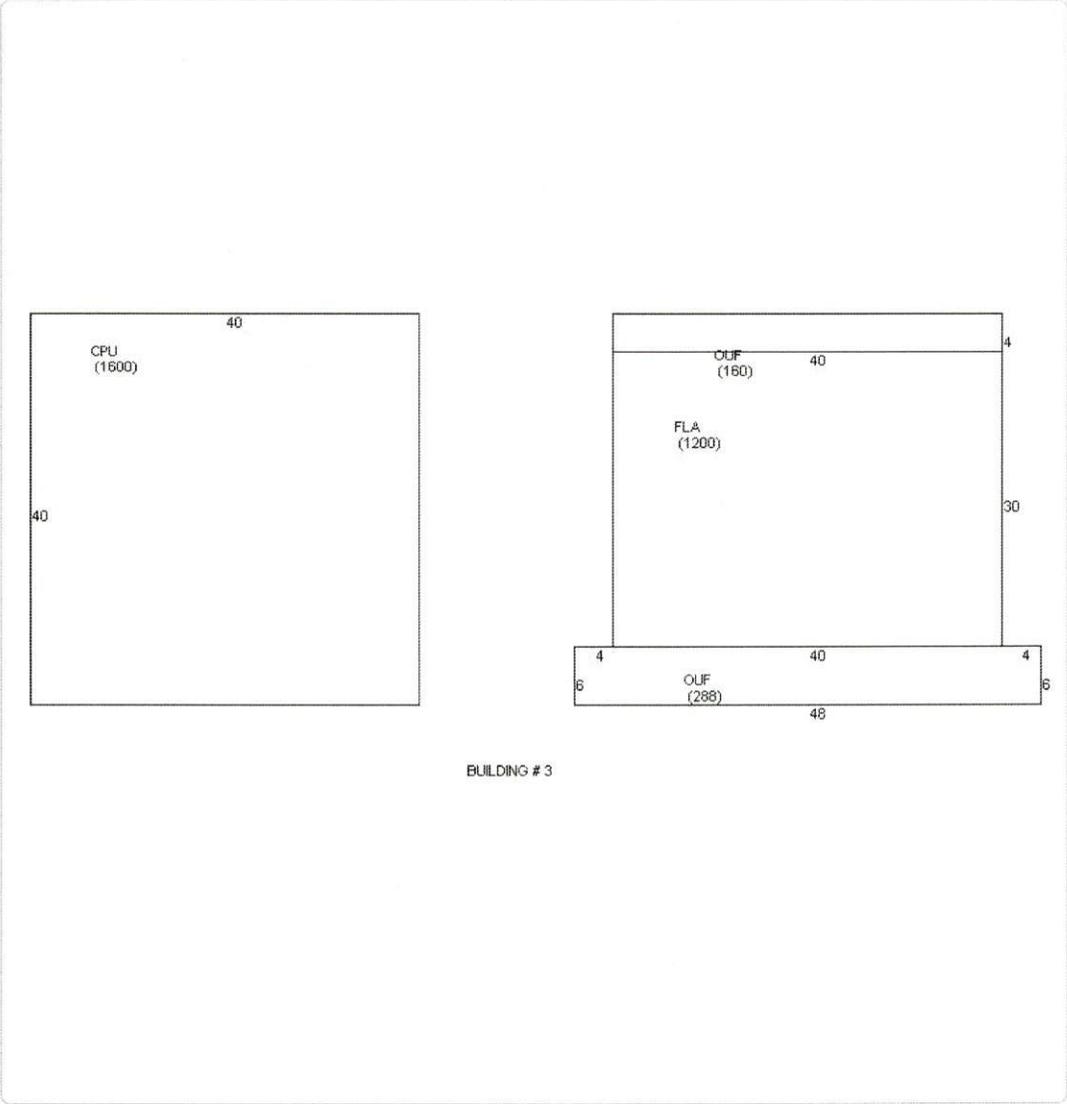


Exhibit 2





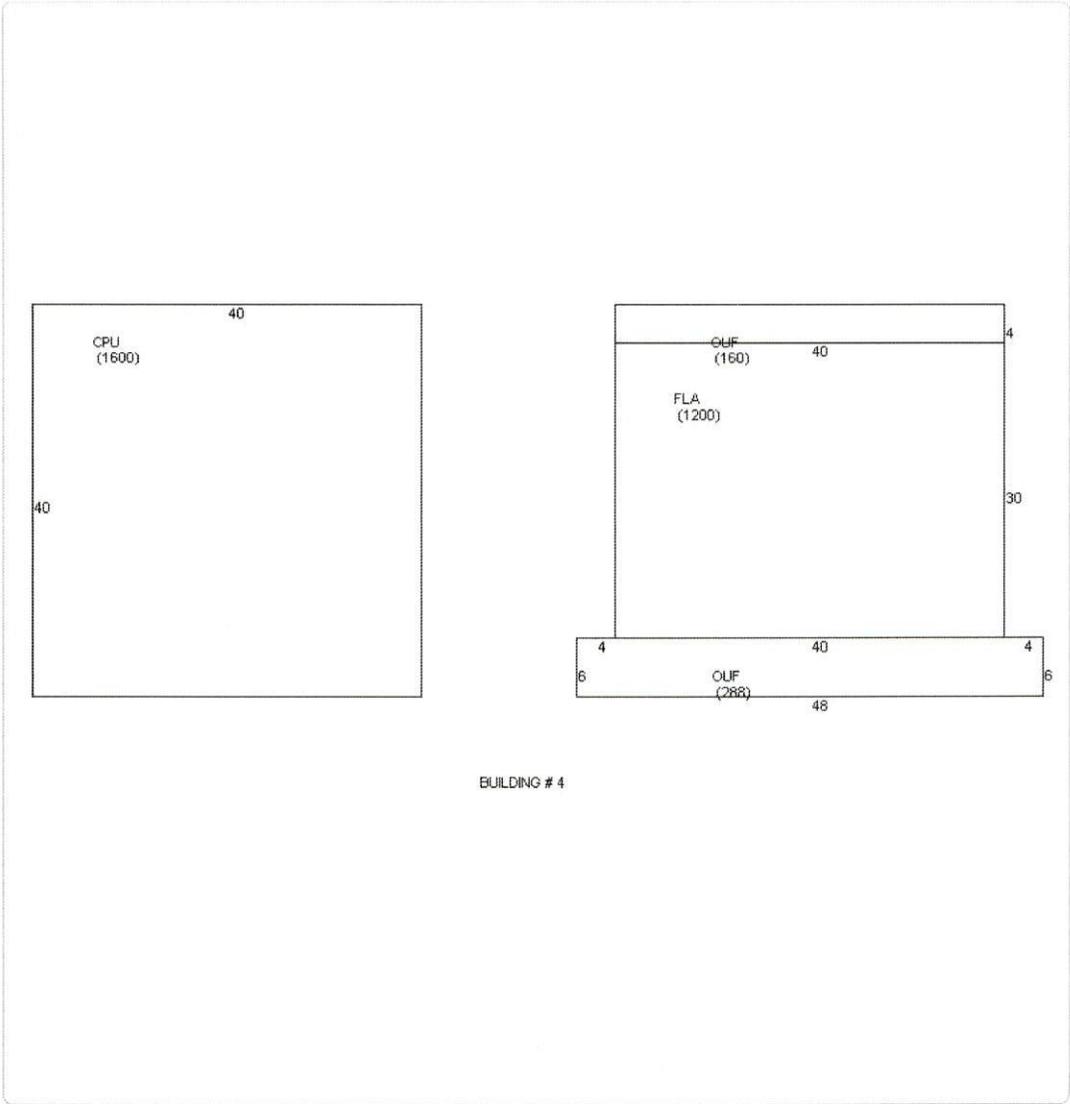


Exhibit 2

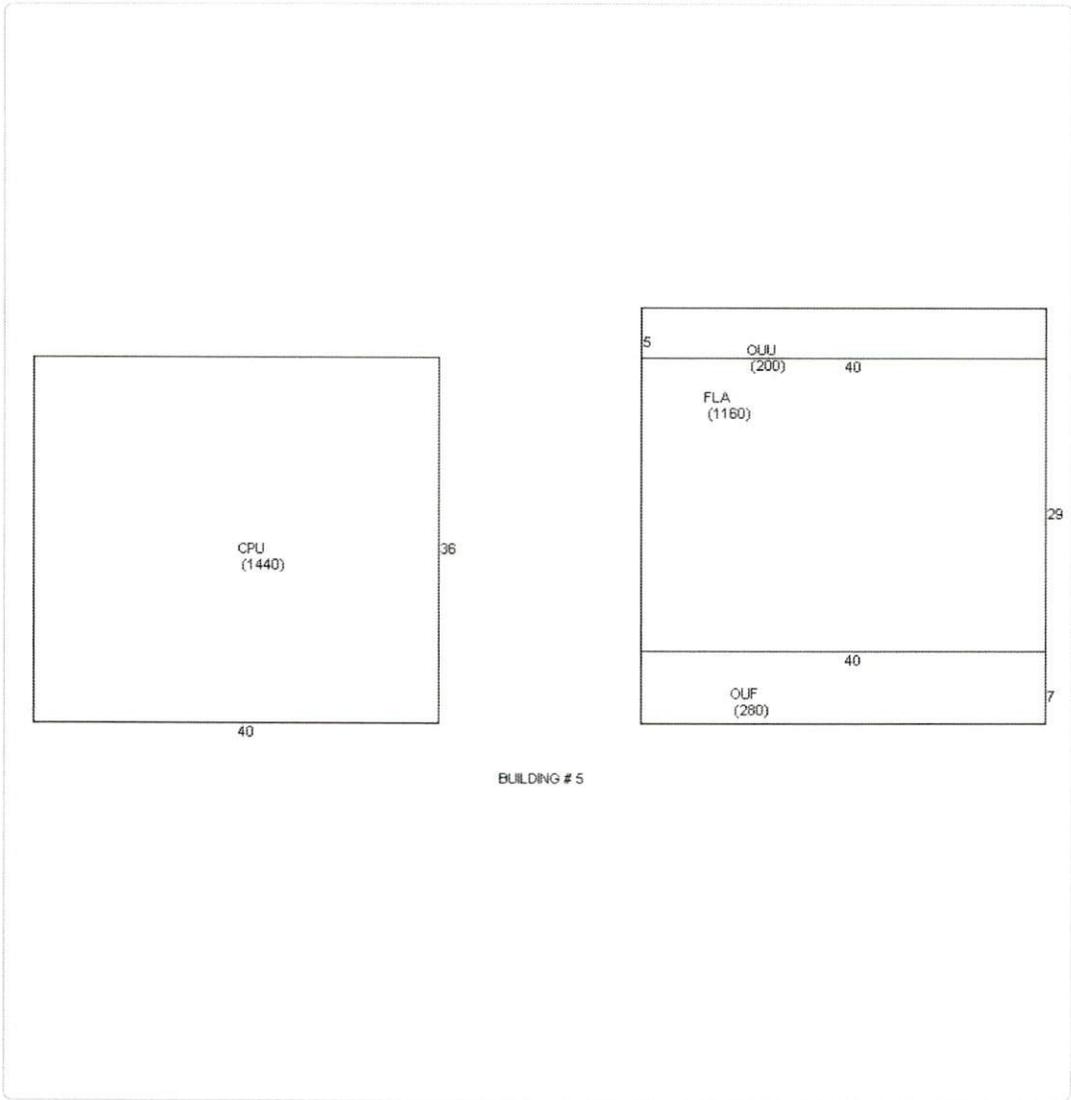
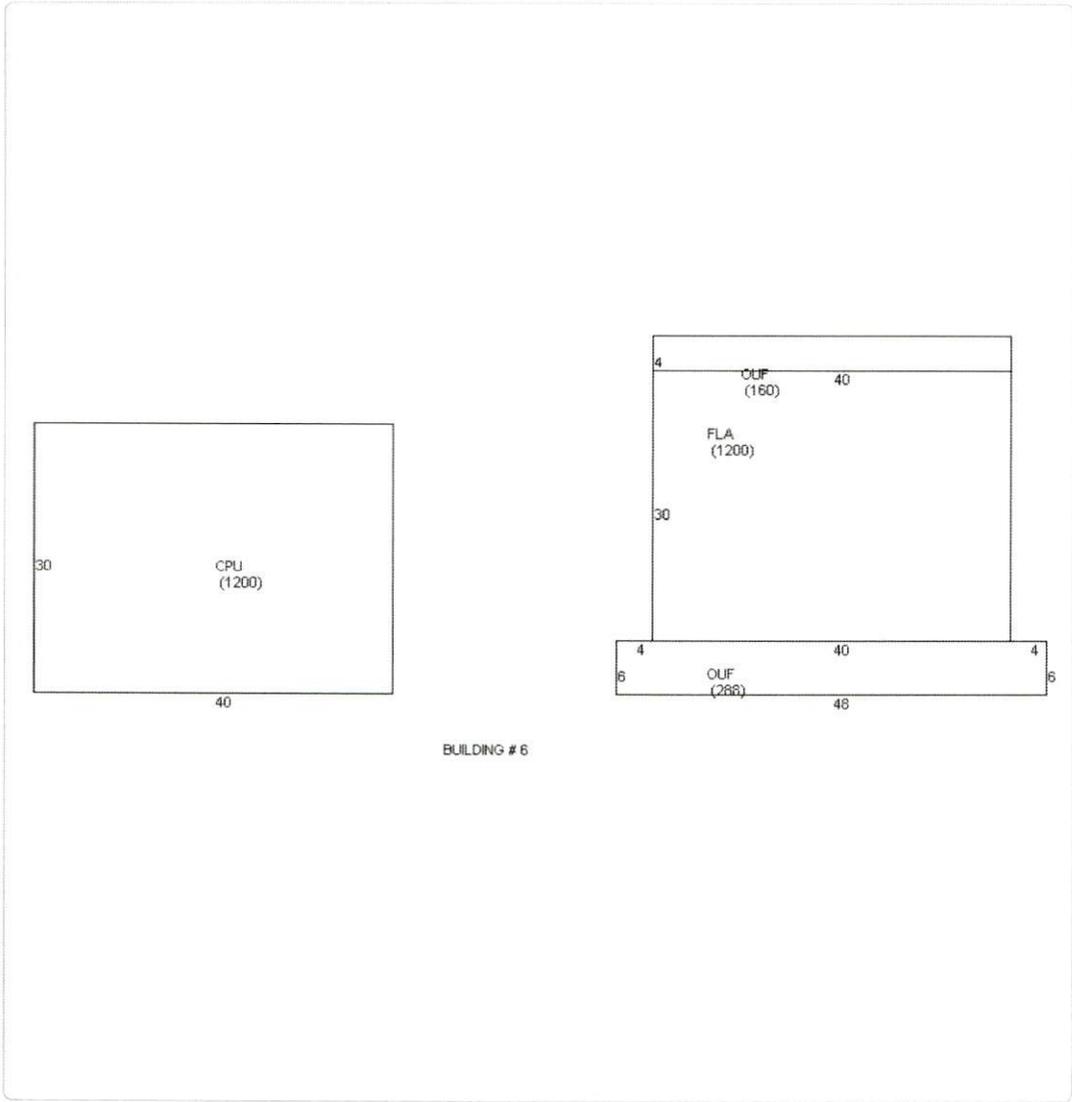
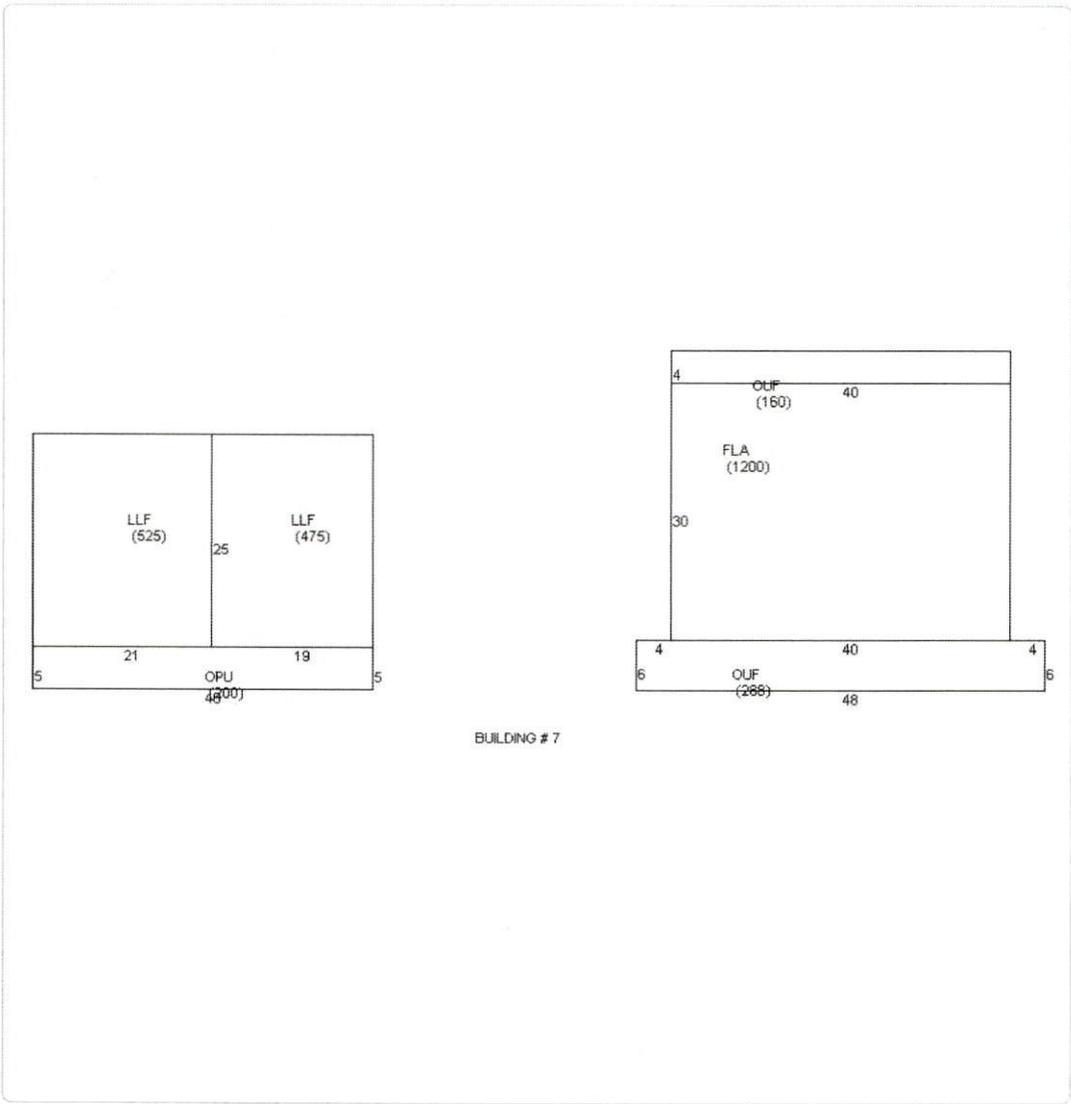


Exhibit 2

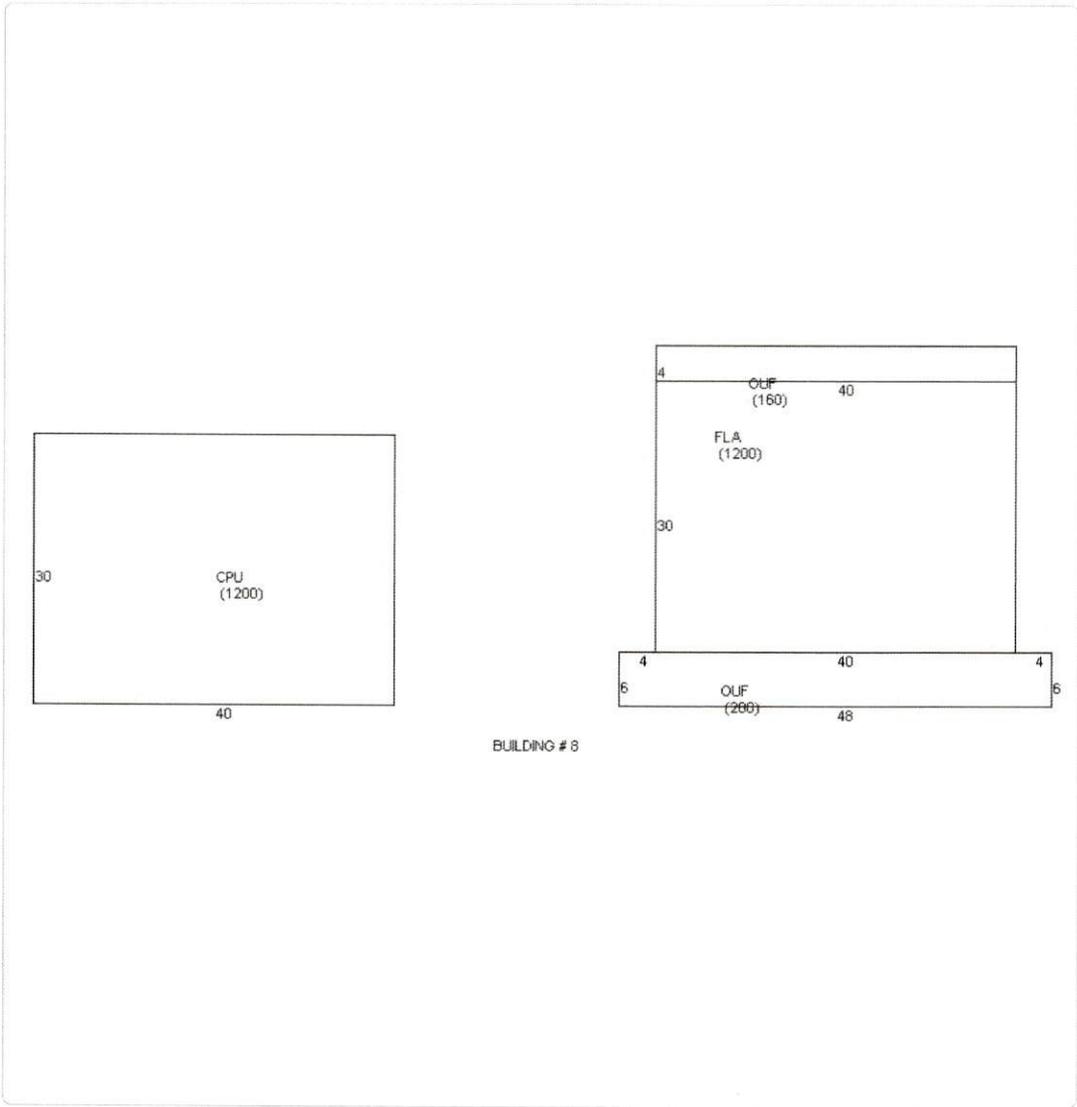


BUILDING # 6

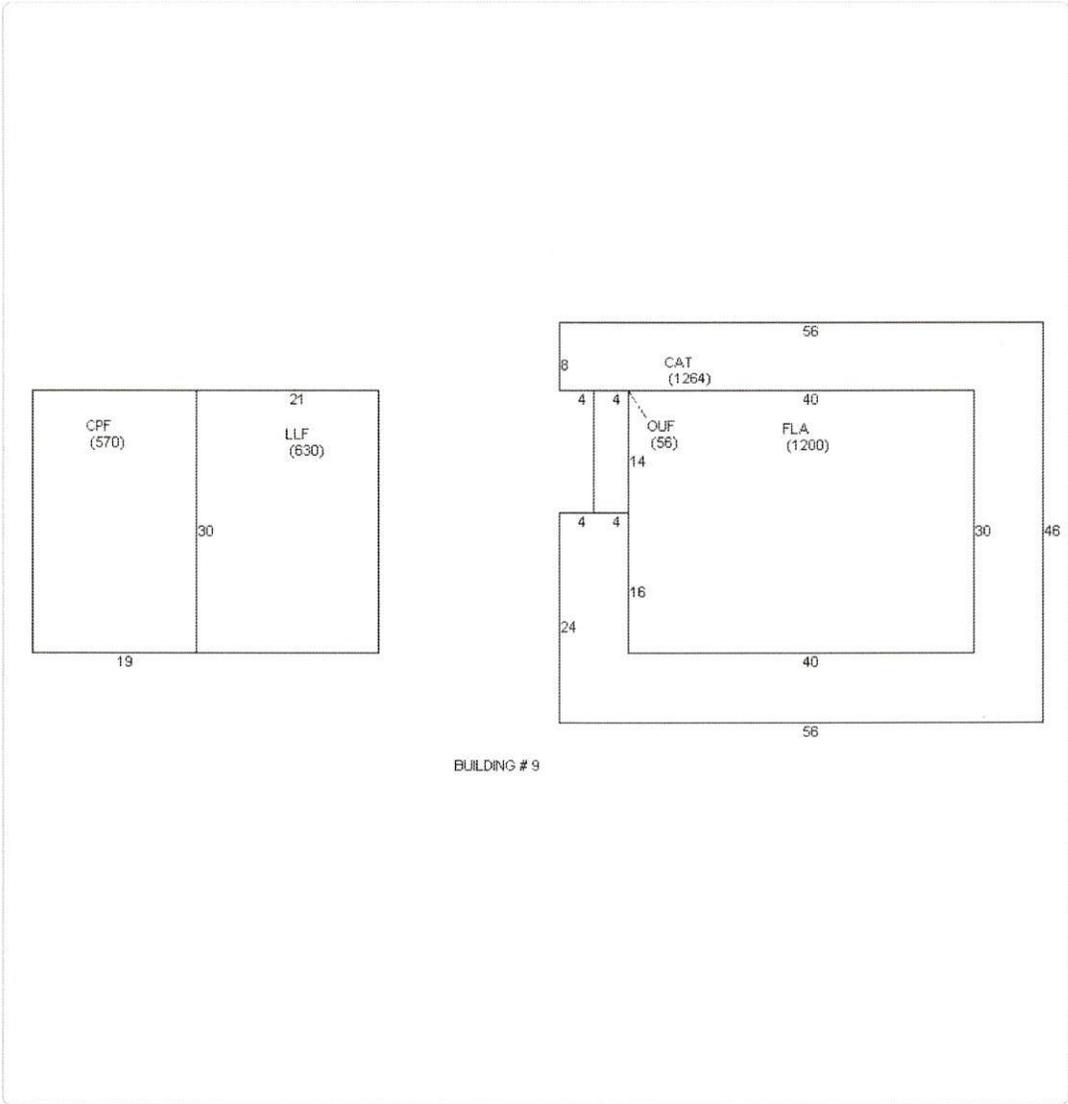
Exhibit 2



BUILDING # 7



BUILDING # 8



BUILDING # 9

Photos



Map



TRIM Notice

[2023 TRIM Notice \(PDF\)](#)

The Monroe County Property Appraiser's office maintains data on property within the County solely for the purpose of fulfilling its responsibility to secure a just valuation for ad valorem tax purposes of all property within the County. The Monroe County Property Appraiser's office cannot guarantee its accuracy for any other purpose. Likewise, data provided regarding one tax year may not be applicable in prior or subsequent years. By requesting such data, you hereby understand and agree that the

[| User Privacy Policy](#) | [GDPR Privacy Notice](#)

Last Data Upload: 5/10/2024, 7:28:22 AM

Contact Us



Doc# 2213145 03/29/2019 1 49PM
Filed & Recorded in Official Records of
MONROE COUNTY KEVIN MADOK

Prepared by and return to
David Van Loon
Attorney at Law
Highsmith & Van Loon, P A
3158 Northside Drive
Key West, FL 33040
305-296-8851
File Number 1909-019
Will Call No

03/29/2019 1 49PM
DEED DOC STAMP CL Brit \$18,620 00

Doc# 2213145
Bk# 2956 Pg# 134

Parcel Identification No 00127510-000000

[Space Above This Line For Recording Data]

Warranty Deed

(STATUTORY FORM SECTION 689 02 F S)

This Indenture made this 29th day of March, 2019 between Edith Losley as Trustee(s) of the Edith Losley Declaration of Trust dated 09/20/1999 whose post office address is 1018 17th Street, East Rockland Key, FL 33040 of the County of Monroe, State of Florida, grantor*, and 6630 Maloney, LLC, a Florida limited liability company whose post office address is 45 NW 21 Street, Miami, FL 33127 of the County of Miami-Dade, State of Florida, grantee*,

Witnesseth that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10 00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Monroe County, Florida, to-wit

Lots 1 through 25, inclusive, Blue Waters Subdivision, according to the map or plat thereof as recorded in Plat Book 4, Page 151, Public Records of Monroe County, Florida

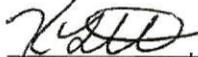
Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the constitution of the state of Florida, nor is it contiguous to or a part of homestead property

and said grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons whomsoever

* Grantor' and Grantee are used for singular or plural as context requires

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written

Signed, sealed and delivered in our presence


Witness Name Kasey Liberatore


Edith Losley, Trustee

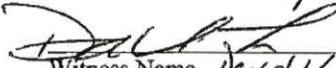

Witness Name David Van Loon

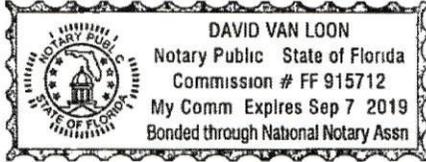
Exhibit 2

Doc# 2213145
Bk# 2956 Pg# 135

State of Florida
County of Monroe

The foregoing instrument was acknowledged before me this 29th day of March, 2019 by Edith Losley as Trustee(s) of the Edith Losley Declaration of Trust dated 09/20/1999, who is personally known or has produced a driver's license as identification

[Notary Seal]





Notary Public

Printed Name David Van Loon

My Commission Expires 9-7-19

MONROE COUNTY
OFFICIAL RECORDS



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company
6630 MALONEY, LLC

Filing Information

Document Number	L19000050924
FEI/EIN Number	83-3619027
Date Filed	02/20/2019
Effective Date	02/20/2019
State	FL
Status	ACTIVE

Principal Address

6630 Maloney Ave.
1-25
Stock Island, FL 33040

Changed: 01/29/2020

Mailing Address

45 NW 21st Street
Miami, FL 33127

Changed: 01/29/2020

Registered Agent Name & Address

COHEN, JOSEPH
45 NW 21ST STREET
MIAMI, FL 33127

Authorized Person(s) Detail

Name & Address

Title MGR

COHEN, JOSEPH
45 NW 21ST STREET
MIAMI, FL 33127

Annual Reports

Report Year	Filed Date
2021	07/27/2021

Exhibit 2

2022	04/07/2022
2023	01/16/2023

Document Images

01/16/2023 – ANNUAL REPORT	View image in PDF format
04/07/2022 – ANNUAL REPORT	View image in PDF format
07/27/2021 – ANNUAL REPORT	View image in PDF format
01/29/2020 – ANNUAL REPORT	View image in PDF format
02/20/2019 – Florida Limited Liability	View image in PDF format

**MONROE COUNTY, FLORIDA
PLANNING AND ENVIRONMENTAL RESOURCES DEPARTMENT**



Ownership Disclosure of Interest

Pursuant to Section 101-6 of the Land Development Code, this form shall accompany land-use related applications. The intent is to disclose the identity of true parties in interest to the public, thereby enabling the public to ascertain which parties will potentially benefit.

Any person or entity holding real property in the form of a partnership, limited partnership, corporation, assignment of interest, trust, option, assignment of beneficial or contractual interest, or any form of representative capacity whatsoever for others, except as otherwise provided, shall, during application submittal for a specified application types, make a public disclosure, in writing, under oath, and subject to the penalties prescribed for perjury. Exemptions to the requirements of this section include the beneficial interest which is represented by stock in corporations registered with the federal securities exchange commission or in corporations registered pursuant to Chapter 517, Florida Statutes, whose stock is for sale to the general public.

This written disclosure shall be made to the planning director at the time of application. The disclosure information shall include the name and address of every person having a beneficial or contractual interest in the real property, however small or minimal.

- If the property is owned fee simple by an INDIVIDUAL, tenancy by the entirety, tenancy in common, or joint tenancy, list all parties with an ownership interest as well as the percentage of such interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If the property is owned by a CORPORATION, list the officers and stockholders and the percentage of stock owned by each. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>
Joseph Cohen, MGR	100%

Exhibit 2

- If the property is in the name of a TRUSTEE, list the beneficiaries of the trust with the percentage of interest. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* In the case of a trust, the four largest beneficiaries must also sign the affidavit.

- If the property is in the name of a GENERAL or LIMITED PARTNERSHIP, list the name of the general and/or limited partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

- If there is a CONTRACT FOR PURCHASE, with an individual or individuals, a Corporation, Trustee, or a Partnership, list the names of the contract purchasers below, including the officers, stockholders, beneficiaries, or partners. (Use additional sheets if necessary):

<i>Name and Address</i>	<i>% of Ownership</i>

* Please provide date of contract _____

- If any contingency clause or contract terms involve additional parties, list all individuals or officers, if a corporation, partnership, or trust. (Use additional sheets if necessary):

<i>Name and Address</i>

By signing this form, the signer certifies that he or she is a person who is familiar with the information contained in the form, and that to the best of his or her knowledge such information is true, complete and accurate.

Printed Name / Signature of Person Completing Form: Thomas Francis-Siburg

STATE OF FLORIDA

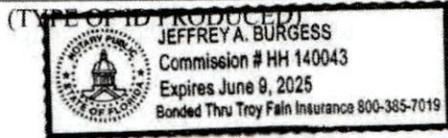
COUNTY OF MONROE

Sword to and subscribed before me, by means of either physical presence OR online notarization,

on 7 day of JUNE, 2024, by THOMAS FRANCIS-SIBURG
(PRINT NAME OF PERSON MAKING STATEMENT)

Who is personally known to me OR produced N/A as identification.

[Signature]
SIGNATURE OF NOTARY PUBLIC



PRINT, TYPE OR STAMP COMMISSIONED NAME OF NOTARY PUBLIC MY COMMISSION EXPIRES:

AGENT AUTHORIZATION FORM

Date of Authorization: 5 / 10 / 2024
Month Day Year

I hereby authorize Owen Trepanier & Thomas Francis-Siburg of Trepanier & Associates, Inc. be listed as authorized agent
(Print Name of Agent)

representing 6630 Maloney LLC for the application submission
(Print Name of Property Owner(s) the Applicant(s))

of Letter of Development Rights Determination
(List the Name and Type of applications for the authorization)

for the Property described as: (if in metes and bounds, attach legal description on separate sheet)

1-25 Blue Waters Stock Island

Lot Block Subdivision Key (Island)

00127510-000000 1161691

Real Estate (RE) / Parcel ID Number Alternate Key Number

6630 Maloney Avenue, Key West, FL 33040 5

Street Address (Street, City, State & Zip Code) Approximate Mile Marker

Authorized Agent Contact Information:

1421 First Street, Key West, FL 33040

Mailing Address (Street, City, State and Zip Code)

305-293-8983

thomas@owentrepanier.com

Work Phone Home Phone Cell Phone Email Address

This authorization becomes effective on the date this affidavit is notarized and shall remain in effect until terminated by the undersigned. This authorization acts as a durable power of attorney only for the purposes stated. The undersigned understands the risks and liabilities involved in the granting of this agency and accepts full responsibility for any and all of the actions of the agent named herein related to the processing of the services requested, application(s) and/or the acquisition of approvals/permits for the aforementioned applicant. The applicant(s) hereby indemnifies and holds harmless Monroe County, its officers, agents and employees for any damage to applicant caused by its agent or arising from this agency authorization.

Note: Agents must provide a notarized authorization from ALL current property owners.

Signature of Property Owner: [Signature]

Date: 5/10/24

STATE OF FLORIDA

COUNTY OF MONROE

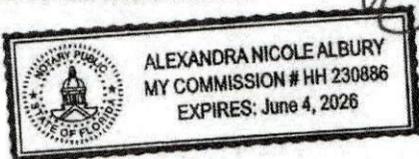
Sword to and subscribed before me, by means of either [X] physical presence OR [] online notarization,

on 10th day of MAY, 2024, by Joseph Cohen
(PRINT NAME OF PERSON MAKING STATEMENT)

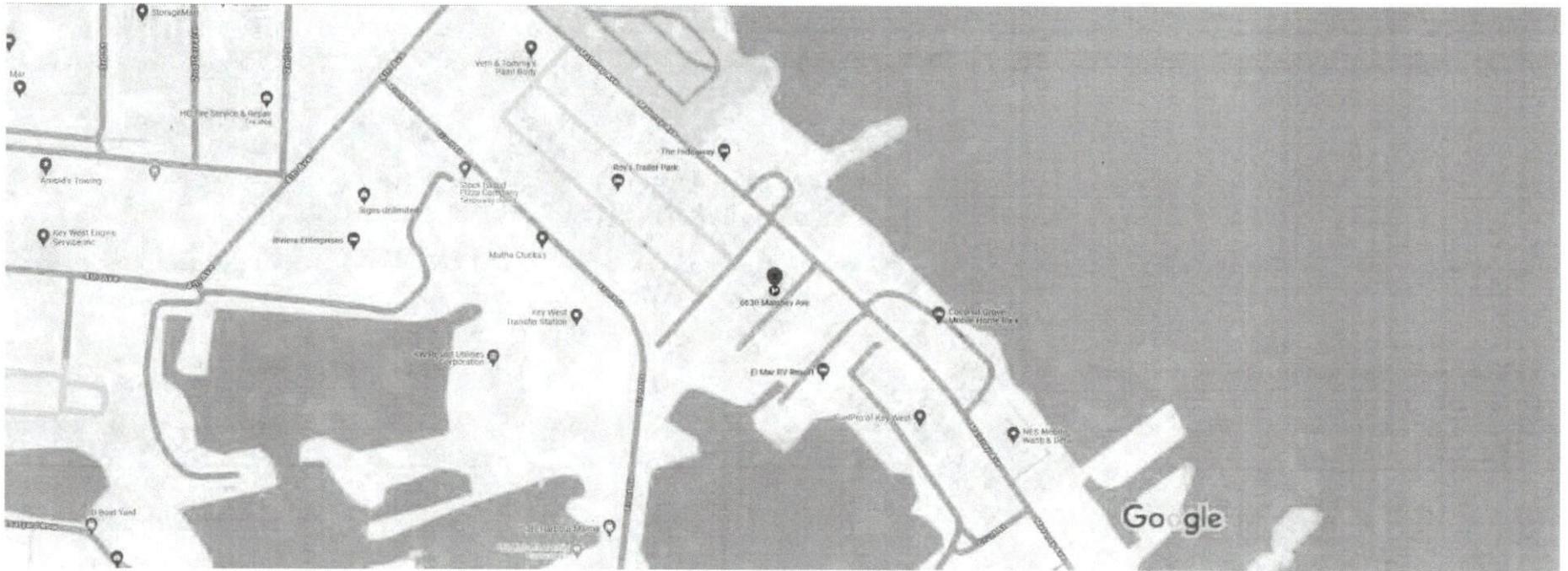
Who is [X] personally known to me OR [] produced _____ as
(TYPE OF ID PROVIDED)
identification.

[Signature] SIGNATURE OF NOTARY PUBLIC

Alexandra Albury
PRINT, TYPE OR STAMP COMMISSIONED
NAME OF NOTARY PUBLIC
MY COMMISSION EXPIRES:



Google Maps 6630 Maloney Ave



Map data ©2024 Google 200 ft



Exhibit 2





Exhibit 2





Exhibit 2



Exhibit 2

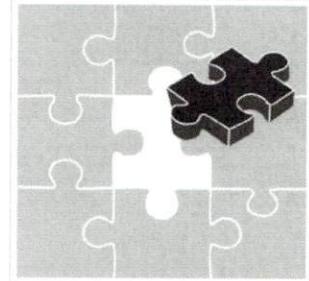




Exhibit 2







LETTER OF DEVELOPMENT RIGHTS DETERMINATION ANALYSIS

Date: June 4, 2024
To: Ms. Emily Schemper, Senior Director of Planning and Environmental Resources, Monroe County
From: Thomas Francis-Siburg, AICP
CC: 6630 Maloney, LLC
Mr. Van Fischer, Esq.
Mr. Owen Trepanier
Re: **6630 Maloney Avenue 1-25, Stock Island (RE# 00127510-000000)**
LDRD: Historical, Nonconforming & Conditional Uses & Structures,
ROGO-Exempt Units and NROGO-Exempt Floor Area



CONCLUSION (from page 10)

Trepanier and Associates analyzed public records associated with the property to identify existing and exempt rights of the property, in part to resolve code enforcement case no. CE22070036.

Upon concluding research, records indicate:

- The property has 17-18 ROGO-exempt dwelling units.
- The property has nonconforming residential uses in the form of 18 attached dwelling units (9 duplex structures).
- The property has approx. 1,500 sq. ft. of NROGO-exempt floor area. And,
- The property has lawfully existing nonresidential commercial floor area that if damaged or destroyed can be redeveloped, reestablished or substantially improved as an amendment to a major conditional use.

I. SUMMARY

6630 Maloney Avenue (RE No. 00127510-000000) has an open code enforcement case no. CE22070036. This analysis seeks to identify existing and exempt rights of the property, in part to resolve this code case.

The property is located in the Urban Residential – Mobile Home (“URM”) zoning district.

Public records of the property demonstrate the following:

The property is part of the Blue Water Subdivision of 6630 Maloney Avenue, and has 25 platted lots.

Residential Uses and Structures –

The property has 17 residential units approved by permit and agreement with the County to exist onsite on or about 7/13/1992 which we believe are ROGO-exempt dwelling units. 18 residential units exist today.

The property had eight 2-unit (duplex) structures approved to be constructed on or about 8/27/1986 and fully constructed since 1990; a one 1-unit (SFR) structure approved to be constructed onsite on or about 6/20/1989 and fully constructed in 1994. When the 8 duplex structures were permitted, the property was zoned Multiple-Family Residential (“RU-3”), and duplexes were permitted uses in the RU-3 zoning district. Subsequent ordinances rezoned the property URM; only detached residential structures are permitted and all existing duplex structures were rendered nonconforming uses and structures. Therefore, the property has lawfully existing nonconforming structures for the approved 8 duplex structures that predate 9/15/1986 and a lawfully existing conforming use and structure for the approved 1 single-family home that predates 7/13/1992.

Nonresidential Uses and Structures –

The property has 1,500 sq. ft. of NROGO-exempt floor area nonresidential commercial floor area on or about 9/19/2001.

The property has had nonresidential activity onsite since at least 1959. County licensing supports continuous commercial contractor business activity onsite from 10/09/1973 through 11/01/2018. Further, available aerial photographs indicate nonresidential structures existing since at least 1959 and aerial photographs from 1994 and 2006 (bookending 2001) indicate approximately 1,500 sq. ft. of nonresidential floor area existed on the property. Zoning was not established in Monroe County until 1960 and available records indicate in 1960 the property was zoned as RU-3. RU-3 permitted business and commercial uses when located in apartment and hotel structures. The nonresidential commercial contractor business use was an allowed use, however the structures of the commercial business would have been rendered nonconforming with the adoption of zoning. Subsequent ordinances rezoned the property URM. Under URM, commercial and/or office uses of low and medium intensity and of less than 2,500 sq. ft. floor area that was lawfully established prior 1/04/1996 which are damaged or destroyed may be redeveloped, make substantial improvements, or be reestablished as an amendment to a major conditional use. Therefore, the property has lawfully existing commercial nonresidential uses and a corresponding approx. 1,500 sq. ft. nonresidential floor area that predates 9/19/2001.

II. ANALYSIS

A. CHAPTER 102 – ADMINISTRATION: ARTICLE III. - NONCONFORMITIES

Sec. 102-55. – Registration.

(a) Identification, recognition, and registration:

- 6630 Maloney Avenue 1-25 (RE# 00127510-000000) has existing lawful nonconforming land uses and structures.

(b) Evidence documentation review:

(1) Any other issued Monroe County building permit(s) approving or supporting the existence of the structure(s) and/or use:

- Nonresidential – No permits available.
- Residential –

Building Permit	Note(s)	Units	Exhibit
#A-11872 Submission Date: 4/09/1984 Issue Date: 5/29/1984 CO#: 89-211 Date: 8/23/1989	Zoning: RU-3, add 4 Units – SFR Application contemplated converting 4 SFR structures into attached (duplex/townhome) structures. As part of permit application: - Former property owner Mr. Fred Losley provided: • Signed & notarized letter stating he will upgrade the septic / sewer system if/when the SFR units are converted to two-unit structures as required by code. • Signed & notarized letter with each State septic / sewer application stating when Stock Island sewer system is available he will connect to sewer system. - KW Resort Utilities provided: • Letter conforming sewage facility can handle project capacity. - Site plan drawings: • Private driveway along exterior perimeter of structures	Applied to construct 4 (SFR) Units to be 8 Units (four 2-unit structures) when connecting to sewer. Sewer connection approved: 2/10/1989, prior to CO date. Total Units = 8 units (four 2-unit structures)	A
#A-15950 Submission Date: 5/14/1986 Issue Date: 8/27/1986 CO#: 90-45 Date: 8/30/1990	Zoning: RU-3, add 4 Units – SFR Application contemplated converting new 4 SFR structures into attached (duplex/ townhome) structures. As part of permit application: - Former property owner Mr. Fred Losley provided: • Plans as "Phase 2" of previous permit project (i.e., SFR units to be two-unit structures). - Permit Review Checklist includes: • Notes from County reviewer that project reviewed for compliance with duplexes and RU-4 zoning criteria. - KW Resort Utilities provided: • Letter mains and service connected for the 8 units. - Site plan drawings: • Private driveway along exterior perimeter of structures	Applied to construct 4 more (SFR) Units to be 8 Units (four 2-unit structures). Total Units = 8 + 8 = 16 units (eight 2-unit structures)	B

Exhibit 2

<p>#891000344</p> <p>Submission Date: 12/29/1988</p> <p>Issue Date: 2/10/1989</p>	<p>Zoning: URM, application states: "Sewer connection"</p> <p>As part of permit application: - KW Resort Utilities provided:</p> <ul style="list-style-type: none"> • Letter conforming sewage facility can handle project capacity. <p>- Permit Review includes:</p> <ul style="list-style-type: none"> • Permit is for 4 units. • Add 8 sewer connections. <p>- Site plan drawings:</p> <ul style="list-style-type: none"> • Private driveway along exterior perimeter of structures <p>- Sewer plan drawings:</p> <ul style="list-style-type: none"> • Eight existing residential structures tied into sewer line 	<p>8 sewer connections for 4 units.</p>	<p>C</p>
<p>#891000866</p> <p>Submission Date: 4/13/1989</p> <p>Issue Date: 6/20/1989</p>	<p>Zoning: URM, application states: "To pour slab 30x40 ft under ex. house"</p> <p>As part of permit application: - Permit Review includes:</p> <ul style="list-style-type: none"> • "Under existing SFR". 	<p>For 1 house.</p>	<p>D</p>
<p>#9110003012</p> <p>Submission Date: 6/19/1991</p> <p>Issue Date: 6/24/1992</p> <p>CO#: 94-100066 Date: 6/09/1994</p>	<p>Zoning: URM, add 1 SFR on lots 13-15 of Bluewater Subdivision.</p> <p>- Site plan drawings:</p> <ul style="list-style-type: none"> • Private driveway in interior of (between) structures 	<p>Applied to construct 1 (SFR) unit.</p> <p>Total Units = 16 + 1 = 17 units (eight 2- unit structures + one 1-unit structure)</p>	<p>E</p>
<p>#07102116</p> <p>Submission Date: 5/03/2007</p> <p>Issue Date:</p>	<p>Zoning: URM, application states: Connect sewer x4 (units 1-4).</p> <p>As part of permit application: - Sewer plan drawings:</p> <ul style="list-style-type: none"> • 5 homes previously connected • 4 homes to be disconnected from septic tank and connected to sewer <p>- 2006/2007 MCPA Report Card</p> <ul style="list-style-type: none"> • Bldg 1 of 9: R2, built 1986 • Bldg 2 of 9: R2, built 1987 • Bldg 3 of 9: R2, built 1987 • Bldg 4 of 9: R2, built 1987 • Bldg 5 of 9: R2, built 1989 • Bldg 6 of 9: R2, built 1990 • Bldg 7 of 9: R2, built 1990 • Bldg 8 of 9: R2, built 1990 • Bldg 9 of 9: R1, built 1994 	<p>4 sewer connections for 4 homes (in addition to previous 8). 12 homes connected to sewer.</p> <p>17 units (eight 2-unit structures + 1 SFR unit structure).</p>	<p>F</p>
<p>#08102302</p> <p>Submission Date: 6/20/2008</p> <p>Issue Date: 6/20/2008</p>	<p>Application states: "To repair electrical service 100 amp".</p> <p>As part of permit application: - 2007/2008 MCPA Report Card</p> <ul style="list-style-type: none"> • Bldg 1 of 9: R2, built 1986 • Bldg 2 of 9: R2, built 1987 • Bldg 3 of 9: R2, built 1987 • Bldg 4 of 9: R2, built 1987 • Bldg 5 of 9: R2, built 1989 • Bldg 6 of 9: R2, built 1990 	<p>17 units (eight 2-unit structures + 1 SFR unit structure).</p>	<p>G</p>

Exhibit 2

	<ul style="list-style-type: none"> Bldg 7 of 9: R2, built 1990 Bldg 8 of 9: R2, built 1990 Bldg 9 of 9: R1, built 1994 		
#11105292 Submission Date: 10/26/2011 Issue Date: 11/28/2011	Zoning: URM, application states: pave existing limerock base with asphalt. - Site plan drawings: <ul style="list-style-type: none"> Private driveway in interior of (between) structures 	-	H
#22100849 Submission Date: 3/24/2022 Issue Date: 3/28/2022	Application states: "Electrical safety reconnect permit. Units 2-A, 3-A, 6-B, 8-B." As part of permit application: - Site plan includes sketch of units and work location: <ul style="list-style-type: none"> 9 residential structures. Each residential structures has 2 residential electrical meters, total of 18 residential meters: 1A, 1B, 2A, 2B, 3A, 3B, 4A, 4B, 5A, 5B, 6A, 6B, 7A, 7B, 8A, 8B, 9A, 9B. 	18 units (nine 2-unit structures).	I

(2) Documentation from the Monroe County Property Appraiser's Office supporting the existence of the structure(s) and/or use;

- Nonresidential – No MCPA Report Cards available.
- Residential –

MCPA Report Card Date	Building No.	Building Type	No. of Units	Year Built	Exhibit
10/22/1992	1 of 8	R2 M.F.	2	1986	J
	2 of 8	R2 M.F.	2	1987	
	3 of 8	R2 M.F.	2	1987	
	4 of 8	R2 M.F.	2	1987	
	5 of 8	R2 M.F.	2	1989	
	6 of 8	R2 M.F.	2	1990	
	7 of 8	R2 M.F.	2	1990	
	8 of 8	R2 M.F.	2	1990	
7/20/1996	1 of 9	R2 M.F.	2	1986	K
	2 of 9	R2 M.F.	2	1987	
	3 of 9	R2 M.F.	2	1987	
	4 of 9	R2 M.F.	2	1987	
	5 of 9	R2 M.F.	2	1989	
	6 of 9	R2 M.F.	2	1990	
	7 of 9	R2 M.F.	2	1990	
	8 of 9	R2 M.F.	2	1990	
	9 of 9	R1 S.F.R.	1	1994	
5/03/2007	1 of 9	R2	2	1986	L
	2 of 9	R2	2	1987	
	3 of 9	R2	2	1987	
	4 of 9	R2	2	1987	
	5 of 9	R2	2	1989	
	6 of 9	R2	2	1990	
	7 of 9	R2	2	1990	
	8 of 9	R2	2	1990	
	9 of 9	R1	1	1994	

Exhibit 2

6/20/2008	1 of 9	R2	2	1986	M
	2 of 9	R2	2	1987	
	3 of 9	R2	2	1987	
	4 of 9	R2	2	1987	
	5 of 9	R2	2	1989	
	6 of 9	R2	2	1990	
	7 of 9	R2	2	1990	
	8 of 9	R2	2	1990	
	9 of 9	R1	1	1994	

(3) Aerial photographs and original dated photographs showing the structure or land use existed on site:

Photo Date	Source	Note(s)	Exhibit
2/22/1959	FDOT APLUS	8+ cargo trailers, Disturbed, Cleared land	N
12/30/1985	FDOT APLUS	10+ cargo trailers, Disturbed, Cleared land, including southern corner of property	O
3/11/1994	FDOT APLUS	11 Structures – 9 are approximately same size (coincides with permit activities for 9 residential structures) and 2 are smaller structures (approx. 1,500 sq. ft. floor area) in southern corner of property	P
1/01/2003	FDOT APLUS	Same as in 1994	Q
3/08/2006	FDOT APLUS	Same as in 1994	R

(4) State and/or county licenses, supporting the existence of the structure(s) and/or land use.

Business Tax Account#	Date(s)	Name – Business / Owner	Business Address	Use & Notes	Exhibit
#301	10/09/1973-11/01/2018	Summerland Electric / Fred A Losley	6630 Maloney Ave	Contractor (nonresidential)	S
#29666	8/05/1993-9/17/2007	Blake's Quality Paintin / Blake Wells	6630 Maloney Ave	Contractor (nonresidential)	T
#88776	2/25/2004-4/18/2008	Mims James Five Sixes / James Mims	6630 Maloney Ave 3	Public Service Taxi Companies & Drivers	U
#106454	7/15/2011-9/03/2013	Roebuck Akil Saeed-Five Sixes / Akil Saeed Roebuck	6630 Maloney Ave	Public Service Taxi Companies & Drivers	V
#124232	11/02/2018-7/23/2019	Edith L Losley	6630 Maloney Ave	20 Non-Transient Apartments	W

(5) Documentation from the utility providers indicating the type of service (residential or commercial) provided:

- Nonresidential –

Keys Energy Nonresidential / Business Meters		
Connect Date	Unit#	Exhibit
4/29/2019	10C	X

• Residential –

FKAA Submeters			Keys Energy Meters			Key West Resort Utilities Meters			
Connect Date	Unit#	Exhibit	Connect Date	Unit#	Exhibit	Connect Date	Unit#	Exhibit	
2/21/1991	1A	Y	4/22/1980	8	Z	-	1A	AA	
2/21/1991	1B		2/15/1989	4B		-	1B		
2/21/1991	3		10/01/1990	7B		-	2		
2/21/1991	4B		7/30/1992	1B		-	3		
2/21/1991	5		7/13/1993	2B		-	4A		
2/21/1991	6		10/07/1994	10A		-	4B		
2/21/1991	7B		11/28/1995	5A		-	5		
2/21/1991	7C		4/10/1996	3B		-	6		
2/21/1991	8		5/30/1996	6		-	7A		
2/22/1991	2		6/22/1996	11A		-	7B		
2/26/1991	9A		7/15/1996	9B		-	7C		
7/09/2001	4A		5/22/1997	5B		-	8		
4/24/2002	7A		1/08/1998	7A		-	9A		
4/24/2002	9B		5/04/1998	1A		-	9B		
TOTAL		14 FKAA Residential Submeters	5/18/2001	4A		TOTAL		14 KWRU Residential Meters	
			6/24/2008	10C					
			7/08/2008	7D					
			TOTAL						
			17 Keys Energy Residential Meters						

(6) Similar supporting documentation not listed above as determined suitable by the Planning Director:

Date	Document	Notes	Exhibit
8/15/1983 – 9/13/1983	Memo from County Zoning Coordinator to Assistant County Attorney	Attached to memo were survey and plot site plan sketch. The plot site plan sketch identified the presence of trailers in the southern (waterward) portion of the property. (No residences existed onsite. These trailers support aerial imagery and business tax account information for nonresidential commercial activity onsite.)	AB

(c) Once discovered and determined to be lawful, the Planning Director, or his or her designee, shall add recognized lawful nonconforming land uses and structures to an official registry.

B. CHAPTER 138 – RATE OF GROWTH RESTRICTIONS: ARTICLE II. – RESIDENTIAL RATE OF GROWTH LIMITATIONS (ROGO)

Sec. 138-22. – Type of Development Not Affected.

The residential ROGO shall not apply to the development described below:

(a) **Redevelopment on-site.**

(1) Any other issued Monroe County building permit(s) supporting the existence of the structure(s) and its use(s) on or about July 13, 1992:

Exhibit 2

- See above Sec. 102-55(b)(1) for list of building permit documents supporting the existence that 17 units were approved to be constructed prior to, on or about July 13, 1992.
- (2) Documentation from the Monroe County Property Appraiser's Office indicating residential use on or about July 13, 1992:
- See above Sec. 102-55(b)(2) for a list of MCPA report cards supporting the residential existence of eight 2-family (i.e., duplex) residential structures prior to, on or about July 13, 1992, and one 1-family residential structure constructed by 1994, for a total of 17 units.
- (3) Aerial photographs (to confirm the number of structures, not the number or type of dwelling units) and original dated photographs showing the structure(s) existed on or about July 13, 1992:
- See above sec. 102-55(b)(3) for a list of aerial photos dated prior to, on or about July 13, 1992, demonstrating the existence of 11 structures existed by 3/11/1994, 9 of which coincide with permit activities for 9 residential structures.
- (4) Residential county directory entries on or about July 13, 1992:

Directory Year	Address	Unit#	Use	No. of Units	Exhibit
1995	6630 Maloney Avenue	No. 1A	Seasonal Rental	18	AC
		No. 1B	Seasonal Rental		
		No. 2A	Seasonal Rental		
		No. 2B	Seasonal Rental		
		No. 3A	Seasonal Rental		
		No. 3B	Seasonal Rental		
		No. 4A	Seasonal Rental		
		No. 4B	Seasonal Rental		
		No. 5A	Seasonal Rental		
		No. 5B	Seasonal Rental		
		No. 6A	Seasonal Rental		
		No. 6B	Seasonal Rental		
		No. 7A	Seasonal Rental		
		No. 7B	Seasonal Rental		
		No. 8A	Seasonal Rental		
		No. 8B	Seasonal Rental		
		No. 9A	Seasonal Rental		
		No. 9B	Seasonal Rental		

- (5) Rental, occupancy or lease records, on or about July 13, 1992, indicating the number, type and term of the rental or occupancy.
- N/A
- (6) State and/or county licenses, on or about July 13, 1992, indicating the number and types of rental units:
- See above sec. 102-55(b)(4) for a list of county business tax accounts, one of which for the rental of 20 non-transient rental units.

- (7) Documentation from the utility providers indicating the type of service (commercial or residential) provided and the number of meters in existence on or about July 13, 1992:
- See above sec. 102-55(b)(5) for a list of utility providers indicating 14-17 residential units onsite – 14 FKAA residential submeters (12 existing prior to, on or about July 13, 1992), 17 Keys Energy residential meters (4 existing prior to, on or about July 13, 1992), and 14 Key West Resort Utility residential meters.
- (8) Similar supporting documentation not listed above as determined suitable by the Planning Director.
- N/A

C. ARTICLE III. – NONRESIDENTIAL RATE OF GROWTH LIMITATIONS (NROGO)

Sec. 138-50. - Type of Development Not Subject to the NROGO Permit Allocation System.

The NROGO shall not apply to the development described below:

(a) Development with no net increase in nonresidential floor area.

- (1) Any other issued Monroe County building permit(s) supporting the existence of the structure(s) and its use(s) on or about September 19, 2001.
- N/A
- (2) Documentation from the Monroe County Property Appraiser's Office indicating residential use on or about September 19, 2001.
- N/A
- (3) Aerial photographs (to confirm the number of structures, not the type of structure) and original dated photographs showing the structure(s) existed on or about September 19, 2001.
- See above sec. 102-55(b)(3) for a list of aerial photos dated prior to, on or about September 19, 2001, demonstrating the continued presence of nonresidential activities onsite since at least 2/22/1959 through the present. Additionally, since at least 3/11/1994, 2 structures have existed in the southern corner of the property totaling approx. 1,500 sq. ft. floor area.
- (4) Nonresidential County Directory entries on or about September 19, 2001.
- N/A
- (5) Rental, occupancy or lease records, on or about September 19, 2001, indicating the number, type and term of the rental or occupancy.
- N/A

- (6) State and/or county licenses, on or about September 19, 2001, indicating the nonresidential use.
 - See above sec. 102-55(b)(4) for a list of county business tax accounts demonstrating continued nonresidential commercial business activity onsite from at least 1973 through at least 2019.
- (7) Documentation from the utility providers indicating the type of service (commercial or residential) provided and the number of meters in existence on or about September 19, 2001.
 - See above sec. 102-55(b)(5) for a list of utility providers indicating 1 Keys Energy nonresidential business meter onsite.
- (8) Similar supporting documentation not listed above as determined suitable by the Planning Director.
 - See above sec. 102-55(b)(6) for a list of additional documentation supporting historical presence of nonresidential commercial structures existing onsite as of 8/15/1983.

Conclusion

Trepanier and Associates analyzed public records associated with the property to identify existing and exempt rights of the property, in part to resolve code enforcement case no. CE22070036.

Upon concluding research, records indicate:

- The property has 17-18 ROGO-exempt dwelling units.
- The property has nonconforming residential uses in the form of 18 attached dwelling units (9 duplex structures).
- The property has approx. 1,500 sq. ft. of NROGO-exempt floor area. And,
- The property has lawfully existing nonresidential commercial floor area that if damaged or destroyed can be redeveloped, reestablished or substantially improved as an amendment to a major conditional use.

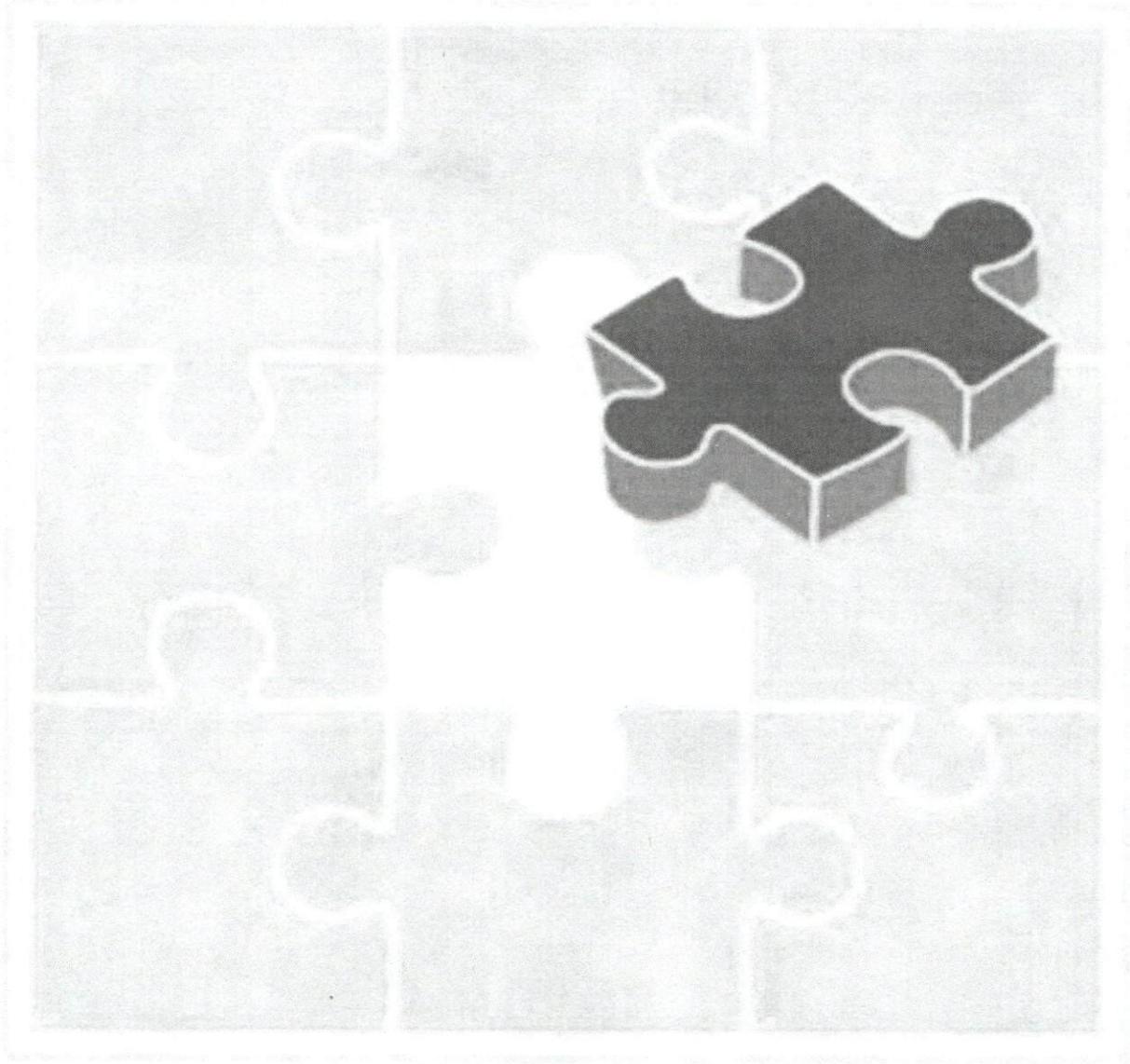


Exhibit A:
BP #A-11872

BUILDING PERMIT
BUILDING AND ZONING DEPARTMENT
OF
MONROE COUNTY FLORIDA

DATE 5/29/84

PERMIT  No 11872

THIS PERMIT SHALL ALLOW WORK (AS DEFINED UNDER WORK DESCRIPTION BELOW AND AS SHOWN AND SPECIFIED ON PLANS SUBMITTED AND ON FILE IN THE BUILDING DEPARTMENT OFFICES) TO BE PERFORMED ON THE FOLLOWING PROPERTY BY THE OWNER LISTED

13, 38 and Northwesterly 1/2 of 14 & 37
LOT _____ BLOCK 46 SUBDIVISION BLUE WATERS SEC 35 T 67 R 25
STREET OR ROAD Maloney Ave , Stock Island

OWNER Fred A Losley PHONE 4-4633

MAILING ADDRESS P O Box 2755, Key West, Fl 33040

CONTRACTOR Veloso Construction CRCO 14292 PHONE 4-2151

MAILING ADDRESS 3501 Flagler Ave , Key West, Fl

WORK DESCRIPTION 4 Units - Single Family Residences - 1200 Sq Ft each unit

REMARKS Aqueduct and No A/C ESTIMATED VALUE \$264,000 00

Zone V-12
Elevation 10'-11' above M S L

Certificate of Elevation Required prior to CO

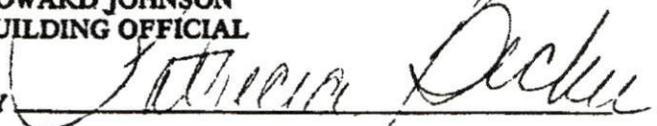
PERMIT CARD MUST BE DISPLAYED ON STREET SIDE OF LOT IN PERMANENT SUBSTANTIAL MANNER, AND IN A CONSPICUOUS SHELTERED LOCATION ACCESSIBLE TO THE INSPECTOR. PERMIT MUST REMAIN DISPLAYED UNTIL AFTER FINAL INSPECTIONS. ONE COPY OF APPROVED PLANS BEARING BUILDING DEPARTMENT STAMPS MUST BE KEPT ON THE JOB SITE, AVAILABLE TO THE INSPECTORS AT THE TIME OF ALL INSPECTIONS

BUILDING FEE \$1,548 00
PLUMBING FEE 612 00
ELECTRICAL FEE 597 00
TOTAL FEE \$2,757 00 ✓

THIS PERMIT BECOMES NULL AND VOID IF WORK IS NOT COMMENCED WITHIN THIRTY (30) DAYS OF ISSUANCE OR IF WORK IS SUSPENDED FOR A PERIOD EXCEEDING NINETY (90) DAYS ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK SHALL BE COMPLIED WITH THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY LOCAL STATE OR FEDERAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION THIS PERMIT IS NON-TRANSFERABLE NON-MARKETABLE AND NON-ASSIGNABLE AND ANY ATTEMPTED TRANSFER SALE OR ASSIGNMENT OF SAID PERMIT SHALL RESULT IN THE AUTOMATIC REVOCATION OF SAID PERMIT


SIGNATURE OF OWNER CONTRACTOR OR AUTHORIZED AGENT

HOWARD JOHNSON
BUILDING OFFICIAL

BY 

FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS

PERMIT  No 11872

BUILDING PERMIT
BUILDING AND ZONING DEPARTMENT
OF
MONROE COUNTY, FLORIDA

DATE 5/29/94

PERMIT No. 11872

THIS PERMIT SHALL ALLOW WORK (AS DEFINED UNDER WORK DESCRIPTION BELOW AND AS SHOWN AND SPECIFIED ON PLANS SUBMITTED AND ON FILE IN THE BUILDING DEPARTMENT OFFICES) TO BE PERFORMED ON THE FOLLOWING PROPERTY BY THE OWNER LISTED

13, 38 and Northwesterly 1/2 of 14 & 37
LOT _____ BLOCK 46 SUBDIVISION BLUD WATERS SEC 35 T 67 R 25
STREET OR ROAD Maloney Ave , Stock Island

OWNER Fred A Losley PHONE 4-4633

MAILING ADDRESS P O Box 2755, Key West, Fl 33040

CONTRACTOR Veloso Construction CRCO 14292 PHONE 4-2151

MAILING ADDRESS 3501 Flagler Ave , Key West, Fl

WORK DESCRIPTION 4 Units - Single Family Residences - 1200 Sq Ft each unit

REMARKS Aqueduct and No A/C ESTIMATED VALUE \$264,000 00

Zone V-12
Elevation 10'-11' above M S L

Certificate of Elevation Required prior to CO

PERMIT CARD MUST BE DISPLAYED ON STREET SIDE OF LOT IN PERMANENT, SUBSTANTIAL MANNER, AND IN A CONSPICUOUS SHELTERED LOCATION ACCESSIBLE TO THE INSPECTOR. PERMIT MUST REMAIN DISPLAYED UNTIL AFTER FINAL INSPECTIONS ONE COPY OF APPROVED PLANS BEARING BUILDING DEPARTMENT STAMPS MUST BE KEPT ON THE JOB SITE, AVAILABLE TO THE INSPECTORS AT THE TIME OF ALL INSPECTIONS

BUILDING FEE \$1,548 00
PLUMBING FEE 612 00
ELECTRICAL FEE 597 00
TOTAL FEE \$2,757 00

THIS PERMIT BECOMES NULL AND VOID IF WORK IS NOT COMMENCED WITHIN THIRTY (30) DAYS OF ISSUANCE OR IF WORK IS SUSPENDED FOR A PERIOD EXCEEDING NINETY (90) DAYS ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK SHALL BE COMPLIED WITH THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY LOCAL STATE OR FEDERAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION THIS PERMIT IS NON-TRANSFERABLE NON-MARKETABLE AND NON-ASSIGNABLE AND ANY ATTEMPTED TRANSFER SALE OR ASSIGNMENT OF SAID PERMIT SHALL RESULT IN THE AUTOMATIC REVOCATION OF SAID PERMIT

SIGNATURE OF OWNER, CONTRACTOR OR AUTHORIZED AGENT

HOWARD JOHNSON
BUILDING OFFICIAL

BY

FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS

PERMIT No. 11872

Monroe County Building Department



CERTIFICATE OF OCCUPANCY

OWNER FRED A LOSLEY PERMIT NUMBER 11872A

THIS IS TO CERTIFY that the building located at LOTS 13, 38 & NW 1/2 14 & 37, BLOCK 46, BLUE WATERS SUBD, MALONEY AVE, STOCK ISLAND for which permit has heretofore been issued has been completed according to plans and specifications filed in the office of the MONROE COUNTY BUILDING INSPECTOR and that the proposed use of the building to wit as a 4 UNITS - SINGLE FAMILY RESIDENCES complies with all the building and health laws and ordinances of MONROE COUNTY and is approved for this use

ALLOWABLE FLOOR LOAD PER SQUARE FOOT	MAXIMUM NUMBER OF PERSONS FOR EACH FLOOR
THE FOLLOWING INSPECTIONS HAVE BEEN MADE BY THIS DEPARTMENT ON THIS SITE	
AUGER, COLUMN, ROUGH FRAMING (4), ROUGH	ELECTRIC (4), ROUGH PLUMBING (4),
INSULATION, FINAL ELECTRIC ALL UNITS, FINAL PLUMBING ALL UNITS, FINAL BUILDING	
ALL UNITS	
FINAL HRS APPROVALS DONE 8/28/86 PERMIT #S	K-156-83, K-67-84, K-68,84 & K-69-84
RE# 0127510-000000	

DATED THIS 23RD DAY OF AUGUST, 19 89

Joe Prokasko
BUILDING INSPECTOR

CERTIFICATE NUMBER 89-211

PER FINAL INSPECTION TICKET/mp
PLUMBING INSPECTOR

[Signature]
BUILDING OFFICIAL/ASS T BUILDING
OFFICIAL

J. R. [Signature]
ELECTRICAL INSPECTOR

BUILDING PERMIT APPLICATION
MONROE COUNTY BUILDING AND ZONING DEPARTMENT
PLEASE PRINT OR TYPE - ONLY

PERMIT NO.: 11872A DATE: 4-9 1984
OWNER'S NAME: Fred A. Losley PHONE: 294-4633
OWNER'S ADDRESS: P O Box 2755 Key West, Fl. 33040
(MAILING)
CONTRACTOR'S NAME: Veloso Construction CERT. NO.: CR00 14292
CONTRACTOR'S ADDRESS: 3501 Flagler Ave. Key West PHONE: 294-2151
1 & 38 & NW half
PROPERTY DESCRIPTION: KEY Stock Island LOT Of 14 & 37 BLOCK 46
SUBDIVISION Blue Water
STREET OR ROAD Maloney Ave.
ZONING R43 M.S.L. SECTION 35 TOWNSHIP 07 RANGE 25
PROPOSED CONSTRUCTION: 4 UNITS - SFR

IS LAND CLEARING OR FILL REQUIRED FOR THIS CONSTRUCTION? YES _____ NO _____

SQUARE FEET _____ ESTIMATED TOTAL COST _____

ENCLOSED AREA _____
SUB-CONTRACTORS:

ELECTRICAL: Summerland Electric CERT. # EP 310
PLUMBING: Burmar Plumbing CERT. # PC 171
MECHANICAL: _____ CERT. # _____

UTILITIES: _____
SEWAGE DISPOSAL: _____
SEPTIC TANK-HEALTH DEPT. PERMIT NO. _____
PACKAGE PLANT - DER PERMIT NO. _____
CENTRAL SYSTEM _____
REMARKS: _____

WATER SUPPLY: _____
FKAA CONNECTION-WATER METER NO. _____
PRIVATE RO OR DE-SAL PLANT/DER PERMIT # 25213 34
PRIVATE WELL _____
CISTERN _____
REMARKS: _____

GENERAL REMARKS: _____

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THAT SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY LOCAL, STATE OR FEDERAL LAWS REGULATING CONSTRUCTION OF THE PERFORMANCE OR CONSTRUCTION.

SIGNATURE: [Signature]
OWNER/CONTRACTOR

COST OF PERMIT: BUILDING \$1,548
PLUMBING 612.00
ELECTRICAL 597.00
MISC. \$2751.00
TOTAL 2640.00

1200 each
SS
66,000.00
24 units
2640.00.00

APPROVED FOR ISSUANCE OF PERMIT:

[Signature]
BUILDING OFFICIAL, ASS'T. BUILDING OFFICIAL

DIRECTOR PLANNING,
BUILDING & ZONING



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

Exhibit 2
OMB 3067-0077
Expires: June 1984

ELEVATION CERTIFICATE

This form is to be used for: 1) New/Emergency Program construction in Special Flood Hazard Areas; 2) Pre-FIRM construction after September 30, 1982; 3) Post-FIRM construction; and, 4) Other buildings rated as Post-FIRM rules.

BUILDING OWNER'S NAME: Fred Losley ADDRESS: _____

PROPERTY LOCATION (Lot and Block numbers and address if available)
Lots 13-38 NW 1/4 14.37 AM. 707
Lots 21 & 22, Blue Waters S/D, PB. 4, PG 151, 6630 Malony Ave.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. code, Section 1001.

SECTION I ELIGIBILITY CERTIFICATION (Completed by Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor)

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	DATE OF CONSTR.	BASE FLOOD ELEV. (in AO Zone, use depth)	BUILDING IS
125129	1728	C	1 Dec. 83	V 12	1984	11.0	<input type="checkbox"/> New/Emergency <input type="checkbox"/> Pre-FIRM Reg. <input type="checkbox"/> Post-FIRM Reg.

YES NO It is intended that the building described above will be constructed in compliance with the community's flood plain ordinance. The certifier may rely on community records. The lowest floor (including basement) will be at an elevation of _____ ft. NGVD. Failure to construct the building at this elevation may place the building in violation of the community's flood plain management ordinance.

YES NO The building described above has been constructed in compliance with the community's flood plain management ordinance based on elevation data and visual inspection or other reasonable means. If NO is checked, attach copy of variance issued by the community.

YES NO The mobile home located at the address described above has been tied down (anchored) in compliance with the community's flood plain management ordinance, or in compliance with the NFIP Specifications.

MOBILE HOME MAKE	MODEL	YR. OF MANUFACTURE	SERIAL NO.	DIMENSIONS
				X

(Community Permit Official or Registered Professional Engineer, Architect, or Surveyor)

NAME James B. Case ADDRESS P. O. Box 283

TITLE Reg. Land Surveyor CITY Summerland Key STATE FL ZIP 33042

SIGNATURE James B. Case DATE 2/2/88 PHONE 305-745-2473

SECTION II ELEVATION CERTIFICATION (Certified by a Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor.)

FIRM ZONE A1-A30: I certify that the building at the property location described above has the lowest floor (including basement) at an elevation of _____ feet, NGVD (mean sea level) and the average grade at the building site is at an elevation of _____ feet, NGVD.

FIRM ZONES V, V1-V30: I certify that the building at the property location described above has the bottom of the lowest floor beam at an elevation of 13.08 feet, NGVD (mean sea level), and the average grade at the building site is at an elevation of 4.82 feet, NGVD.

FIRM ZONES A, A99, AH and EMERGENCY PROGRAM: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

FIRM ZONE AO: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

SECTION III FLOODPROOFING CERTIFICATION (Certification by a Registered Professional Engineer or Architect)

I certify to the best of my knowledge, information, and belief, that the building is designed so that the building is watertight, with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy that would be caused by the flood depths, pressures, velocities, impact and uplift forces associated with the base flood.

YES NO In the event of flooding, will this degree of floodproofing be achieved with human intervention? (Human intervention means that water will enter the building when floods up to the base flood level occur unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).

YES NO Will the building be occupied as a residence?

If the answer to both questions is YES, the floodproofing cannot be credited for rating purposes and the actual lowest floor must be completed and certified instead. Complete both the elevation and floodproofing certificates.

FIRM ZONES A, A1-A30, V1-V30, AO and AH; Certified Floodproofed Elevation is _____ feet, (NGVD).

THIS CERTIFICATION IS FOR SECTION II BOTH SECTIONS II AND III (Check One)

CERTIFIER'S NAME: James B. Case COMPANY NAME: J.B. Case, Reg. Land Surveyor LICENSE NO. (or Affix Seal): 2198

TITLE: Reg. Land Surveyor ADDRESS: P. O. Box 283 ZIP: 33042

SIGNATURE: James B. Case DATE: 2/2/88 CITY: Summerland Key STATE: FL PHONE: 305-745-2473

The insurance agent should attach the original copy of the completed form to the flood insurance policy application, the second copy should be supplied to the policyholder and the third copy retained by the agent

INSURANCE AGENTS MAY ORDER THIS FORM



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

Exhibit 2
DMD 3087-0077
Replaces June 1984

ELEVATION CERTIFICATE

This form is to be used for: 1) New/Emergency Program construction in Special Flood Hazard Areas; 2) Pre-FIRM construction after September 30, 1982; 3) Post-FIRM construction; and, 4) Other buildings rated as Post-FIRM rules.

BUILDING OWNER'S NAME: Fred Losley ADDRESS: _____

PROPERTY LOCATION (Lot and Block numbers and address if available):
Lot 13-34 NW 14-37
Lots 2 & 3, Blue Waters S/D, PB. 4, PG 151, 6630 Malony Ave.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. code, Section 1001.

SECTION I ELIGIBILITY CERTIFICATION (Completed by Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor)

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	DATE OF CONSTR.	BASE FLOOD ELEV. (In AO Zone, use depth)	BUILDING IS
125129	1728	C	1 Dec. 83	V 12	1984	11.0	<input type="checkbox"/> New/Emergency <input type="checkbox"/> Pre-FIRM Reg. <input type="checkbox"/> Post-FIRM Reg.

YES NO It is intended that the building described above will be constructed in compliance with the community's flood plain ordinance. The certifier may rely on community records. The lowest floor (including basement) will be at an elevation of _____ ft. of _____ ft. NGVD. Failure to construct the building at this elevation may place the building in violation of the community's flood plain management ordinance.

YES NO The building described above has been constructed in compliance with the community's flood plain management ordinance based on elevation data and visual inspection or other reasonable means.
If NO is checked, attach copy of variance issued by the community.

YES NO The mobile home located at the address described above has been tied down (anchored) in compliance with the community's flood plain management ordinance, or in compliance with the NFIP Specifications.

MOBILE HOME MAKE	MODEL	YR. OF MANUFACTURE	SERIAL NO.	DIMENSIONS
				X

(Community Permit Official or Registered Professional Engineer, Architect, or Surveyor)

NAME James B. Case ADDRESS P. O. Box 283

TITLE Reg. Land Surveyor CITY Summerland Key STATE FL ZIP 33042

SIGNATURE James B. Case DATE 2/2/88 PHONE 305-745-7473

SECTION II ELEVATION CERTIFICATION (Certified by a Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor.)

FIRM ZONE A1-A30: I certify that the building at the property location described above has the lowest floor (including basement) at an elevation of _____ feet, NGVD (mean sea level) and the average grade at the building site is at an elevation of _____ feet, NGVD.

FIRM ZONES V, V1-V30: I certify that the building at the property location described above has the bottom of the lowest floor beam at an elevation of 14.05 feet, NGVD (mean sea level), and the average grade at the building site is at an elevation of 4.02 feet, NGVD.

FIRM ZONES A, A99, AH and EMERGENCY PROGRAM: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

FIRM ZONE AO: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

SECTION III FLOODPROOFING CERTIFICATION (Certification by a Registered Professional Engineer or Architect)

I certify to the best of my knowledge, information, and belief, that the building is designed so that the building is watertight, with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy that would be caused by the flood depths, pressures, velocities, impact and uplift forces associated with the base flood.

YES NO In the event of flooding, will this degree of floodproofing be achieved with human intervention?
(Human intervention means that water will enter the building when floods up to the base flood level occur unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).

YES NO Will the building be occupied as a residence?

If the answer to both questions is YES, the floodproofing cannot be credited for rating purposes and the actual lowest floor must be completed and certified instead. Complete both the elevation and floodproofing certificates.

FIRM ZONES A, A1-A30, V1-V30, AO and AH: Certified Floodproofed Elevation is _____ feet, (NGVD).

THIS CERTIFICATION IS FOR SECTION II BOTH SECTIONS II AND III (Check One)

CERTIFIER'S NAME: James B. Case COMPANY NAME: J.B. Case, Reg. Land Surveyor LICENSE NO. (or Affix Seal): 2198

TITLE: Reg. Land Surveyor ADDRESS: P. O. Box 283 ZIP: 33042

SIGNATURE: James B. Case DATE: 2/2/88 CITY: Summerland Key STATE: FL PHONE: 305-745-2473

The insurance agent should attach the original copy of the completed form to the flood insurance policy application, the second copy should be supplied to the policyholder and the third copy retained by the agent.

INSURANCE AGENTS MAY ORDER THIS FORM



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

Exhibit 2
OMB 5067-0077
Expires June 1984

ELEVATION CERTIFICATE

This form is to be used for: 1) New/Emergency Program construction in Special Flood Hazard Areas; 2) Pre-FIRM construction after September 30, 1982; 3) Post-FIRM construction; and, 4) Other buildings rated as Post-FIRM rules.

BUILDING OWNER'S NAME: Fred Losley ADDRESS: _____

PROPERTY LOCATION (Lot and Block numbers and address if available)
107.13.34 NW 1/4 1937
Lots 3 & 4, Blue Waters S/D P.B. 4, PG 151, 6650 Malony Ave.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. code, Section 1001.

SECTION I ELIGIBILITY CERTIFICATION (Completed by Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor)

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	DATE OF CONSTR.	BASE FLOOD ELEV. (in AO Zone, sea depth)	BUILDING IS
125129	1728	C	1 Dec. 83	V 12	1984	11.0	<input type="checkbox"/> New/Emergency <input type="checkbox"/> Pre-FIRM Reg. <input type="checkbox"/> Post-FIRM Reg.

YES NO It is intended that the building described above will be constructed in compliance with the community's flood plain ordinance. The certifier may rely on community records. The lowest floor (including basement) will be at an elevation of _____ ft. NGVD. Failure to construct the building at this elevation may place the building in violation of the community's flood plain management ordinance.

YES NO The building described above has been constructed in compliance with the community's flood plain management ordinance based on elevation data and visual inspection or other reasonable means.
If NO is checked, attach copy of variance issued by the community.

YES NO The mobile home located at the address described above has been tied down (anchored) in compliance with the community's flood plain management ordinance, or in compliance with the NFIP Specifications.

MOBILE HOME MAKE	MODEL	YR. OF MANUFACTURE	SERIAL NO.	DIMENSIONS X

(Community Permit Official or Registered Professional Engineer, Architect, or Surveyor)

NAME: James B. Case ADDRESS: P. O. Box 283

TITLE: Reg. Land Surveyor CITY: Summerland Key STATE: FL ZIP: 33042

SIGNATURE: *James B. Case* DATE: 2/2/88 PHONE: 305-745-2473

SECTION II ELEVATION CERTIFICATION (Certified by a Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor.)

FIRM ZONE A1-A30: I certify that the building at the property location described above has the lowest floor (including basement) at an elevation of _____ feet, NGVD (mean sea level) and the average grade at the building site is at an elevation of _____ feet, NGVD.

FIRM ZONES V, V1-V30: I certify that the building at the property location described above has the bottom of the lowest floor beam at an elevation of 14.23 feet, NGVD (mean sea level), and the average grade at the building site is at an elevation of 4.12 feet, NGVD.

FIRM ZONES A, A99, AH and EMERGENCY PROGRAM: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

FIRM ZONE AO: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

SECTION III FLOODPROOFING CERTIFICATION (Certification by a Registered Professional Engineer or Architect)

I certify to the best of my knowledge, information, and belief, that the building is designed so that the building is watertight, with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy that would be caused by the flood depths, pressures, velocities, impact and uplift forces associated with the base flood.

YES NO In the event of flooding, will this degree of floodproofing be achieved with human intervention?

(Human intervention means that water will enter the building when floods up to the base flood level occur unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).)

YES NO Will the building be occupied as a residence?

If the answer to both questions is YES, the floodproofing cannot be credited for rating purposes and the actual lowest floor must be completed and certified instead. Complete both the elevation and floodproofing certificates.

FIRM ZONES A, A1-A30, V1-V30, AO and AH: Certified Floodproofed Elevation is _____ feet, (NGVD).

THIS CERTIFICATION IS FOR SECTION II BOTH SECTIONS II AND III (Check One)

CERTIFIER'S NAME: James B. Case COMPANY NAME: J.B. Case, Reg. Land Surveyor LICENSE NO. (or Affix Seal): 2198

TITLE: Reg. Land Surveyor ADDRESS: P. O. Box 283 ZIP: 33042

SIGNATURE: *James B. Case* DATE: 2/2/88 CITY: Summerland Key STATE: FL PHONE: 305-745-2473

The insurance agent should attach the original copy of the completed form to the flood insurance policy application, the second copy should be supplied to the policyholder and the third copy retained by the agent.

INSURANCE AGENTS MAY ORDER THIS FORM



FEDERAL EMERGENCY MANAGEMENT AGENCY
NATIONAL FLOOD INSURANCE PROGRAM

Exhibit 2
OMB 3087-0077
Replaces June 1984

ELEVATION CERTIFICATE

This form is to be used for: 1) New/Emergency Program construction in Special Flood Hazard Areas; 2) Pre-FIRM construction after September 30, 1982; 3) Post-FIRM construction; and, 4) Other buildings rated as Post-FIRM rules.

BUILDING OWNER'S NAME: Fred Losley ADDRESS: 1

PROPERTY LOCATION (Lot and Block numbers and address if available):
107213-38 NW 1437
Lots 23 & 24, Blue Waters S/D, PB. 4, PG 151, 6630 Malony Ave.

I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. code, Section 1001.

SECTION I ELIGIBILITY CERTIFICATION (Completed by Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor)

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	DATE OF CONSTR.	BASE FLOOD ELEV. (In AO Zone, use depth)	BUILDING IS
125129	1728	C	1 Dec. 83	V 12	1984	11.0	<input type="checkbox"/> New/Emergency <input type="checkbox"/> Pre-FIRM Reg. <input type="checkbox"/> Post-FIRM Reg.

YES NO It is intended that the building described above will be constructed in compliance with the community's flood plain ordinance. The certifier may rely on community records. The lowest floor (including basement) will be at an elevation of _____ ft, NGVD. Failure to construct the building at this elevation may place the building in violation of the community's flood plain management ordinance.

YES NO The building described above has been constructed in compliance with the community's flood plain management ordinance based on elevation data and visual inspection or other reasonable means. If NO is checked, attach copy of variance issued by the community.

YES NO The mobile home located at the address described above has been tied down (anchored) in compliance with the community's flood plain management ordinance, or in compliance with the NFIP Specifications.

MOBILE HOME MAKE	MODEL	YR. OF MANUFACTURE	SERIAL NO.	DIMENSIONS
				X

(Community Permit Official or Registered Professional Engineer, Architect, or Surveyor)

NAME James B. Case ADDRESS P. O. Box 283

TITLE Reg. Land Surveyor CITY Summerland Key STATE FL ZIP 33042

SIGNATURE *James B. Case* DATE 2/2/88 PHONE 305-745-2473

SECTION II ELEVATION CERTIFICATION (Certified by a Local Community Permit Official or a Registered Professional Engineer, Architect, or Surveyor.)

FIRM ZONE A1-A30: I certify that the building at the property location described above has the lowest floor (including basement) at an elevation of _____ feet, NGVD (mean sea level) and the average grade at the building site is at an elevation of _____ feet, NGVD.

FIRM ZONES V, V1-V30: I certify that the building at the property location described above has the bottom of the lowest floor beam at an elevation of 13.00 feet, NGVD (mean sea level), and the average grade at the building site is at an elevation of 4.18 feet, NGVD.

FIRM ZONES A, A99, AH and EMERGENCY PROGRAM: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

FIRM ZONE AO: I certify that the building at the property location described above has the lowest floor elevation of _____ feet, NGVD. The elevation of the highest adjacent grade next to the building is _____ feet, NGVD.

SECTION III FLOODPROOFING CERTIFICATION (Certification by a Registered Professional Engineer or Architect)

I certify to the best of my knowledge, information, and belief, that the building is designed so that the building is watertight, with walls substantially impermeable to the passage of water and structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy that would be caused by the flood depths, pressures, velocities, impact and uplift forces associated with the base flood.

YES NO In the event of flooding, will this degree of floodproofing be achieved with human intervention?

(Human intervention means that water will enter the building when floods up to the base flood level occur unless measures are taken prior to the flood to prevent entry of water (e.g., bolting metal shields over doors and windows).

YES NO Will the building be occupied as a residence?

If the answer to both questions is YES, the floodproofing cannot be credited for rating purposes and the actual lowest floor must be completed and certified instead. Complete both the elevation and floodproofing certificates.

FIRM ZONES A, A1, A30, V1-V30, AO and AH: Certified Floodproofed Elevation is _____ feet, (NGVD).

THIS CERTIFICATION IS FOR SECTION II BOTH SECTIONS II AND III (Check One)

CERTIFIER'S NAME COMPANY NAME LICENSE NO. (or Affix Seal)

James B. Case J.B. Case, Reg. Land Surveyor 2198

TITLE ADDRESS ZIP

Reg. Land Surveyor P. O. Box 283 33042

SIGNATURE DATE CITY STATE PHONE

James B. Case 2/2/88 Summerland Key FL 305-745-2473

The insurance agent should attach the original copy of the completed form to the flood insurance policy application, the second copy should be supplied to the policyholder and the third copy retained by the agent

INSURANCE AGENTS MAY ORDER THIS FORM

Exhibit 2

BLUE WATERS SUBDIVISION

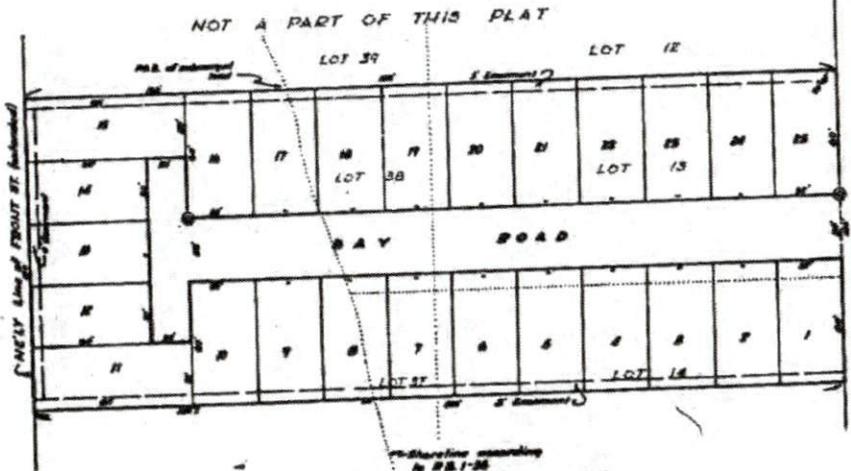
A RE-SUBDIVISION OF ALL OF LOTS 13 AND 38, AND THE NORTHWESTERLY HALF OF LOTS 14 AND 37, BLOCK 46, P.B. 1-55, AND A SUBDIVISION OF ADJACENT SUBMERGED LAND.

STOCK ISLAND MONROE COUNTY FLORIDA
SCALE: 1" = 30' SCALE IN FEET NOVEMBER 1959



E.R. McCarthy
Civil Engineer
Lead Surveyor
Key West, Florida

NORTH



NOT A PART OF THIS PLAT

NOT A PART OF THIS PLAT

KNOW ALL MEN BY THESE PRESENTS: That Dan L. Moore and Eun E. Moore, his wife, owners of the following described property have caused to be made the attached plat entitled "BLUE WATERS SUBDIVISION".

DESCRIPTION: A re-subdivision of all of Lots 13 and 38, and the northwesterly half of Lots 14 and 37, Block 46, P.B. 1-55, and a subdivision of adjacent submerged land, Stock Island, Monroe County, Florida. The adjacent submerged land being more particularly described as follows: From the north corner of said Lot 38 go southerly along the northwesterly line of said Lot 38 a distance of 70 feet more or less to a point in the shoreline of Stock Island which point is the point of beginning; thence various courses southerly along the northwesterly line of Parcel Lot 38 (submerged) a distance of 130 feet to a point in the northwesterly line of Parcel Lot 37 (submerged); thence southerly along the northwesterly line of Parcel Lot 37 (submerged) a distance of 150 feet to a point; thence at right angles and northwesterly a distance of 85 feet to a point in the shoreline of Stock Island; thence northwesterly along the shoreline of said shoreline a distance of 180 feet, more or less, back to the point of beginning.

The road on shown is hereby reserved for the exclusive use of the property owners in this subdivision.

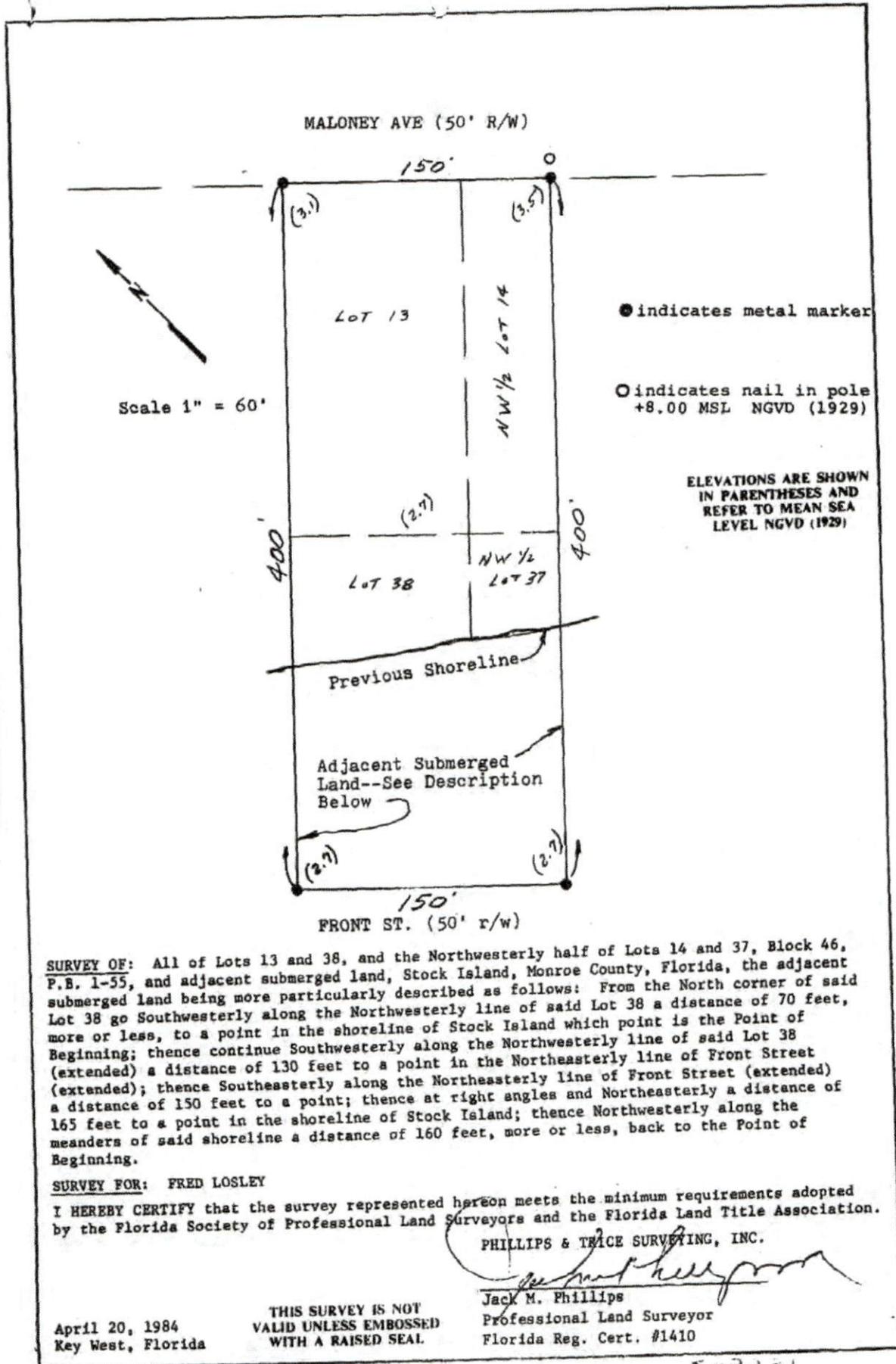
IN WITNESS WHEREOF we have hereunto set our hands and seals this 20th day of November, A.D. 1959

Witnessed by
[Signature] Dan L. Moore
[Signature] Eun E. Moore

STATE OF FLORIDA
COUNTY OF MONROE
I hereby certify that on this day personally appeared before me, the undersigned authority, Dan L. Moore and Eun E. Moore, his wife, and who acknowledged that they executed the same freely and voluntarily for the uses and purposes therein expressed.

Witness my hand and official seal this 20th day of November, A.D. 1959
My commission expires:
[Signature] 11/14/1960
[Signature] Clerk of Court

4-136
1331



SURVEY OF: All of Lots 13 and 38, and the Northwestern half of Lots 14 and 37, Block 46, P.B. 1-55, and adjacent submerged land, Stock Island, Monroe County, Florida, the adjacent submerged land being more particularly described as follows: From the North corner of said Lot 38 go Southwesterly along the Northwestern line of said Lot 38 a distance of 70 feet, more or less, to a point in the shoreline of Stock Island which point is the Point of Beginning; thence continue Southwesterly along the Northwestern line of said Lot 38 (extended) a distance of 130 feet to a point in the Northeastly line of Front Street (extended); thence Southeastly along the Northeastly line of Front Street (extended) a distance of 150 feet to a point; thence at right angles and Northeastly a distance of 165 feet to a point in the shoreline of Stock Island; thence Northwestly along the meanders of said shoreline a distance of 160 feet, more or less, back to the Point of Beginning.

SURVEY FOR: FRED LOSLEY

I HEREBY CERTIFY that the survey represented hereon meets the minimum requirements adopted by the Florida Society of Professional Land Surveyors and the Florida Land Title Association.

PHILLIPS & TRICE SURVEYING, INC.

Jack M. Phillips
 Jack M. Phillips
 Professional Land Surveyor

Florida Reg. Cert. #1410

April 20, 1984
 Key West, Florida

THIS SURVEY IS NOT
 VALID UNLESS EMBOSSED
 WITH A RAISED SEAL.

Fred A. Losley
6330 Maloney Avenue
Key West, Fl.
33040

Monroe County Building and
Zoning Department

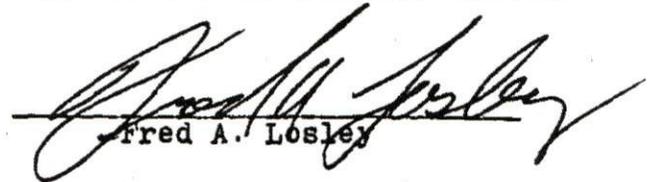
Re: Legal Description - All of Lots 13 and 38 and the North-
westerly half of Lots 14 and 37, Block
46, P.B. 1-55, and adjacent submerged
land, Stock Island, Monroe County, Florida.

To Whom It May Concern:

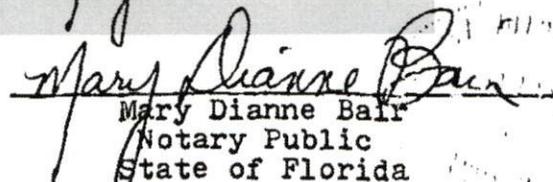
I hereby agree, that if the single family units were to be
changed into two separate living areas, I will upgrade the septic
tank systems to the requirements of the county code.

I further agree that I will not add any further bedrooms to
the units.

Upon installation of county sewer line system I will agree
to make immediate connections of my waste lines to the sewer
lines.


Fred A. Losley

Signed before me this 16th day of May, 1984.


Mary Dianne Bair
Notary Public
State of Florida

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES AUG 18 1985
BONDED THRU GENERAL INS. UNDERWRITERS

PLUMBING PERMIT WORK SHEET

APPLICANT'S NAME Fred A. Looney DATE 5-15-84

APPLICANT'S ADDRESS Key West, FL

1. SINKS	NO. <u>4</u>	@ <u>9⁰⁰</u>	= \$ <u>36⁰⁰</u>
2. LAVATORIES	NO. <u>8</u>	@ <u>9⁰⁰</u>	= \$ <u>72⁰⁰</u>
3. SLOP SINKS OR SERVICE SINKS	NO. <u>-</u>	@	= \$
4. SHOWERS OR BATHTUBS	NO. <u>8</u>	@ <u>9⁰⁰</u>	= \$ <u>72⁰⁰</u>
5. TOILETS	NO. <u>8</u>	@ <u>9⁰⁰</u>	= \$ <u>72⁰⁰</u>
6. URINALS	NO. <u>-</u>	@	= \$
7. DRINKING FOUNTAINS	NO. <u>-</u>	@	= \$
8. DISHWASHERS	NO. <u>-</u>	@	= \$
9. DISPOSALS	NO. <u>-</u>	@	= \$
10. WASHING MACHINES	NO. <u>4</u>	@ <u>9⁰⁰</u>	= \$ <u>36⁰⁰</u>
11. FLOOR DRAINS	NO. <u>-</u>	@	= \$
12. GREASE TRAPS	NO. <u>-</u>	@	= \$
13. SEPTIC TANK AND DRAINFIELD	NO. <u>4</u>	@ <u>30⁰⁰</u>	= \$ <u>120⁰⁰</u>
14. SWIMMING POOLS	NO. <u>-</u>	@	= \$
15. HOODS	NO. <u>-</u>	@	= \$
16. ELECTRIC OR GAS WATER HEATERS	NO. <u>4</u>	@ <u>9⁰⁰</u>	= \$ <u>36⁰⁰</u>
17. AIR CONDITIONERS	NO. <u>-</u>	@	= \$
18. AIR CONDITIONING DUCTS	NO. <u>-</u>	@	= \$
19. WATER SERVICE CONNECTIONS	NO. <u>4</u>	@ <u>12⁰⁰</u>	= \$ <u>48⁰⁰</u>
20. SEWER CONNECTIONS	NO. <u>4</u>	@ <u>30⁰⁰</u>	= \$ <u>120⁰⁰</u>
21. OTHERS	NO. <u>-</u>	@	= \$
22. OTHERS	NO. <u>-</u>	@	= \$
23. OTHERS	NO. <u>-</u>	@	= \$
24. OTHERS	NO. <u>-</u>	@	= \$
25. OTHERS	NO. <u>-</u>	@	= \$

TOTAL COST OF PERMIT \$ 612⁰⁰

SIGNATURE [Signature]
PLUMBING INSPECTOR

CHECKLIST FOR REVIEW OF BUILDING PERMITS

Owners Name: FRED LOSLEY

Date received: 5/2/89 Date Reviewed: 5/3/89 Reviewer DJ

Description: Lot ^{1, 38, 5} NW 1/4 Block 16 Subdivision BLUE WATER

Section ^{14, 37} 35 Township 67 Range 25

Unity of title: _____

Zoning Classification: RV-3

Lot Size: 150' X 100' Substandard Lot yes no _____

Principal and/or accessory use: 1 dwelling units

A) Lot and building requirements

1) Minimum living area

ok

2) Minimum lot/project area

ok - substandard

3) Minimum lot depth

ok - ~~sub~~

4) Minimum lot width

ok - substandard

5) Minimum front yard/setback

ok - 50'

6) Minimum rear yard/setback

ok - 50'

7) Minimum side yard/setback

- from property line

- between buildings *20' - ok*

8) Accessory buildings

N/A

9) Maximum building height

ok

10) Maximum percentage of lot coverage

ok

11) Minimum setback from man-made waterway

~~ok~~ *ok*

12) Minimum setback from natural waterway

N/A

CHECKLIST FOR REVIEW OF BUILDING PERMITS
Page Two of Three

- 13) Maximum density, units per acre
 - gross
 - net *OK*

- B) Setback from and access control on U.S. 1(19-93) (DOT permits) *N/A*

- C) Off-street parking and loading facilities (19-124-126) *N/A*

- D) Landscaping (19-127) (buffer zones) *N/A - OK*

- E) Base Flood Elevation EL 10-11
Zone V 12 *OK 14' MSL (5' + 9')*
Panel # 1728

- F) Drainage (19-151) *OK*

- G) Architect's/Engineer's seal
V Zone Certification *#*

- H) Toilet and lavatory facilities *N/A*

- I) Environmental concerns (DER permits)
 - Land clearing permits *N/A*
 - Fill permits

CHECKLIST FOR REVIEW OF BUILDING PERMITS
Page Three of Three

J) Handicapped accessibility (M.C.C. 6-20, S.S.B.C. 508)

1) Wheelchair ramps

2) Handicap parking

N/A

K) General provisions (19-220)

1) Facing of business uses

2) Access to business uses

3) Screening of business property

N/A

COMMENTS:

Exhibit 2

ELECTRICAL PERMIT WORK SHEET

Applicant's Name Ind Loeley Date 5-15-84

Applicant's Address _____

Lot _____ Block _____ Subdivision _____

1.	Outlets - Rough	No. <u>50</u>	@ <u>.90 x 4</u>	= \$	<u>180⁰⁰</u>
2.	Oven Range Tops	No. <u>4</u>	@ <u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
3.	Water Heaters	No. <u>4</u>	@ <u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
4.	Refrigerators	No. <u>4</u>	@ <u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
5.	Dryers	No. <u>4</u>	@ <u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
6.	Clothes Washer	No. <u>4</u>	@ <u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
7.	Dishwasher	No. _____	@ _____	= \$	_____
8.	Disposal	No. _____	@ _____	= \$	_____
9.	Space Heater	No. _____	@ _____	= \$	_____
10.	Fans	No. <u>4 x 4</u>	@ <u>6⁰⁰</u>	= \$	<u>96⁰⁰</u>
11.	Motors	No. _____	@ _____	= \$	_____
	Other	No. _____	@ _____	= \$	_____
12.	Service <u>150 A</u>	No. <u>4</u>	@ <u>21⁰⁰</u>	= \$	<u>84⁰⁰</u>
13.	Sub-Feeds "	No. <u>4</u>	@ <u>21⁰⁰</u>	= \$	<u>84⁰⁰</u>
	Other	No. _____	@ _____	= \$	_____
14.	Pool Lights	No. _____	@ _____	= \$	_____
15.	Pool Light Transform.	No. _____	@ _____	= \$	_____
16.	Time Clock	No. _____	@ _____	= \$	_____
17.	Elevators	No. _____	@ _____	= \$	_____
18.	Generators Transform.	No. _____	@ _____	= \$	_____
19.	Spec. Purpose Outlet	No. _____	@ _____	= \$	_____
20.	A/C Wall Unit	No. _____	@ _____	= \$	_____
21.	A/C Electric	No. _____	@ _____	= \$	_____
22.	A/C Tonnage	No. _____	@ _____	= \$	_____
23.	A/C Ducts	No. _____	@ _____	= \$	_____
24.	Temp. Service	No. <u>1</u>	@ _____	= \$	<u>9⁰⁰</u>
	Other	No. _____	@ _____	= \$	_____
	Other	No. _____	@ _____	= \$	_____

TOTAL 597⁰⁰

BUILDING PERMIT WORK SHEET

APPLICANT'S NAME Fred A. LOSLEY DATE 5/8/84

APPLICANT'S ADDRESS BOX 2755 KEY WEST

1. FIRST FLOOR	<u>1200</u> 1216	Sq. Ft.	
2. SECOND FLOOR		Sq. Ft.	
3. THIRD FLOOR		Sq. Ft.	
4. ADDITIONAL FLOORS		Sq. Ft.	
TOTAL OF ALL FLOORS	<u>1200</u> 1216	Sq. Ft. @ <u>18-</u>	/Sq. Ft. = <u>\$ 216</u>
5. ACCESSORY BUILDINGS		Sq. Ft. @	/Sq. Ft. =
6. REMODELING & ALTERATIONS	\$	VALUATION @	=
7. MISC. STRUCTURES	\$	VALUATION @	=
8. SIDEWALKS		Sq. Ft. @	/Sq. Ft. =
9. FENCES		LIN. FT. @	/LIN. FT. =
10. SEAWALLS		LIN. FT. @	/LIN. FT. =
11. OTHER <u>Doors & stairs</u>	<u>736 SQ FT</u>	<u>@ 9</u>	= <u>72</u>
12. OTHER <u>CONCRETE SLAB</u>	<u>375 SQ FT</u>	<u>min</u>	= <u>18</u>
13. OTHER			=
14. OTHER			=
15. OTHER			=

TOTAL COST OF PERMIT \$ 306

REMARKS EA UNIT

FOR THE 4 UNITS FEE PRICE \$1224

PAVING PRICE 17,250 SQ FT @ 18. PR. 1000 SQ FT

= \$324

PAVING \$324

FEE FOR 4 UNITS 1224

\$1,548

SIGNATURE AL LUNA
BUILDING INSPECTOR



STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority Chapter 381 386 387 FS Chapter 10D-6,FAC

DATE 4-10-84 Permit Number K69-84

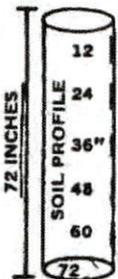
Name of Applicant FRED A. LOSLEY Telephone No 274 4635 Mailing Address of Applicant P.O. Box 2755 To Be Installed At (Give Street Address) 66 MALONEY AVE Lot No 4 Block No Subdivision Plat Book 4 Page 151 Size of Lot By No Living Units No Bedrooms 2 No People 3 Type of Business No Toilets No Wash Basins No Employees Total Square Feet in Building 1200

*Note Attach Site Location Map and Other Supportive Documents

Signature of Applicant

SITE INFORMATION

Distance to Sanitary Sewer Distance to Stream Lake Canal Distance to Public Water Supply Distance to Private Well(s) Rainfall Data Is Area Subject to Flooding? Does Site have Good Natural Drainage? Which Way Does Lot Drain? Any Perimeter Ditches? Depth of Ditches Is there Standing Water in Ditches? Depth of Water in Ditches Distance to Nearest Residence (North East South West) Are Buildings in this Area on Septic Tanks Sand Filters Other Any Known Drainfield Failures in this Area



SOIL PROFILE AND PERCOLATION DATA

Water Table At inches Hard Pan At inches Clay At inches Muck At inches Other At inches Soil Classification Percolation Rate 1.3 min/inch

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 750 gal Drain Tile (Linear Ft) Dosing Tank Capacity Sand Filter Size (Sq Ft) Grease Trap Capacity Absorbtion Bed Size (Sq Ft) 188 FT^2 Perforated Pipe (Linear Ft) Lateral Drainfield Size (Sq Ft) Other Specifications max 2 b/c m 23' FID NEEDED IN DRAINFIELD AREA - All setbacks must be met.

RECOMMENDATION

Approval [X] Disapproval []

Date Processed 4-25-84

Signature of Sanitarian [Signature]

[Signature] County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection Type of Tank (Concrete Fiberglass Etc) Size Tank Installed Drainfield Size No Tile Feet Dosing Tank Size Grease Trap Size Sand Filter Size Who Made Installation

RECOMMENDATION

[] [] Disapproval

PERCOLATION TEST

Owner Mr. Fred Losley
 Address Maloney Avenue, Stock Island
Key West, FL

Test Date Feb. 24, 1984

PROPERTY DESCRIPTION

Subdivision Bluewater
 Lot All Block All
 Monroe County Records: Platbook 4 Page 151

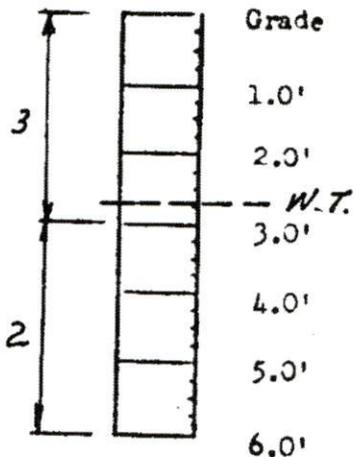
A PERCOLATION TEST WAS CONDUCTED AT THE ABOVE DESCRIBED PROPERTY
 IN ACCORDANCE WITH THE FLORIDA DIVISION OF HEALTH RULES, CHAPTER 100-6.

CONDITIONS WERE AS FOLLOWS:

Hole Diameter 6"
 Hole Depth 20"
 Soil Type Limerock fill
 Lot Elevation 2.7'
 Water Table MSL
 Rate 1.3 min/in

Results Satisfactory

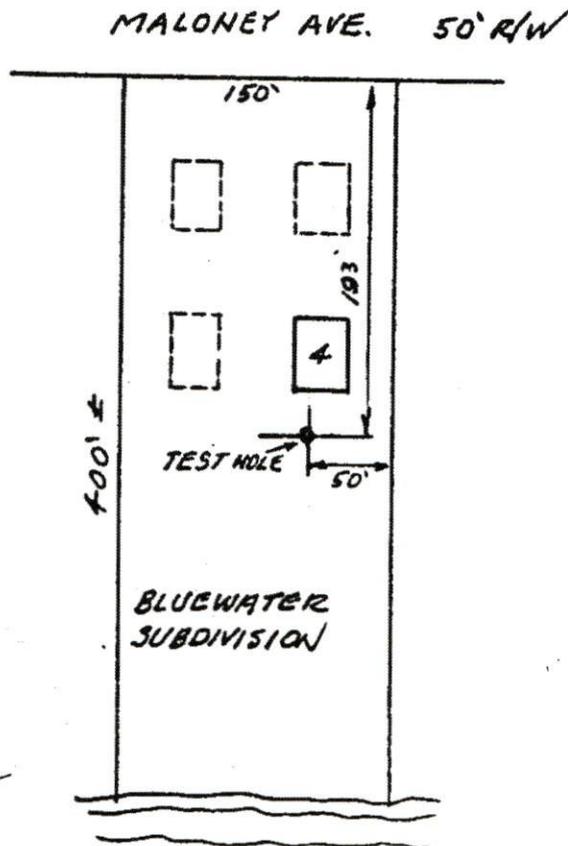
SOIL PROFILE



LEGEND

---	Water Table
1	Sand
2	Pervious Oolite
3	Crushed Rock Fill
4	Muck
5	Top Soil

PLOT PLAN (1"=100')



[Handwritten signature]

Fred A Losley
P O Box 2755
Key West, Fla
33040

Monroe County Building Department
and
Monroe County Building Department

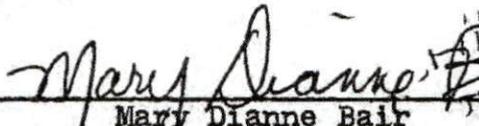
Legal Description: All of Lots 13 and 38, and the Northwesterly
half of Lots 14 and 37, Block 46, P B 1-55,
and adjacent submerged land, Stock Island,
Monroe County, Florida

To Whom It May Concern:

When ever the Stock Island Sewer System is available for Blue
Water Subdivision, I will make connection within 30 days


Fred A Losley

Signed before me this 25th day of April, 1984


Mary Dianne Bair
Notary Public
State of Florida

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES AUG 18 1985
BOND D THRU GENERAL INS UNDERWRITERS



STATE OF FLORIDA
DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT
AND FINAL INSPECTION FORM

Authority:
Chapter 381, 386, 387, FS
Chapter 10D-6, FAC

DATE 4-10-84 Permit Number K68-84

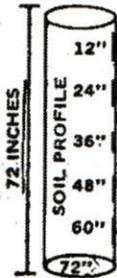
Name of Applicant FARID H. LOSLEY Telephone No. 294-4633
Mailing Address of Applicant P.O. Box 2703
To Be Installed At: (Give Street Address)* 66-MALONEY AVE
Lot No. UNIT 3 Block No. _____ Subdivision _____ Plat Book 4 Page 157
Size of Lot: _____ By _____ No. Living Units _____ No. Bedrooms _____ No. People 3
Type of Business _____ No. Toilets 2 No. Wash Basins _____ No. Employees _____
Total Square Feet in Building 1700

*Note: Attach Site Location Map and Other Supportive Documents

[Signature]
Signature of Applicant

SITE INFORMATION

Distance to Sanitary Sewer _____ Distance to Stream, Lake, Canal _____
Distance to Public Water Supply _____ Distance to Private Well(s) _____
Rainfall Data: _____
Is Area Subject to Flooding? _____ Does Site have Good Natural Drainage? _____
Which Way Does Lot Drain? _____ Any Perimeter Ditches? _____ Depth of Ditches _____
Is there Standing Water in Ditches? _____ Depth of Water in Ditches _____
Distance to Nearest Residence (North _____ East _____ South _____ West _____) Are Buildings
in this Area on: Septic Tanks _____ Sand Filters _____ Other _____
Any Known Drainfield Failures in this Area _____



SOIL PROFILE AND PERCOLATION DATA

_____	Water Table	At _____ inches
_____	Hard Pan	At _____ inches
_____	Clay	At _____ inches
_____	Muck	At _____ inches
_____	Other	At _____ inches
_____	Soil Classification:	_____
_____	Percolation Rate:	<u>3-6 min/inch</u>

INSTALLATION SPECIFICATIONS

Septic Tank Capacity: 750 gal Drain Tile (Linear Ft.): _____
Dosing Tank Capacity: _____ Sand Filter Size: (Sq. Ft.) _____
Grease Trap Capacity: _____ Absorption Bed Size: (Sq. Ft.) 250 FT²
Perforated Pipe: (Linear Ft.) _____ Lateral Drainfield Size: (Sq. Ft.) _____
Other Specifications: max 30" fill required in drainfield area - (all set backs) must be met

RECOMMENDATION: Approval
Disapproval

4-25-84
Date Processed

[Signature]
Signature of Sanitarian

[Signature] _____
County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection _____ Type of Tank (Concrete, Fiberglass, Etc.) _____
Size Tank Installed _____ Drainfield Size _____ No. Tile Feet _____
Dosing Tank Size _____ Grease Trap Size _____ Sand Filter Size _____
Who Made Installation _____

RECOMMENDATION: Approval Disapproval

PERCOLATION TEST

Owner Mr. Fred Losley
Address Maloney Avenue, Stock Island
Key West, FL

Test Date Feb. 24, 1984

PROPERTY DESCRIPTION

Subdivision Bluewater
Lot All Block All
Monroe County Records: Platbook 4 Page 151

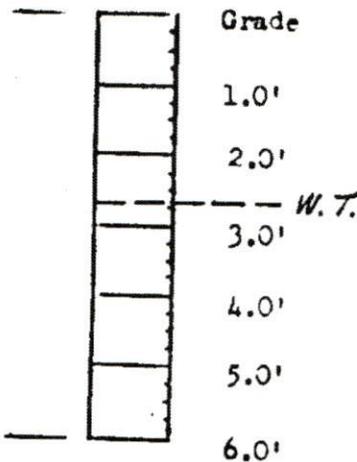
A PERCOLATION TEST WAS CONDUCTED AT THE ABOVE DESCRIBED PROPERTY
IN ACCORDANCE WITH THE FLORIDA DIVISION OF HEALTH RULES, CHAPTER 10D-6.

CONDITIONS WERE AS FOLLOWS:

Hole Diameter 6"
Hole Depth 18"
Soil Type Limerock fill
Lot Elevation 2.7'
Water Table MSL
Rate 3.2 min./inch

Results Satisfactory

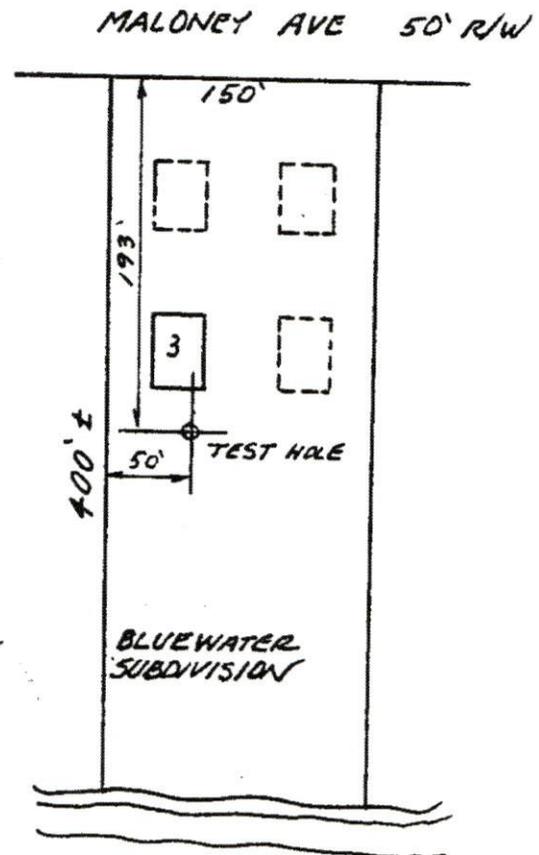
SOIL PROFILE



LEGEND

---	Water Table
1	Sand
2	Pervious Oolite
3	Crushed Rock Fill
4	Muck
5	Top Soil

PLOT PLAN (1"=100')



V. Page

Fred A Losley
P O Box 2755
Key West, Fla
33040

Monroe County Building Department
and
Monroe County Building Department

Legal Description: All of Lots 13 and 38, and the Northwesterly
half of Lots 14 and 37, Block 46, P B 1-55,
and adjacent submerged land, Stock Island,
Monroe County, Florida

To Whom It May Concern:

When ever the Stock Island Sewer System is available for Blue
Water Subdivision, I will make connection within 30 days


Fred A Losley

Signed before me this 25th day of April, 1984


Mary Dianne Bair
Notary Public
State of Florida
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES AUG 18 1985
BOND D THRU GEN RAL INS UNDERWRITERS



STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority Chapter 381 386 387 FS Chapter 10D-6,FAC

DATE 4-10-84 Permit Number K67-84

Name of Applicant FRED P. ROSLEY Telephone No 294-4633

Mailing Address of Applicant P.O. Box 2755

To Be Installed At (Give Street Address) 66 - MALDEN AVE UNIT 2

Lot No 2 Block No Subdivision Blue Water Flat Book 4 Page 151

Size of Lot By No Living Units 1 No Bedrooms 2 No People 3

Type of Business No Toilets 2 No Wash Basins No Employees

Total Square Feet in Building 1200

Note Attach Site Location Map and Other Supportive Documents Signature of Applicant Fred Rosley

SITE INFORMATION

Distance to Sanitary Sewer Distance to Stream Lake Canal

Distance to Public Water Supply Distance to Private Well(s)

Rainfall Data

Is Area Subject to Flooding? Does Site have Good Natural Drainage?

Which Way Does Lot Drain? Any Perimeter Ditches? Depth of Ditches

Is there Standing Water in Ditches? Depth of Water in Ditches

Distance to Nearest Residence (North East South West) Are Buildings

in this Area on Septic Tanks Sand Filters Other

Any Known Drainfield Failures in this Area

SOIL PROFILE AND PERCOLATION DATA

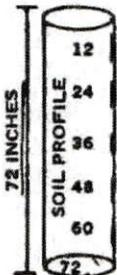


Table with 2 columns: Depth (inches) and Soil Description

Table with 2 columns: Soil Classification and Percolation Rate (1.9 min/inch)

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 750 Drain Tile (Linear Ft)

Dosing Tank Capacity Sand Filter Size (Sq Ft)

Grease Trap Capacity Absorbtion Bed Size (Sq Ft) 250 gal

Perforated Pipe (Linear Ft) Lateral Drainfield Size (Sq Ft)

Other Specifications 18" Fill Required in Drainfield FREA - (All set backs must be 5' EOMET)

RECOMMENDATION Approval [X] Disapproval []

Date Processed 4-25-84

Signature of Sanitarian Sanja Mitchell

County Health Department Monroe

FINAL INSPECTION DATA

Date and Time of Inspection Type of Tank (Concrete Fiberglass Etc)

Size Tank Installed Drainfield Size No Tile Feet

Dosing Tank Size Grease Trap Size Sand Filter Size

Who Made Installation

RECOMMENDATION Approval [] Disapproval []

PERCOLATION TEST

Owner Mr. Fred Losely
Address Maloney Avenue, Stock Island
Key West, FL

Test Date Feb. 24, 1984

PROPERTY DESCRIPTION

Subdivision Bluewater
Lot All Block All
Monroe County Records: Platbook 4 Page 151

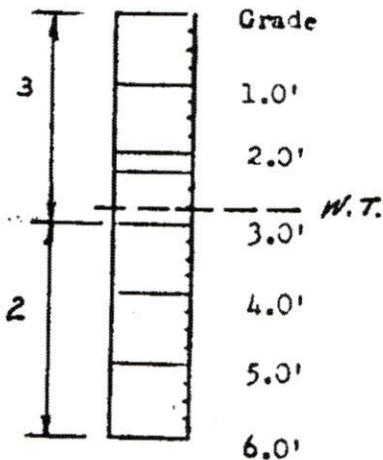
A PERCOLATION TEST WAS CONDUCTED AT THE ABOVE DESCRIBED PROPERTY
IN ACCORDANCE WITH THE FLORIDA DIVISION OF HEALTH RULES, CHAPTER 10D-6.

CONDITIONS WERE AS FOLLOWS:

Hole Diameter 6"
Hole Depth 18"
Soil Type Limerock fill
Lot Elevation 2.8'
Water Table MSL
Rate 1.9 min. / inch

Results Satisfactory

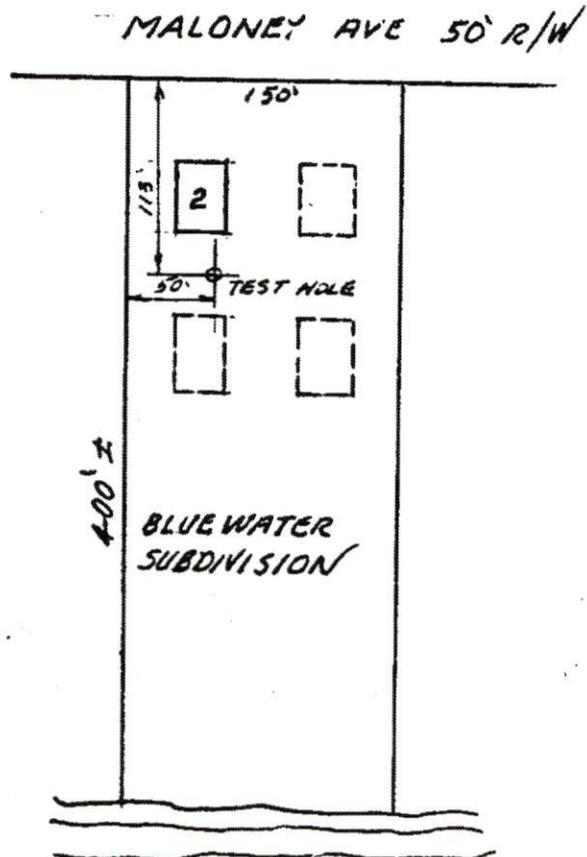
SOIL PROFILE



LEGEND

---	Water Table
1	Sand
2	Pervious Opilite
3	Crushed Rock Fill
4	Muck
5	Top Soil

PLOT PLAN (1"=100')



Florida Keys Aqueduct Authority (FKAA)
 P.O. Box 1239
 1100 Kennedy Drive
 Key West, Florida 33040
 305-296-2454

WATER MAIN EXTENSION INQUIRY

DATE: 4/11/84

OWNER'S NAME AND MAILING ADDRESS:

CONTRACTOR NAME AND ADDRESS (IF APPLICABLE):

FRED B. LOSLEY
PO BOX 2755
KEY WEST FL 33000

TELEPHONE NO. _____

TELEPHONE NO. _____

FKAA Per: D.C. ODELL

LOCATION: Water Service to Lot(s) 1, 38, 1/2 14 & 1/2 37 Block 46
 Subdivision MALONEY Key STOCK ISLAND

As requested, the following information is provided on the above property:

1. FKAA drawings indicate that there is an existing water main in front of the subject property on MALONEY AVE, and it is adequate to provide water service to the subject lot. The above information is the best available to the FKAA without extensive field verification. Should our record drawings be in error regarding size or location of the water main, the customer may still be required to extend or upgrade the water service in accordance with standard FKAA policy.
2. Front footage is due for this lot, \$ _____ for _____ lineal feet, at \$ _____ per foot.
3. A water main extension will be required prior to installing water service to this lot. The minimum requirement for this extension is _____ lineal feet of _____" pipe, including valves and fittings, and will be subject to verification at the time application is made.

NOTE: NEW INSTALLATION FEES ARE IN ADDITION TO COST OF WATER MAIN EXTENSION, AT THE OWNER'S EXPENSE, IF REQUIRED.

IF YOU ARE NOT BUILDING A SINGLE-FAMILY RESIDENCE, THEN PLANS MUST BE BROUGHT TO THE FKAA ENGINEERING DEPARTMENT, KEY WEST, FL.

White Copy - Customer; Yellow Copy - Engineering; Pink Copy - Area Office

Fred A. Losley
P. O. Box 2755
Key West, Fla.
33040

Monroe County Building Department
and
Monroe County Building Department

Legal Description: All of Lots 13 and 38, and the Northwesterly half of Lots 14 and 37, Block 46, P.B. 1-55, and adjacent submerged land, Stock Island, Monroe County, Florida.

To Whom It May Concern:

When ever the Stock Island Sewer System is available for Blue Water Subdivision, I will make connection within 30 days.


Fred A. Losley

Signed before me this 25th day of April, 1984.


Mary Dianne Bair
Notary Public
State of Florida

NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES AUG 18 1985
BONDED THRU GENERAL INS. UNDERWRITERS

Lots 1-25 inclusive of Blue Waters Subdivision
according to the plat thereof as recorded
in Plat Book 4 at page 151 of the Public
Records of Monroe County, Florida

This letter certifies that all utilities are on the premises,
water and electric.



Fred A Losley



STATE OF FLORIDA DEPARTMENT OF HEALTH AND REHABILITATIVE SERVICES

APPLICATION FOR SEPTIC TANK PERMIT AND FINAL INSPECTION FORM

Authority Chapter 381 386 387 FS Chapter 10D-6,FAC

DATE 9/6/83 Permit Number K156-83

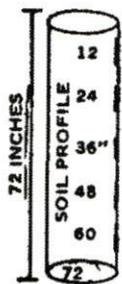
Name of Applicant Frederick A. Losley Telephone No 305-294-4633 Mailing Address of Applicant P.O. Box 2755 Key West, Fl. 33040 To Be Installed At (Give Street Address) 6630 Maloney Avenue Stock Island Lot No 11-23 Block No Subdivision Bluewater Plat Book Page 13 Size of Lot 6000 sq ft By No Living Units No Bedrooms 2 No People na Type of Business Sub. dev. development No Toilets No Wash Basins No Employees Total Square Feet in Building

Signature of Applicant [Signature]

SITE INFORMATION

Distance to Sanitary Sewer Distance to Stream Lake Canal Distance to Public Water Supply Distance to Private Well(s) Rainfall Data Is Area Subject to Flooding? Does Site have Good Natural Drainage? Which Way Does Lot Drain? Any Perimeter Ditches? Depth of Ditches Is there Standing Water in Ditches? Depth of Water in Ditches Distance to Nearest Residence (North East South West) Are Buildings in this Area on Septic Tanks Sand Filters Other Any Known Drainfield Failures in this Area

SOIL PROFILE AND PERCOLATION DATA



Lime rock fill PerVIOUS Oolite

Water Table At inches Hard Pan At inches Clay At inches Muck At inches Other At inches Soil Classification Percolation Rate 2 6 min/inch

INSTALLATION SPECIFICATIONS

Septic Tank Capacity 750 gal. Drain Tile (Linear Ft) Dosing Tank Capacity Sand Filter Size (Sq Ft) Grease Trap Capacity Absorbion Bed Size (Sq Ft) 250 FT^2 Perforated Pipe (Linear Ft) Lateral Drainfield Size (Sq Ft) Other Specifications max 24 in. 4" fill required in drainfield area - All setbacks must be met

RECOMMENDATION Approval [X] This Application is for 1 House only - No Other - 1 Permit only Disapproval [] Date Processed 9-7-83

Signature of Sanitarian [Signature]

MANPIS County Health Department

FINAL INSPECTION DATA

Date and Time of Inspection Type of Tank (Concrete Fiberglass Etc) Size Tank Installed Drainfield Size No Tile Feet Dosing Tank Size Grease Trap Size Sand Filter Size Who Made Installation

RECOMMENDATION Approval [] Disapproval []

Signature of Sanitarian

VERNON C. PAGE, P.E.
Consulting Engineer
3525 Northside Drive
Key West, FLA 33040

Exhibit 2 #1
SPINE ASH

PERCOLATION TEST

K 156-83

Owner Mr. Fred Losely
Address Maloney Avenue, Stock Island
Key West, FL

Test Date Aug. 13, '83

*Issued
9-6-83*

PROPERTY DESCRIPTION
Subdivision BLUE WATER
Lot All Block All
Monroe County Records: Platbook 4 Page 151

A PERCOLATION TEST WAS CONDUCTED AT THE ABOVE DESCRIBED PROPERTY
IN ACCORDANCE WITH THE FLORIDA DIVISION OF HEALTH RULES, CHAPTER 100-6.

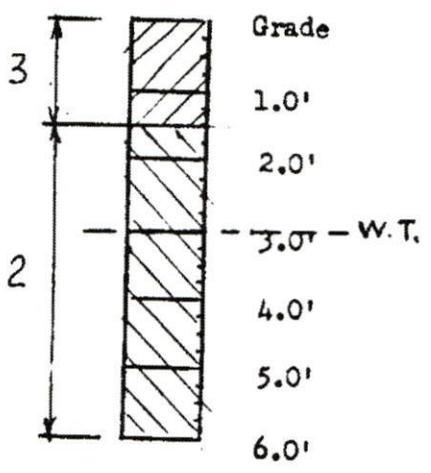
CONDITIONS WERE AS FOLLOWS:

Hole Diameter 6"
Hole Depth 20"
Soil Type Limerock
Lot Elevation 3'-0"
Water Table MSL
Rate 3.6 min/inch

Results Satisfactory

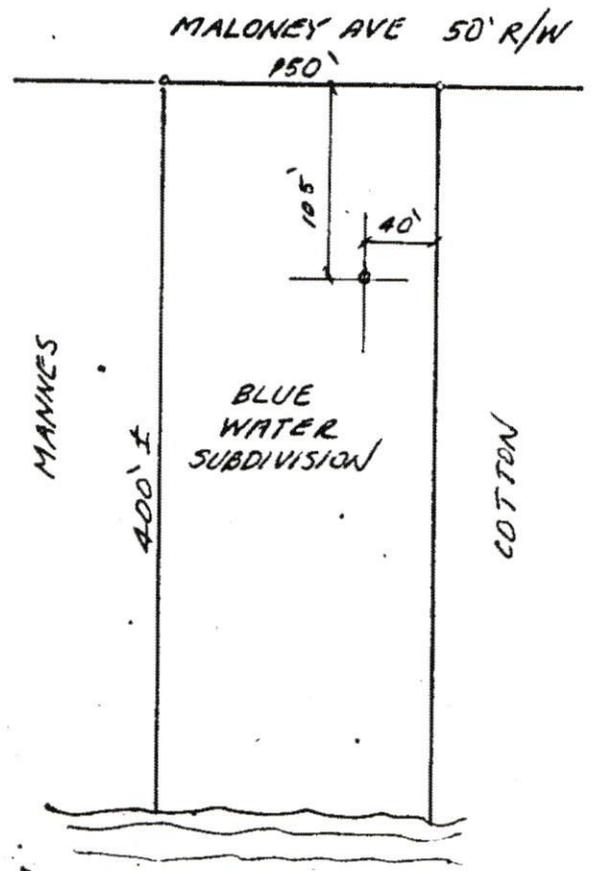
SOIL PROFILE

PLOT PLAN (1" = 100')

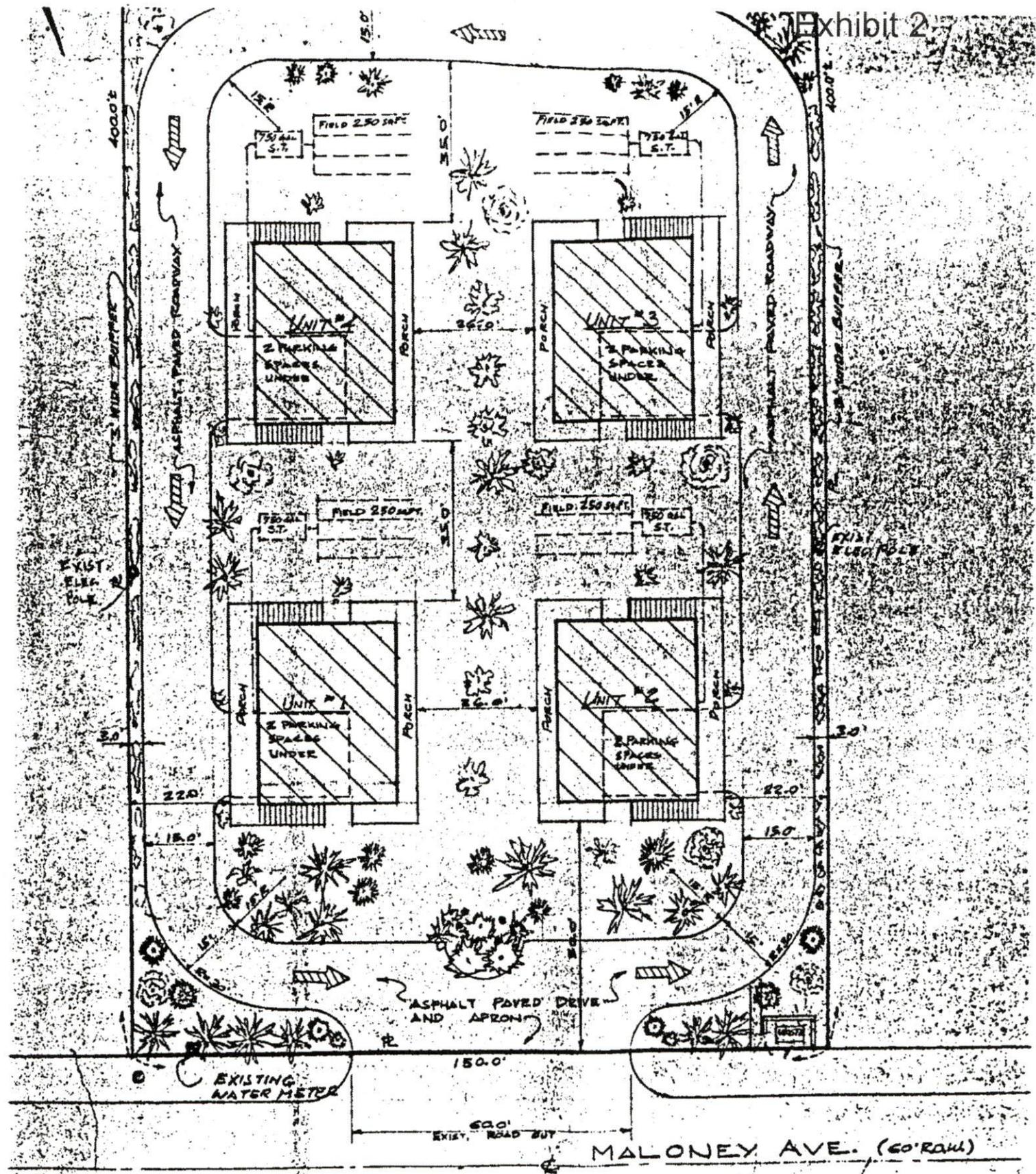


LEGEND

---	Water Table
1	Sand
2	Pervious Opelite
3	Limerock Fill
4	Muck
5	Top Soil



W. Page



SITE PLAN
SCALE 1" = 20.0'

PERCOLATION TEST

Owner Mr. Fred Losely
Address Maloney Avenue, Stock Island
Key West, FL

Test Date Aug. 13, '83

PROPERTY DESCRIPTION

Subdivision BLUE WATER
Lot All Block All
Monroe County Records: Platbook 4 Page 151

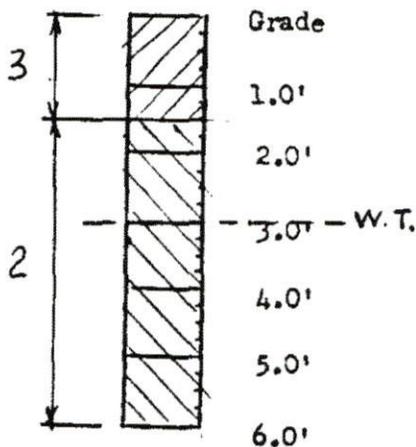
A PERCOLATION TEST WAS CONDUCTED AT THE ABOVE DESCRIBED PROPERTY
IN ACCORDANCE WITH THE FLORIDA DIVISION OF HEALTH RULES, CHAPTER 100-6.

CONDITIONS WERE AS FOLLOWS:

Hole Diameter 6"
Hole Depth 20"
Soil Type Limerock
Lot Elevation 3'-0"
Water Table MSL
Rate 3.6 min/inch

Results Satisfactory

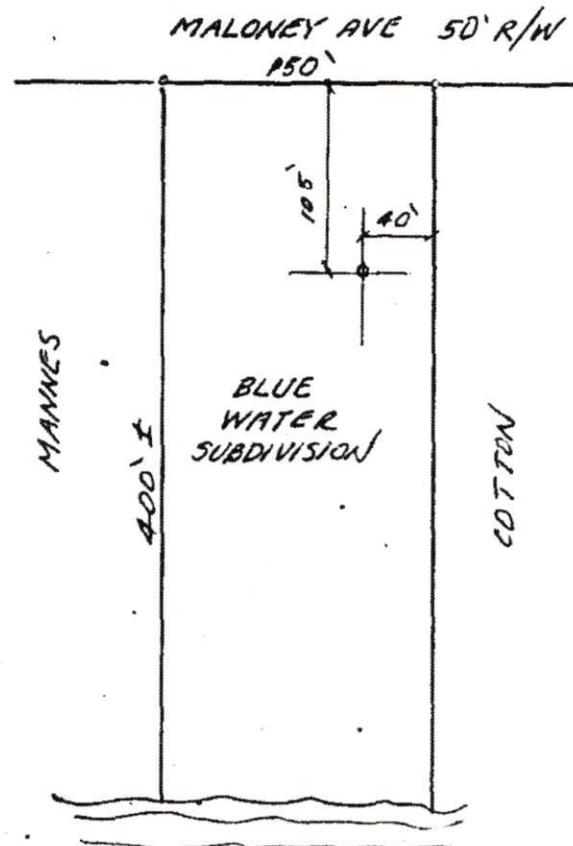
SOIL PROFILE



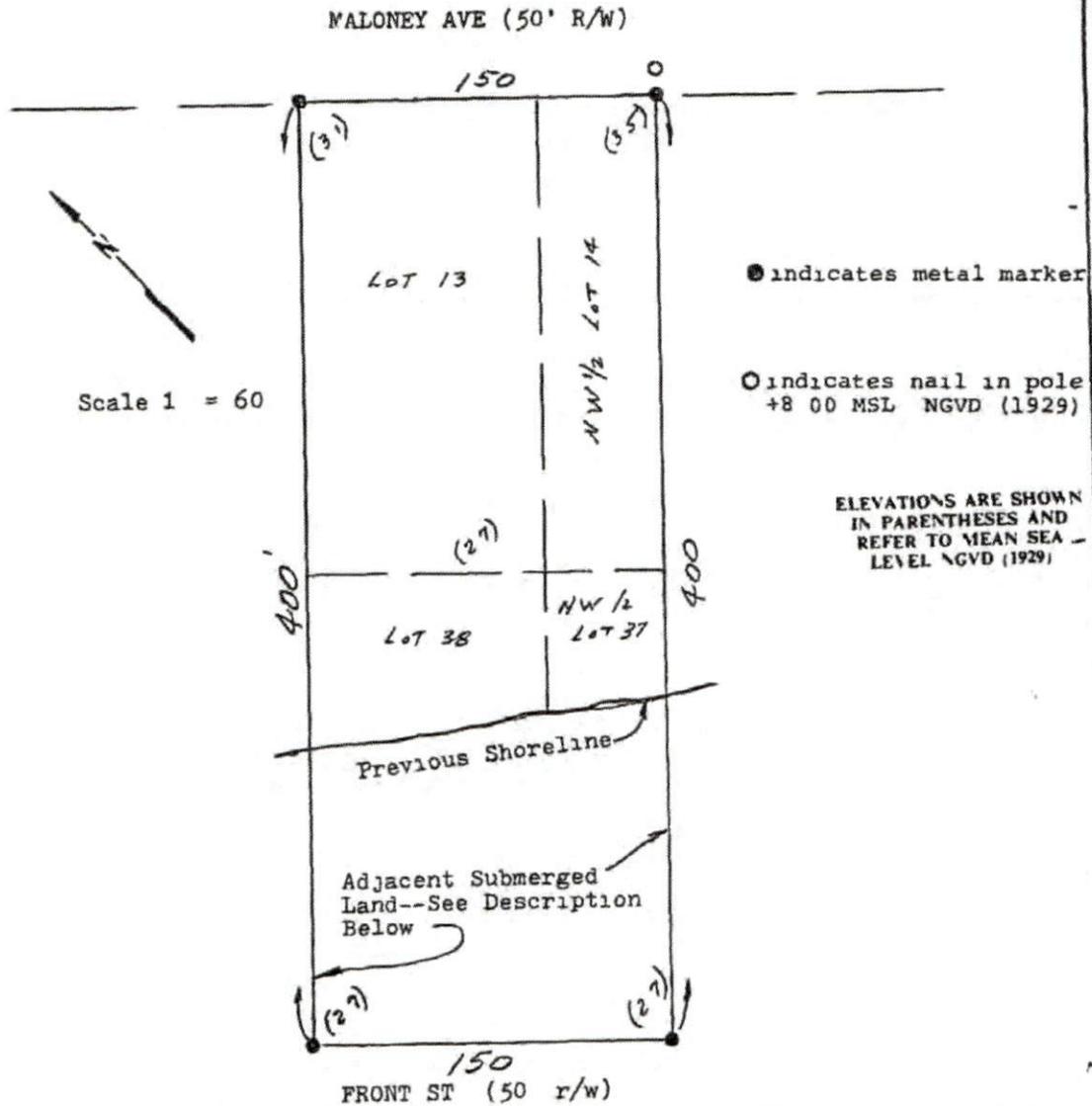
LEGEND

---	Water Table
1	Sand
2	Pervious Opelite
3	Limerock Fill
4	Muck
5	Top Soil

PLOT PLAN (1" = 100')



V. Page



SURVEY OF All of Lots 13 and 38 and the Northwesterly half of Lots 14 and 37, Block 46 P B 1-55 and adjacent submerged land Stock Island Monroe County, Florida, the adjacent submerged land being more particularly described as follows From the North corner of said Lot 38 go Southwesterly along the Northwesterly line of said Lot 38 a distance of 70 feet more or less to a point in the shoreline of Stock Island which point is the Point of Beginning thence continue Southwesterly along the Northwesterly line of said Lot 38 (extended) a distance of 130 feet to a point in the Northeastly line of Front Street (extended) thence Southeastly along the Northeastly line of Front Street (extended) a distance of 150 feet to a point, thence at right angles and Northeastly a distance of 165 feet to a point in the shoreline of Stock Island, thence Northwesterly along the meanders of said shoreline a distance of 160 feet more or less, back to the Point of Beginning

SURVEY FOR FRED LOSLEY

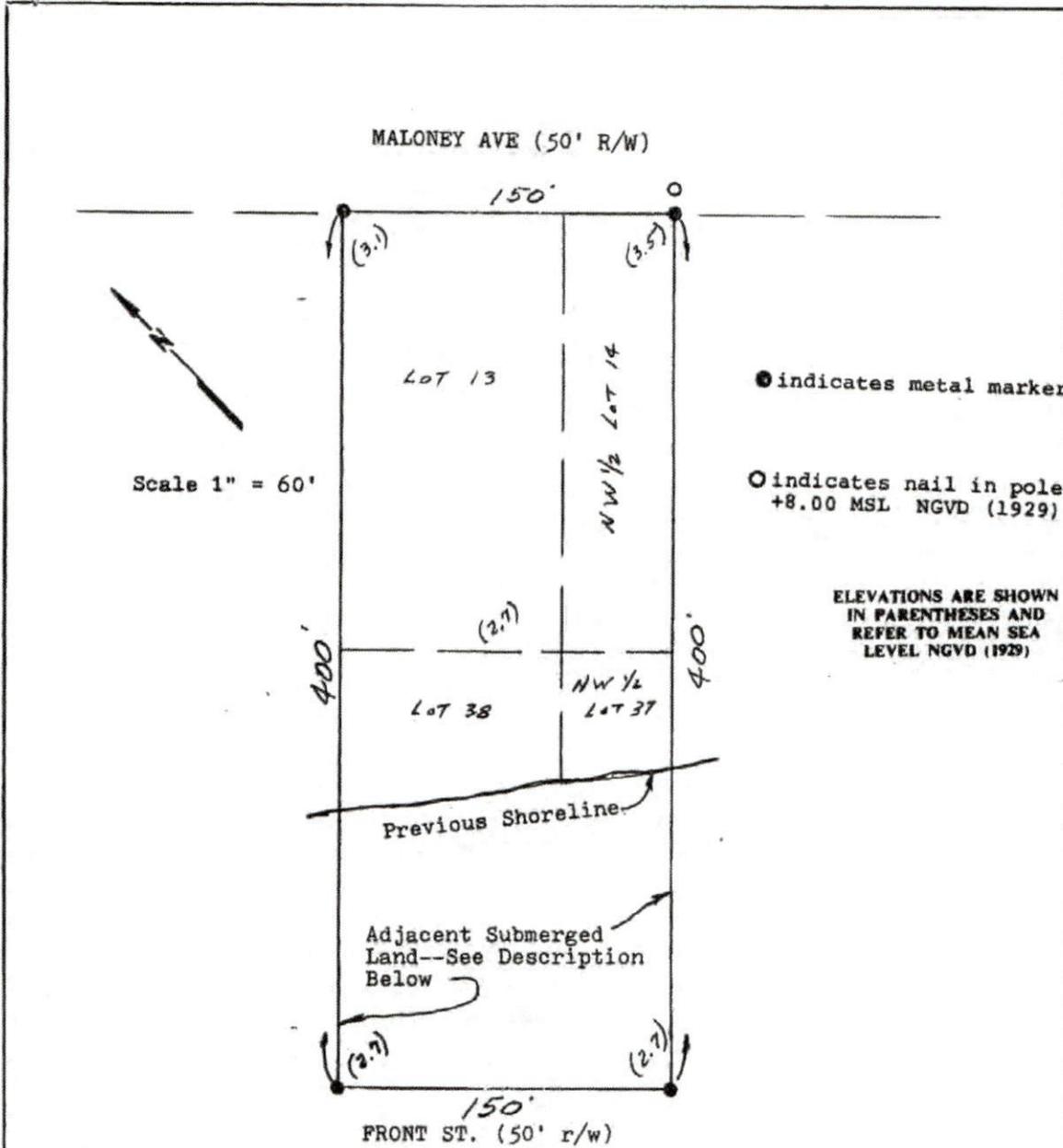
I HEREBY CERTIFY that the survey represented hereon meets the minimum requirements adopted by the Florida Society of Professional Land Surveyors and the Florida Land Title Association

PHILLIPS & TRICE SURVEYING INC

Jack M. Phillips
Professional Land Surveyor
Florida Reg. Cert. 1111

April 20 1984
Tallahassee Florida

THIS SURVEY IS NOT
VALID UNLESS ENROBSED
WITH A RAISED SEAL



SURVEY OF: All of Lots 13 and 38, and the Northwesterly half of Lots 14 and 37, Block 46, P.B. 1-55, and adjacent submerged land, Stock Island, Monroe County, Florida, the adjacent submerged land being more particularly described as follows: From the North corner of said Lot 38 go Southwesterly along the Northwesterly line of said Lot 38 a distance of 70 feet, more or less, to a point in the shoreline of Stock Island which point is the Point of Beginning; thence continue Southwesterly along the Northwesterly line of said Lot 38 (extended) a distance of 130 feet to a point in the Northeastly line of Front Street (extended); thence Southeastly along the Northeastly line of Front Street (extended) a distance of 150 feet to a point; thence at right angles and Northeastly a distance of 165 feet to a point in the shoreline of Stock Island; thence Northwesterly along the meanders of said shoreline a distance of 160 feet, more or less, back to the Point of Beginning.

SURVEY FOR: FRED LOSLEY

I HEREBY CERTIFY that the survey represented hereon meets the minimum requirements adopted by the Florida Society of Professional Land Surveyors and the Florida Land Title Association.

PHILLIPS & TRICE SURVEYING, INC.

Jack M. Phillips
 Jack M. Phillips
 Professional Land Surveyor
 Florida Reg. Cert. #1410

April 20, 1984
 Key West, Florida

THIS SURVEY IS NOT
 VALID UNLESS EMBOSSED
 WITH A RAISED SEAL

DATE 6-12-89 TIME 9:15 AM
 INSPECTOR [Signature]
 TYPE INSPECTION F. Elec.
 PERMIT # 119724 1-2-3-4
 LOT _____ BLOCK _____
 SUBDIVISION _____
 OWNER Losley
 INSPECTORS SIGN [Signature]
 DATE 6-12-89
 STREET _____
 KEY Stock Island
 refer 5649
 ACTOR -

UNIT 1

STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES

SEPTIC TANK CONSTRUCTION PERMIT

MANASSA County Health Dept. No. K156-83

Owner FREDERICK B. LOSLEY

For Installation At: 6630 Maloney Ave
1-25 lots - Blue Water #4 - Div. St. Isl.

Drainfield Size 250 FT² Sand Filter Size _____

Septic Tank Capacity Minimum 750 gal.

Grease Trap Capacity Minimum _____

Dosing Tank _____ Drain Tile _____

(a) Installation must be in accord with requirements of Chapter 10D-6, Florida Administrative Code.
 (b) Final inspection required before work is covered.
 (c) Permit void if not used within one year.
 (d) Approved installation does not guarantee performance.

Date of Application 9/6/83 Issue 9/7/83

Issued By [Signature]

Friday

DATE 3-29-85 TIME REC: _____
 INSPECTOR John
 TYPE INSPECTION F. Rdy. unit # 1
 PERMIT # 11872A
 LOT _____ BLOCK _____
 SUBDIVISION Maloney
 OWNER Fred Sosley
 INSPECTORS SIGN John W. Yahn
 DATE OK 3-29-85
 STREET McDonald Ave.
 KEY Stock Isl.

CALLER

DATE 12-19-85 TIME REC: _____
 INSPECTOR John
 TYPE INSPECTION Pager Foundation
 PERMIT # 11872A
 LOT 13-37 BLOCK 46
 SUBDIVISION Blue Waters
 OWNER Sosley
 INSPECTORS SIGN John W. Yahn
 DATE 12-19-85
 STREET McDonald
 KEY Stock Island

CALLER -
CONTRACTOR -

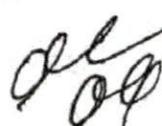
DATE 10-87 TIME REC: _____
 INSPECTOR Mike Osborn
 TYPE INSPECTION 11872A
 PERMIT # Final Check on 1, 2, 3.
 LOT 13-38 BLOCK _____
 SUBDIVISION NW 1/4 14, 37 Blue Waters
 OWNER Fred Sosley
 INSPECTORS SIGN M. Q. Rade
 DATE Oct. 1987
 STREET Maloney Ave
 KEY Stock Island

CALLER -
CONTRACTOR -

DATE 10-23-87 TIME _____
 INSPECTOR Ring
 TYPE INSPECTION F. Elk
 PERMIT # 11872A
 LOT 13-38 BLOCK 46
 SUBDIVISION Blue Waters
 OWNER Sosley
 INSPECTORS SIGN J
 DATE 10-23-87
 STREET Maloney
 KEY _____

CALLER -
CONTRACTOR -

DATE 7/10 TIME REC: 8:20
 INSPECTOR ap
 TYPE INSPECTION column
 PERMIT # 11872A
 LOT 13 & 38 BLOCK 46
 SUBDIVISION Blue water
 OWNER Losley
 INSPECTORS SIGN ap
 DATE 7/10/84
Stock Island
MAC AVE


DATE 12/12/84 TIME REC: _____
 INSPECTOR ap
 TYPE INSPECTION RUG
 PERMIT # 11872A
 LOT 13 & 38 BLOCK 46
 SUBDIVISION Blue water
 OWNER Fred Losley
 INSPECTORS SIGN ap
 DATE 12/12/84
Maloney
Stock Island


DATE 4/23/86 TIME REC: _____
 INSPECTOR John
 TYPE INSPECTION Column Steel
 PERMIT # 11872A
 LOT _____ BLOCK _____
 SUBDIVISION Losley
 OWNER Fred Summerhead et al
 INSPECTORS SIGN OK John John
 DATE 4/23/86
 STREET _____
 KEY Stock Island

DATE _____ TIME REC: _____
 INSPECTOR John
 TYPE INSPECTION Framing Suits
 PERMIT # 11872A
 LOT _____ BLOCK _____
 DIVISION Bluewater
 OWNER Losley
 INSPECTORS SIGN OK John John
 DATE 11/8/87
 STREET Maloney
 KEY Stock Island

CALLER - _____
 CONTRACTOR - _____

LER



No Reinspection fee

DATE 11-30-94 TIME REC: _____
 INSPECTOR Mike
 TYPE INSPECTION R. Plog
 PERMIT # 11872A
 LOT 17-38 BLOCK _____
 SUBDIVISION Blue Water
 OWNER Lesley
 INSPECTORS SIGN Mike
 DATE 11/21/84

DATE _____ TIME REC: _____
 INSPECTOR Jerry
 TYPE INSPECTION T. Ellis
 PERMIT # 11872A
 LOT _____ BLOCK _____
 SUBDIVISION Maloney
 OWNER Lesley
 INSPECTORS SIGN J
 DATE 4-1-95

Maloney Ave
Prevent two Both to
10:30 11/21/84 Call
Antack 100

STREET 17 Water
 KEY _____
 Called Pole # B-36-5-2
4-1-95 CALLER Meton 12137
Next To

DATE _____ TIME REC: _____
 INSPECTOR al
 TYPE INSPECTION R/Framing
 PERMIT # 118727
 LOT 13-38 BLOCK 46
 SUBDIVISION Blue Water
 OWNER Fred Looney
 INSPECTORS SIGN al
 DATE 12/12/84

Maloney
Estab Isl and
al al

DATE 1-11-85 TIME REC: _____
 INSPECTOR Dick
 TYPE INSPECTION Insulation
 PERMIT # 11872A
 LOT 17-38 BLOCK _____
 SUBDIVISION Blue Water
 OWNER E Looney
 INSPECTORS SIGN MSB
 DATE 1-11-85

Maloney

DATE 7-22-85 TIME REC: _____
 INSPECTOR Jerry
 TYPE INSPECTION 3 El. Unit #1
 PERMIT # 11872A
 LOT _____ BLOCK _____
 SUBDIVISION Malony
 OWNER Fred Lokey
 INSPECTORS SIGN [Signature]
 DATE 4-1-85
 STREET Mc Donald Ave.
 KEY Stock det.
Pole at road
 Next Pole on tot.
 CALLER _____
B-36-5

DATE 6/20/84 TIME REC: 10: Am
 INSPECTOR al
 TYPE INSPECTION Auger
 PERMIT # 11872A
 LOT 13 BLOCK 38
 SUBDIVISION Blue Water
 OWNER Fred LALEY
 INSPECTORS SIGN [Signature]
 DATE 6/20/84
stock island
by Phone Booth
summer sleep
Must pump
water out

DATE 4-13-87 TIME REC: _____
 INSPECTOR Mike
 TYPE INSPECTION R. Plog
 PERMIT # 11872A
 LOT _____ BLOCK _____
 SUBDIVISION Malony
 OWNER Lokey
 INSPECTORS SIGN Mike
 DATE 4/13/87
 STREET Mc Donald Ave
 KEY Stock det.
 CALLER - Burman. OK
 CONTRACTOR - _____

DATE 3-11-87 TIME REC: _____
 INSPECTOR [Signature]
 TYPE INSPECTION R. El. Unit #34
 PERMIT # 11872A
 LOT 13-38 BLOCK _____
 SUBDIVISION Blue Water
 OWNER Lokey
 INSPECTORS SIGN [Signature]
 DATE 3-11-87
 STREET Malony Ave.
 KEY _____
 CALLER - _____
 CONTRACTOR - _____

DATE <u>3/9/87</u> TIME REC: _____	DATE <u>3/30/87</u> TIME REC: _____
INSPECTOR <u>Mike</u>	INSPECTOR <u>Mike</u>
TYPE INSPECTION <u>P. Plumb</u>	INSPECTION <u>P. Plumb</u>
PERMIT # <u>11872A</u>	IT # <u>11872A</u>
LOT <u>13</u> BLOCK <u>38</u>	BLOCK _____
SUBDIVISION <u>Blue Water</u>	VISION <u>Stacks 1</u>
OWNER <u>Lawson</u>	INSPECTOR SIGN <u>Mike</u>
INSPECTORS SIGN <u>Mike</u>	INSPECTORS SIGN <u>Mike</u>
DATE <u>3/10/87</u>	DATE <u>3/30/87</u>
STREET <u>Maloney Dr</u>	STREET <u>Maloney Dr</u>
KEY <u>Stacks 1</u>	KEY <u>Stacks 1</u>
TRACTOR - <u>#169. & OK</u>	TRACTOR - <u>OK</u>

DATE <u>12/13/84</u> TIME REC: _____	DATE <u>3-29-85</u> TIME REC: _____
INSPECTOR <u>Mike</u>	INSPECTOR <u>McK</u>
TYPE INSPECTION <u>P. Plumb</u>	TYPE INSPECTION <u>F. Abby</u>
PERMIT # <u>11872A</u>	PERMIT # <u>11872A</u>
LOT <u>13</u> BLOCK <u>46</u>	LOT _____ BLOCK _____
SUBDIVISION <u>Blue Water</u>	SUBDIVISION <u>Malony</u>
OWNER <u>Fred Losley</u>	OWNER <u>Fred Losley</u>
INSPECTORS SIGN <u>Mike</u>	INSPECTORS SIGN <u>Mike</u>
DATE <u>12/14/84</u>	DATE <u>3/29/85</u>
STREET _____	STREET <u>McDonald Av.</u>
KEY _____	KEY <u>Stacks Island O.K.</u>
TRACTOR - <u>OK</u>	TRACTOR - <u>(Friday 29)</u>

FINAL APPROVAL
STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES

SEPTIC TANK PERMIT

Monroe County Health Dept. No. K69-84
Owner: Fred Losley
Address: #66 Maloney Ave. Stock Island
UNIT # 4
Site: Pinewood
Inspected By: M. Watson
Infield Size: 270 Sand Filter Size _____
Septic Tank Capacity: 900 Grease Trap _____
Inlet Tank _____ Drain Tile _____
Material of Tank: Concrete

- (a) The approval of septic tank construction does not guarantee performance.
 - (b) If sanitary Sewerage becomes available, Connection is Required Within 365 Days after availability notification.
- By: M. Watson Date 8/28/86

H FORM 4018, Aug 78 (Replace San-428)

FINAL APPROVAL
STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES

SEPTIC TANK PERMIT

Monroe County Health Dept. No. K67-84
Owner: Fred Losley
Address: #66 Maloney Ave. Stock Island
UNIT # _____
Site: Pinewood
Inspected By: M. Watson
Infield Size: 255 Sand Filter Size _____
Septic Tank Capacity: 900 Grease Trap _____
Inlet Tank _____ Drain Tile _____
Material of Tank: Concrete

- (a) The approval of septic tank construction does not guarantee performance.
- (b) If sanitary Sewerage becomes available, Connection is Required Within 365 Days after availability notification.

By: M. Watson Date 8/28/86

H FORM 4018, Aug 78 (Replace San-428)

DATE 11 29 89 TIME REC: _____
INSPECTOR Jamy
TYPE INSPECTION R.P.
PERMIT # 15950 A
LOT 13.38 BLOCK 46
SUBDIVISION Blue Water
OWNER Fred Losley
INSPECTORS SIGN Jamy Waters
DATE 11 30 89
STREET Maloney ave
KEY Stock Island

PERMIT: _____
DATE OF ISSUANCE _____

CALLER - _____
CONTRACTOR - _____

DATE 8 18 89 TIME _____
INSPECTOR Jamy
TYPE INSPECTION R.P.
PERMIT # 15950
LOT 13 BLOCK _____
SUBDIVISION _____
OWNER Fred Losley
INSPECTORS SIGN Jamy Waters
DATE 8 19 89
STREET Maloney ave
KEY Stock Island

CALLER - Fred Losley
CONTRACTOR - _____

<p>STATE OF FLORIDA DEPARTMENT OF HEALTH & REHABILITATIVE SERVICES</p> <p>SEPTIC TANK CONSTRUCTION PERMIT <u>UNIT 2</u></p> <p><u>Monroe</u> County Health Dept. No. <u>K67-84</u></p> <p>Owner: <u>Fred A. Losley</u> For Installation At: <u>Stack Island Marine</u> DVE - Blue Water Sub Dini Drainfield Size: <u>250 FT²</u> Sand Filter Size: _____ Septic Tank Capacity Minimum: <u>750 gal</u> Grease Trap Capacity Minimum: _____ Dosing Tank: _____ Drain Tile: _____</p> <p><i>* 18" fill required per Dept. Sec. 61.04</i></p> <p>(a) Installation must be in accord with requirements of Chapter 10D-6, Florida Administrative Code. (b) Final inspection required before work is covered. (c) Permit void if not used within one year. (d) Approved installation does not guarantee performance.</p> <p>Date of Application: <u>4-10-84</u> Issue: <u>4-25-84</u> Issued By: <u>Sanja Mitchell</u></p>	<p>STATE OF FLORIDA DEPARTMENT OF HEALTH & REHABILITATIVE SERVICES</p> <p>SEPTIC TANK CONSTRUCTION PERMIT <u>UNIT 3</u></p> <p><u>Monroe</u> County Health Dept. No. <u>K68-84</u></p> <p>Owner: <u>Fred Losley</u> For Installation At: <u>666 Maloney Ave</u> Blue Water Sub Dini - Stack Island Drainfield Size: <u>250 FT²</u> Sand Filter Size: _____ Tank Capacity Minimum: <u>750 gal</u> Trap Capacity Minimum: _____ Tank: _____ Drain Tile: _____</p> <p>tallation must be in accord with requirements of Chapter 10D-6, Florida Administrative Code. Final inspection required before work is covered. Permit void if not used within one year. Approved installation does not guarantee performance.</p> <p>Application: <u>4-10-84</u> Issue: <u>4-25-84</u> By: <u>Sanja Mitchell</u></p>
--	--

<p>STATE OF FLORIDA DEPARTMENT OF HEALTH & REHABILITATIVE SERVICES</p> <p>SEPTIC TANK CONSTRUCTION PERMIT <u>UNIT 4</u></p> <p><u>Monroe</u> County Health Dept. No. <u>K69-84</u></p> <p>Owner: <u>Fred Losley</u> For Installation At: <u>666 Maloney Ave</u> Blue Water Sub Dini - Stack Island Drainfield Size: <u>180 FT²</u> Sand Filter Size: _____ Septic Tank Capacity Minimum: <u>750 gal</u> Grease Trap Capacity Minimum: _____ Dosing Tank: _____ Drain Tile: _____</p> <p><u>2 3/4" fill needed in drainfield</u></p> <p>(a) Installation must be in accord with requirements of Chapter 10D-6, Florida Administrative Code. (b) Final inspection required before work is covered. (c) Permit void if not used within one year. (d) Approved installation does not guarantee performance.</p> <p>Date of Application: <u>4-10-84</u> Issue: <u>4-25-84</u> Issued By: <u>Sanja Mitchell</u></p>	<p>FINAL APPROVAL</p> <p>STATE OF FLORIDA DEPARTMENT OF HEALTH & REHABILITATIVE SERVICES</p> <p>SEPTIC TANK PERMIT</p> <p><u>Monroe</u> County Health Dept. No. <u>K68-84</u></p> <p>Owner: <u>Fred Losley</u> For Installation At: <u>666 Maloney Ave Stack Island</u> UNIT 3 BY: <u>Pinewood</u> Inspection By: <u>M. Watson</u> Drainfield Size: <u>270</u> Sand Filter Size: _____ Tank Capacity: <u>900</u> Grease Trap: _____ Tank: _____ Drain Tile: _____ Tank: <u>Concrete</u></p> <p>The approval of septic tank construction does not guarantee performance. if sanitary sewerage becomes available, Connection is required within 365 days after availability notification.</p> <p><u>M. Watson</u> Date: <u>8/28/86</u></p>
--	--

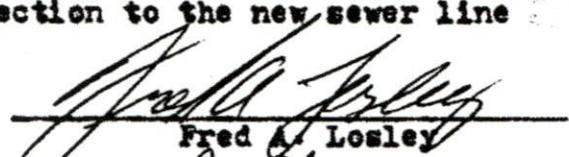
Fred A. Losley
P.O. Box 2755
Key West, Fl.
33040

Monroe County Building Department
and
Monroe County Health and Sanitation Department

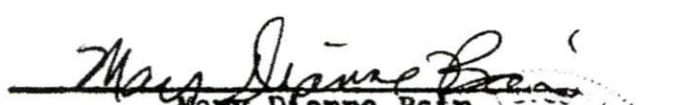
Legal Description: All of lots 13 and 38 and the
northwesterly half of lots 14
and 37, Block 46, P.B. 1-55
and the adjacent submerged
land, Stock Island, Monroe
County, Florida

To Whom It May Concern:

When the sewer system for the Key West Resort Development
is available, I will make connection to the new sewer line
within 30 days.


Fred A. Losley

Signed before me this 24 day of April, 1984.


Mary Dianne Bair
Notary Public
State of Florida
NOTARY PUBLIC STATE OF FLORIDA AT LARGE
MY COMMISSION EXPIRES AUG 18 1985
BONDED THRU GENERAL INS. UNDERWRITERS

11872A

USE ONLY NAIL CLIP FASTENERS & LUMBER AS SPECIFIED. OTHERWISE DESIGN IS VOID & TRUSS FAILURE RESULT.
 CAUTION: PROVIDE NOTICE OF REQUIRED STRUCTURAL LATERAL BRACING, THIS DESIGN & SHEET 10 TO FIELD ERECTOR.
 REQUIRED SPECIFICATIONS on sheet 10 are part of design. See appendix for joint details, cutting, etc.

REACTIONS -55L LINEAL INCHES OF BEARING REQUIRED = 0.066 TIMES OVERALL SPAN IN FEET
 FORCES TOP: -250L -173L BOTTOM: +242L +242L
 FORCES DIAG: -72L VERT: +6L
 TRUSS & WEB BRACING ARE SYMMETRIC BRACING SHOWN IS FOR MAX. SPAN

APPROVED

MONROE COUNTY BUILDING & ZONING DEPT AFTER 03/87

CHORDS

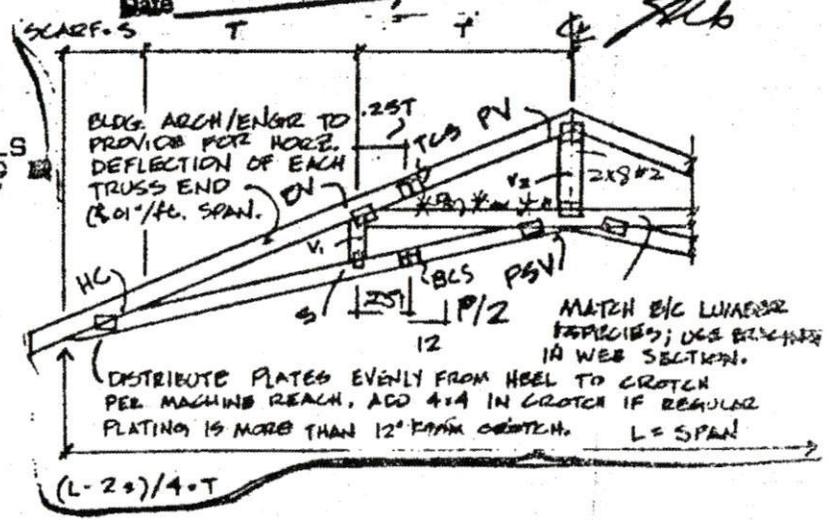
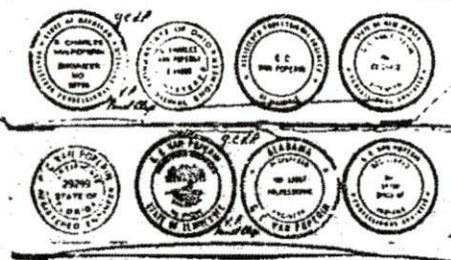
S. PINE-KD	MAX SPAN	TOP	BOTTOM
2x4 M.C. 15%			
NO2	20' 3"	23' 6"	
DN2	22' 0"	26' 11"	
NO1	22' 6"	27' 0"	
DN1	24' 0"	31' 2"	
2x6			
NO2	30' 8"	28' 8"	
DN2	33' 5"	33' 5"	
NO1	34' 3"	40' 8"	
DN1	36' 8"	47' 6"	
2x8			
NO2	40' 5"	31' 3"	
DN2	43' 11"	36' 6"	
NO1	45' 0"	45' 9"	
DN1	48' 2"	52' 8"	
2x10			
NO2	51' 3"	30' 8"	
DN2	55' 9"	36' 0"	
NO1	57' 3"	45' 11"	
DN1	58' 0"	53' 9"	
2x12			
NO2	62' 3"	37' 3"	
DN2	64' 6"	43' 9"	
NO1	64' 6"	55' 9"	
DN1	64' 6"	64' 6"	

WEBS

WEBS ARE 2x4 S. PINE-KD STND EXCEPT at listed SPANS & BRACING *
 WEB BRACES <0> <1> <2> <3> <4>

WEB	BRACES	<0>	<1>	<2>	<3>	<4>
V2	2x4 STND	25'				
"	2x4 NO3	34'				
"	2x6 NO3	43'				
"	2x6 NO2	53'				
"	2x8 NO2	65'				
D1	2x4 STND	26'	35' 45'			
"	2x6 NO3	30'	41' 54' 65'			

USE 1X4 Web Braces & 2-8d NAILS FOR WEB SIZES SEE ALSO PLATING BELOW



g=18 gauge plates; W=heel wedge; 3X512gS = 3X5g & 3X12gSOL (TYPICAL).
 R=reinforced heel; FOR STEEP WEBS (55-85degrees TO THE CHORD) WITH DD, DV, DVD&PDD SINGLE PLATE JOINTS USE THESE CHORD BITES: 1.5" FOR 3"x4" HIGH PLATES;

PANEL-CLIP PLATES

BOTTOM CHORD	HC.	BCS.	TOP CHORD	TCS.	PV.	WEBS	S.	DV.	PSV.
2x4	12' 0"	3X5g	2x4	12' 0"	3X5	12' 0"	3X1.5	3X4	3-3X5g
2x4	18' 0"	2-3X5	2x4	18' 0"	3X5	18' 0"	3X1.5	4X4	5-3X4g
2x4	23' 0"	2-3X5g	2x4	24' 0"	3X5	23' 0"	3X1.5	4X5	T+5-3X5g
2x4	31' 2"	3-3X5g	2x6	29' 0"	4X5	29' 0"	3X1.5	4X5	T+7-3X5g
2x6	35' 0"	3-3X5g	2x6	36' 8"	4X5	35' 0"	4X2	4X5g	T+7-3X5g
2x6	41' 0"	4-3X5g	2x8	41' 0"	4X5g	41' 0"	4X2	4X5g	@T+10-4X5g
2x6	47' 6"	4-3X5g	2x8	48' 2"	2-3X5	47' 0"	4X2	4X5g	@T+10-4X5g
2x8	52' 8"	5-3X5g	2x10	53' 0"	2-3X5	53' 0"	3X4	2-4X5g	@T+10-4X5g
2x10	53' 9"	5-3X5g	2x10	58' 0"	2-3X5	58' 0"	3X4	2-4X5g	#4T+12-4X5g
2x12	64' 6"	6-3X5g	2x12	64' 6"	2-4X5	64' 6"	3X4	2-4X5g	#4T+12-4X5g

DOUBLE CUT WEBS @=2x6, #=2x8, WEB SIZES T=2x12g 3T=3x12g 4T=4x12g TENSION WEB OVERLA

L=OVERALL SPAN in feet 1.000 PANEL CLIP COMPANY TOP LL 30 SPACING SLOPE SPAN TYPE
 CAMBER BOTTOM CHORD L/60 inches (313)474-0433 TOP DL 15 24 in 4/12 64' 6" SCISSOR
 TK-7 KLINCHER 4x5x8 syp BOX 423 BOT LL 0
 PLATE HOLDING POWER = 300psi FARMINGTON, MI BOT DL 10 INCREASE DATE DRAW NUMBER
 NDS-B2: TPI 78: SBCC 7751: BOCA 77-92 Criteria 48024 TOTAL 55 33.3% 03/24/84 SC-4-COMP-055

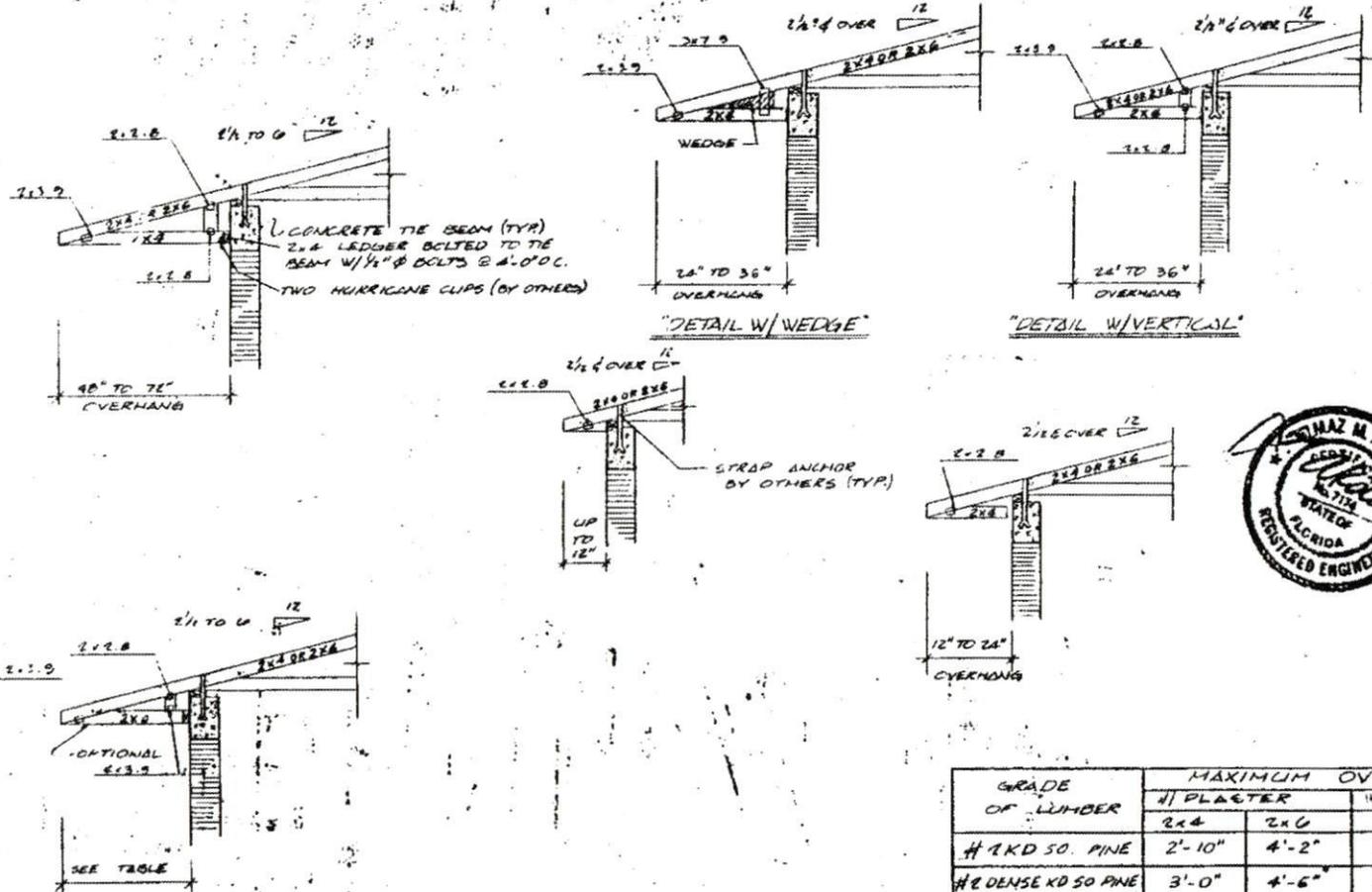
HANDLING AND ERECTION
 CARELESS HANDLING OF TRUSSES SHALL NOT BE PERMITTED. TEMPORARY AND PERMANENT BRACING FOR HOLDING TRUSSES PLUMB AND FOR RESISTING LATERAL FORCES SHALL BE DESIGNED AND INSTALLED BY OTHERS. NO LOADS OTHER THAN THE ERECTORS SHALL BE APPLIED TO TRUSSES UNTIL AFTER ALL BRACING AND FASTENINGS ARE COMPLETED. AT NO TIME SHALL CONCENTRATED LOADS GREATER THAN DESIGN LOADS BE APPLIED TO TRUSSES.

MISCELLANEOUS INFORMATION
 THIS DATA SHEET, AND THE INFORMATION HEREON, IS THE PROPERTY OF AUTOMATED BUILDING COMPONENTS, INC. AND IS NOT TO BE COPIED IN WHOLE OR IN PART, OR USED FOR UNAUTHORIZED EXPLOITATION OF THE ITEMS DISCLOSED HEREIN OR IN ANY OTHER WAY DISCLOSED OR USED FOR FURNISHING INFORMATION TO OTHERS. USE OF THIS STRUCTURAL COMPONENT IN A COMPLETE STRUCTURE MUST BE, AT THE SPECIFICATION OF THE DESIGNER OF SAID COMPLETE STRUCTURE. ALL LATERAL BRACING SPECIFIED HEREON IS FOR BRACING INDIVIDUAL TRUSS MEMBERS ONLY. RESTRAINT OF LATERAL BRACING AND ADDITIONAL BRACING FOR OVERALL STRUCTURE IS TO BE PROVIDED BY DESIGNER OF COMPLETE STRUCTURE.

THE GANG-NAIL TRUSS

Automated Building Components, Inc.
 MIAMI, LOS ANGELES, CHARLOTTEVILLE, ATLANTA, TORONTO, LONDON, JOHANNESBURG, MELBOURNE, AUCKLAND, BRUSSELS, BARRIOS AZULES, MEXICO CITY, MARIKA.

MEMB.	MC	CSI (A)	CSI (B)	CSI (T)	PLF
TC					
BC					



GRADE OF LUMBER	MAXIMUM OVERHANG			
	W/ PLASTER		W/O UT PLASTER	
	2x4	2x6	2x4	2x6
#1 KD SO. PINE	2'-10"	4'-2"	3'-2"	4'-8"
#2 DENSE KD SO PINE	3'-0"	4'-6"	3'-3"	5'-0"
#1 KD SO. PINE	3'-2"	4'-11"	3'-5"	5'-4 1/2"
#1 DENSE KD SO. PINE	3'-2 3/4"	5'-0 1/4"	3'-5 3/4"	5'-5 3/4"

OVERHANG DETAIL

DESIGN & FABRICATION DATA	GANG-NAIL HARDWARE	LUMBER SPECIFICATIONS	DESIGN CRITERIA
DESIGN AND FABRICATION MEETS WITH LATEST REVISION OF: "NATIONAL DESIGN SPECIFICATIONS FOR STRESS-GRADE LUMBER AND ITS FASTENINGS" BY NFPA "TIMBER CONSTRUCTION STANDARDS" BY AITC AND "DESIGN SPECIFICATIONS FOR LIGHT METAL PLATE CONNECTED WOOD TRUSSES" BY TPI.	STAMPED FROM: GA. GALVANIZED STEEL. INFO. & SUPPLIED BY AUTOMATED BUILDING COMPONENTS, INC., MIAMI, FLORIDA OR OUR SUBSIDIARIES. INSTALL GANG-NAIL HARDWARE ON BOTH SIDES OF TRUSS FACE. NOTE POSITION PLATES SYMMETRICALLY ABOUT THE JOINT UNLESS OTHER DIMENSIONS ARE SHOWN. THIS "O" SYMBOL INDICATES THE POSITION OF PLATE IN RELATION TO WOOD MEMBERS.	TOP CHORD SEE TABLE BOTTOM CHORD WEBS	TOP CHORD LIVE LOAD = 30 P.S.F. DEAD LOAD = 15 P.S.F. BOTTOM CHORD LIVE LOAD = 0 P.S.F. DEAD LOAD = 10 P.S.F. TOTAL DESIGN LOAD = 55 P.S.F. TRUSS RAFTER SPACING = 24" OC UNIT STRESS INCREASE FOR SHORT TIME LOADING: GANG-NAIL 1.33 LUMBER 1.25 CH 20 LBS./MAIL LBS./IN. CH LBS./MAIL LBS./IN.

CHARTER MEMBER

DESIGNED BY: MHA
 DRAWN BY: RS
 APPROVED: [Signature]

DATE: 6-28-81
 JOB NUMBER: 7100
 DRAWING NUMBER: 13-691014
 ORIGINATING OFFICE MIAMI

MEMBER	FORCE	CHORDS	MEMBR	FORCE	CHORDS	SIZE	LUMBER DESCRIPTION	DESIGN CRITERIA	
FR-10	(LBS)	MEM DISP	FR-10	(LBS)	MEM DISP				
		FT-IN-5X			FT-IN-5X				
		DEPTH IN			DEPTH IN				
		(PLF)			(PLF)				
1 HL01 GN20 4.0X11.3 .25 1.00(12- 1)			1- 2	5959C	5- 7- 5	4.000	94.0	2-12 715C	TOP CH. LL= 40 PSF
2 IN11 GN20 2.0X 2.0			2- 3	5256C	4- 9- 9	4.000	94.0	3-12 444C	DL= 7 PSF
3 IN11 GN20 2.0X 2.3			3- 4	5256C	4- 9- 9	4.000	94.0	4-12 1241T	BOT CH. LL= 0 PSF
4 IN02 GN20 3.0X 5.1		1.75(4-11)	4- 5	3552C	4- 9- 9	4.000	94.0	4-11 1111C	DL= 10 PSF
5 PK11 GN20 5.0X 5.6 2.00			5- 6	3552C	4- 9- 9	-4.000	94.0	5-11 1002T	TOTAL LOAD= 57 PSF
6 IN02 GN20 3.0X 5.1		1.75(6-11)	6- 7	5256C	4- 9- 9	-4.000	94.0	6-11 1111C	SPACING= 24 IN. C/C
7 IN11 GN20 2.0X 2.3			7- 8	5256C	4- 9- 9	-4.000	94.0	6-11 1241T	INPUT DEFL. L/240
8 IN11 GN20 2.0X 2.8			8- 9	5256C	4- 9- 9	-4.000	94.0	6-10 1241T	INCREASES IF PER CENT
9 HL01 GN20 4.0X11.3 .25 1.00(9-10)			9-10	5653T	10- 4-14	0.000	20.0	0-10 444C	LUMBER= 15-NAIL= 15
10 IN03 GN20 4.0X 7.9 1.50 2.50(0-10)			10-11	4134T	9- 7- 2	0.000	20.0	0-10 716C	10N LS=15 NCM LS=15
11 IN03 GN20 5.0X 7.9 1.50 2.75(6-11)			11-12	4134T	9- 7- 2	0.000	20.0		
12 IN03 GN20 4.0X 7.9 1.50 2.50(2-12)			12- 1	5653T	10- 4-14	0.000	20.0		

SPLICES
 2- 3 SP10 GN20 3.0X 6.2
 7- 8 SP10 GN20 3.0X 6.2
 10-11 SP11 GN20 4.0X 7.9
 11-12 SP11 GN20 4.0X 7.9

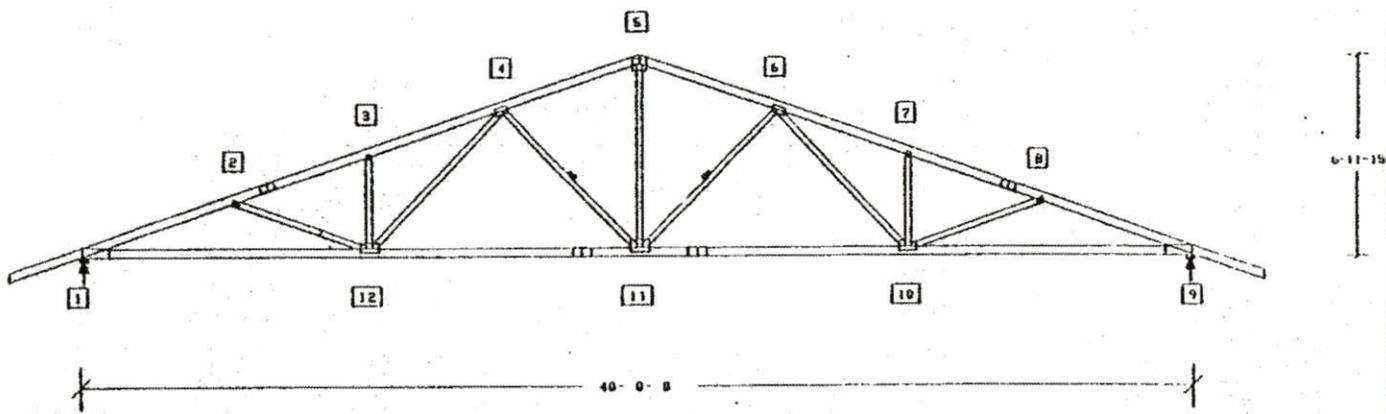
MAX. PURLIN SPACE= 8.0 FT. MAX. UNBRACED BOT. CH. LEN.= 10.0 FT.
 *** PLYWOOD SHEATHING REQUIRED ON TOP CHORD ***
 1-1X4 LAT. BRACE REQ. AT 1/2 LEN. MEBS 4-11 6-11

DESIGN SPECS. FOR LIGHT METAL PLATE CONNECTED HOOD TRUSSES, TPI, 1978

NOTE: LATERAL BRACES AND PURLINS INDICATED FOR TRUSS MEMBERS ARE REQUIRED TO REDUCE BUCKLING LENGTH OF MEMBER, AND SHOULD BE NAILED TO TRUSS MEMBERS WITH MINIMUM OF 2-100 NAILS. PROVISIONS MUST BE MADE AT ENDS OR SPECIFIED INTERVALS TO RESTRAIN OR ANCHOR LATERAL BRACING, BY OTHERS.

MINIMUM WOOD BEARING REQUIRED
 JT 1 9 IN 9 SX
 JT 9 9 IN 9 SX
 ADEQUATE WOOD TRUSS BEARING IS THE RESPONSIBILITY OF THE BUILDING DESIGNER

NAIL VALUES (TPI, NET)
 CHORDS MEBS
 MAX 11N 10X 11N
 GN20 177 177 177 177
 LEFT OVERLAP= 2- 6- 0
 RIGHT OVERLAP= 2- 6- 0



GROSS BRG
 JT REACT IN-5X
 1 2200 3- 8
 9 2200 3- 8
 CARVER= 8-3/0 HEEL= 4/16
 OVER THE HALL HEIGHT= 3'- 6" S

<p>Handling & Erection</p> <p>CABLES HANDLE OF COMPONENTS SHALL NOT BE PERMITTED. IMPORTANT AND PERMANENT BRACING FOR HOLDING COMPONENTS IN PLACE AND FOR PREVENTING LATERAL TOP-OVER SHALL BE OBTAINED AND INSTALLED BY OTHERS NO LATER THAN 30 DAYS AFTER THE COMPLETION OF THE TRUSS AND BEFORE THE TRUSS IS COVERED BY OTHERS. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE COMPLETE STRUCTURE.</p> <p>THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE COMPLETE STRUCTURE.</p> <p>THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE COMPLETE STRUCTURE.</p>	<p>Miscellaneous Information</p> <p>THIS DATA SHEET AND THE INFORMATION HEREON IS THE PROPERTY OF GANG-NAIL SYSTEMS, INC. AND IS NOT TO BE COPIED OR REPRODUCED IN ANY MANNER FOR ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF GANG-NAIL SYSTEMS, INC. THE USE OF THIS DRAWING SHALL BE RESTRICTED TO THE COMPLETE STRUCTURE.</p> <p>THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR THE COMPLETE STRUCTURE.</p>	<p>Bracing Information</p> <p>ALL LATERAL BRACING SPECIFIED IS FOR BRACING, INCLUDING AND INCLUDING AND MUST BE INSTALLED. THE BRACING SHOULD BE INSTALLED AS SHOWN OR AS SPECIFIED IN THE DRAWING. THE BRACING SHOULD BE INSTALLED AS SHOWN OR AS SPECIFIED IN THE DRAWING.</p>	<p>Connector Hardware</p> <p>CONNECTOR PLATES ARE MANUFACTURED IN ACCORDANCE WITH THE PLATE MUST BE INSTALLED ON BOTH SIDES OF THE MEMBER WITH THE PLATE MUST BE OF THE SIZE, GALVANIZED CAPACITY SHOULD REFER TO THE "MANUFACTURER'S JOINT PLATE SHEET FOR DEPENDENT JOINT TYPES AND PLATE LOCATIONS POSITION PLATES SHOULD BE INSTALLED ABOUT JOINTS UNLESS OTHER DIMENSIONS ARE SHOWN.</p>	<p>Lumber</p> <p>LUMBER MUST BE A GRADE LUMBER FROM AN APPROVED INSPECTION BUREAU AND MUST BE OF THE SIZE AND SPECIES SHOWN AND LOCAL YARDS AFTER THE BRACE SPACING.</p>	<p>Gang-Nail Systems, Inc. Atlanta • Ashland • Brantford • Denver • Detroit • Houston • Kansas City • Los Angeles • Miami • New York • Philadelphia • St. Louis • Toronto</p> <p>QUARTER MEMBER 03/09/20</p> <p>Design Criteria</p> <p>THE DESIGN AND THE MATERIAL SPECIFICATIONS IN THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE USER OF THIS DRAWING.</p> <p>TPI FH-2606</p>
--	--	---	--	---	--

IMPORTANT: READ ALL NOTES ON THIS DRAWING!

KW RESORT UTILITIES CORP.
P.O. BOX 2125 • 6630 FRONT STREET
KEY WEST, FLORIDA 33045

PHONE: 294-9578

4/24/86

Fred Losley
Summerland Electric
Maloney Ave., Stock Island
Key West, Fla.
33040

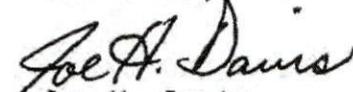
Sub: Blue Water Subdivision

Mr. Losley:

In response to your inquiry concerning future capacity of our facility to treat the sewage generated by your project I can say that we will be able to handle your sewage at the present time. Further, I can say that we don't expect to be at full capacity for at least two to four years so I foresee no problem with you tapping into our system. Also, we may or may not need the easement across your property but we appreciate your cooperation in this matter.

We are looking forward to handling all your sewage treatment and disposal problems in the future. If we can be of any assistance in the future don't hesitate to contact me at my office.

Sincerely,


Joe H. Davis,
Gen. Manager

KW RESORT UTILITIES CORP.
P.O. BOX 2125 • 6630 FRONT STREET
KEY WEST, FLORIDA 33045

PHONE: 294-9578

4/24/86

Fred Losley
Summerland Electric
Maloney Ave., Stock Island
Key West, Fla.
33040

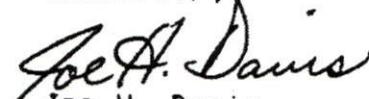
Sub: Blue Water Subdivision

Mr. Losley:

In response to your inquiry concerning future capacity of our facility to treat the sewage generated by your project I can say that we will be able to handle your sewage at the present time. Further, I can say that we don't expect to be at full capacity for at least two to four years so I foresee no problem with you tapping into our system. Also, we may or may not need the easement across your property but we appreciate your cooperation in this matter.

We are looking forward to handling all your sewage treatment and disposal problems in the future. If we can be of any assistance in the future don't hesitate to contact me at my office.

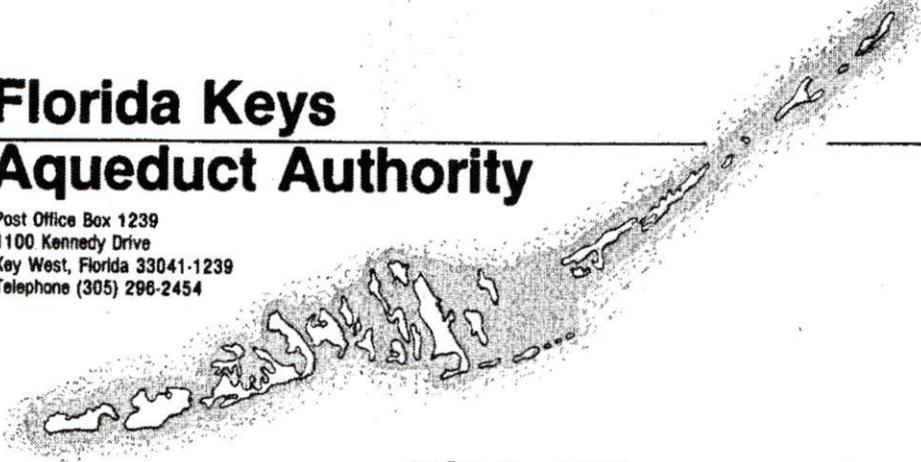
Sincerely,


Joe H. Davis,
Gen. Manager



Florida Keys Aqueduct Authority

Post Office Box 1239
1100 Kennedy Drive
Key West, Florida 33041-1239
Telephone (305) 296-2454



July 8, 1986

Mr. Fred Lasley
P.O. Box 2755
Key West, Florida 33040

RE: Lots 37, 38 and Part of Lot 14
Maloney Subdivision
Stock Island

Dear Mr. Lasley:

Enclosed please find your Water Main Inquiry. The Florida Keys Aqueduct Authority will place a water meter on Maloney Avenue in front of Lot 14 after you have paid all applicable fees. You will be responsible for any and all easements to get your service line to our water meter. If your part of Lot 14 does not front on Maloney Avenue, you could have a problem. Lots 37 and 38 do not border on any road.

If you have any questions, please do not hesitate to contact me.

Sincerely,

FLORIDA KEYS AQUEDUCT AUTHORITY

Emory H. Pierce
Staff Engineer

EHP/sh
Enclosure

Exhibit 2 for
Garland Smith
15

Florida Keys Aqueduct Authority (FKAA)
P.O. Box 1239
1100 Kennedy Drive
Key West, Florida 33041-1239
305-298-2454

WATER MAIN EXTENSION INQUIRY

DATE: 6-25-86
mh

- SINGLE FAMILY RESIDENCE
- MULTI-UNIT DWELLING*
- COMMERCIAL*

OWNER'S NAME AND MAILING ADDRESS:
Arrel Lasley
P O Box 2755
Key West FL

CONTRACTOR NAME AND ADDRESS (IF APPLICABLE):

TELEPHONE NO. 294-2029 *Garland Smith*

TELEPHONE NO. _____
 FKA Per: Emory Pierce

LOCATION: Water Service to Lot(s) 37, 38, part of 14 Block 46
 Subdivision Maloney Subdivision Key Stock Island
 Street Maloney Ave

As requested, the following information is provided on the above property:

1. FKA drawings indicate that there is an existing water main in front of the subject property on Maloney Ave, and it is adequate to provide water service to the subject lot. The above information is the best available to the FKA without extensive field verification. Should our record drawings be in error regarding size or location of the water main, the customer may still be required to extend or upgrade the water service in accordance with standard FKA policy.
2. Front footage is due for this lot, \$ _____ for _____ lineal feet, at \$ _____ per foot.
3. A water main extension will be required prior to installing water service to this lot. The minimum requirement for this extension is _____ lineal feet of _____" pipe, including valves and fittings, and will be subject to verification at the time application is made.

NOTE: NEW INSTALLATION FEES ARE IN ADDITION TO COST OF WATER MAIN EXTENSION, AT THE OWNER'S EXPENSE, IF REQUIRED.

***IF YOU ARE NOT BUILDING A SINGLE-FAMILY RESIDENCE, THEN PLANS MUST BE SUBMITTED TO THE FKA ENGINEERING DEPARTMENT, KEY WEST, FL.**

White Copy - Customer; Yellow Copy - Engineering; Pink Copy - Area Office

UNIT 1

UNIT 1

STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES



SEPTIC TANK CONSTRUCTION PERMIT

MANEVE County Health Dept. No. K126-83

Owner FREDERICK F. LOSLEY

For Installation At: 6630 PALMWAY AVE
1-25 Lots - Blue Water sub-Div. S.W. 1st

Drainfield Size 250 FT² Sand Filter Size _____

Septic Tank Capacity Minimum 750 gal.

Grease Trap Capacity Minimum _____

Dosing Tank _____ Drain Tile _____

- (a) Installation must be in accord with requirements of Chapter 10D-6, Florida Administrative Code.
- (b) Final inspection required before work is covered.
- (c) Permit void if not used within one year.
- (d) Approved installation does not guarantee performance.

Date of Application 9/6/83 Issue 9/7/83

Issued By Benja Mitchell

Verbal Approval from Homer Rhodes - Final Insp made 12-12-84

ST

X



THIS FINAL INSPECTION (HAS) ~~(NOT)~~ BEEN APPROVED.

**MONROE COUNTY
BUILDING DEPARTMENT**

DATE 10-23-87

INSPECTOR Joe Biskalik

PERMIT NUMBER 11872A

4 Units

Contractor: Veloso
Const.

Aqueduct
No I/A/C

MONROE COUNTY BUILDING DEPT.

NAME Fred A. Rosley
 AREA Plot 1 x 38 NW 2 of 64
 DATE RECEIVED 4-9-84 Blu
 1. Health Dept - 4/24/84
 2. zoning - 5/3/84
 3. Pl. Rec 5/10/84
 4. Ferry 5-15-84
 5. Ferry 5-15-84
 6. Blu
 DATE RETURNED _____

Transac Requiring
Rec 4/21/86 gwy

- ~~1. Need letter from Aqueduct~~
- ~~2. Need sealed sketch of surveys~~
- ~~3. Need contractor to sign application + Elec lic~~
- ~~4. Need cc of unit # septic tank approval~~

Before CO
 ① Landscaping
 ② Roadway
 per plans

No LCA Fill -
no sewerall

5-18-84
Called + advised
ready / pl.

Contractor
Veloza
Conet

4 unit
SFR

MONROE COUNTY BUILDING DEPT.

NAME

Fred A. Losley

AREA

20' x 13' + 38' + 1/2 of 14' + 1/2 of 35'

DATE RECEIVED

6-18-86

1.

W/S - hooking up to KW Utilities

2.

Spring 6-18-86

3.

Spike 7/10/86

4.

Permit 7-14-86

5.

Permit 7/14/86

6.

John 8/27/86

DATE RETURNED

"BIOLOGIST RECOMMENDS approval
AS PER MONROE COUNTY CODE."

1 Jan check w/ me on landscaping

Aqueduct
no A/C

ZONING Ru-3 PAGE 4

BY je DATE 7-2-86

ZONING REQUIREMENTS approved

BY je DATE 8/21/86

1. ~~Need FRAA Letter~~
2. ~~Need sub Contractor state # + verification~~

no LC or Fee

15950#

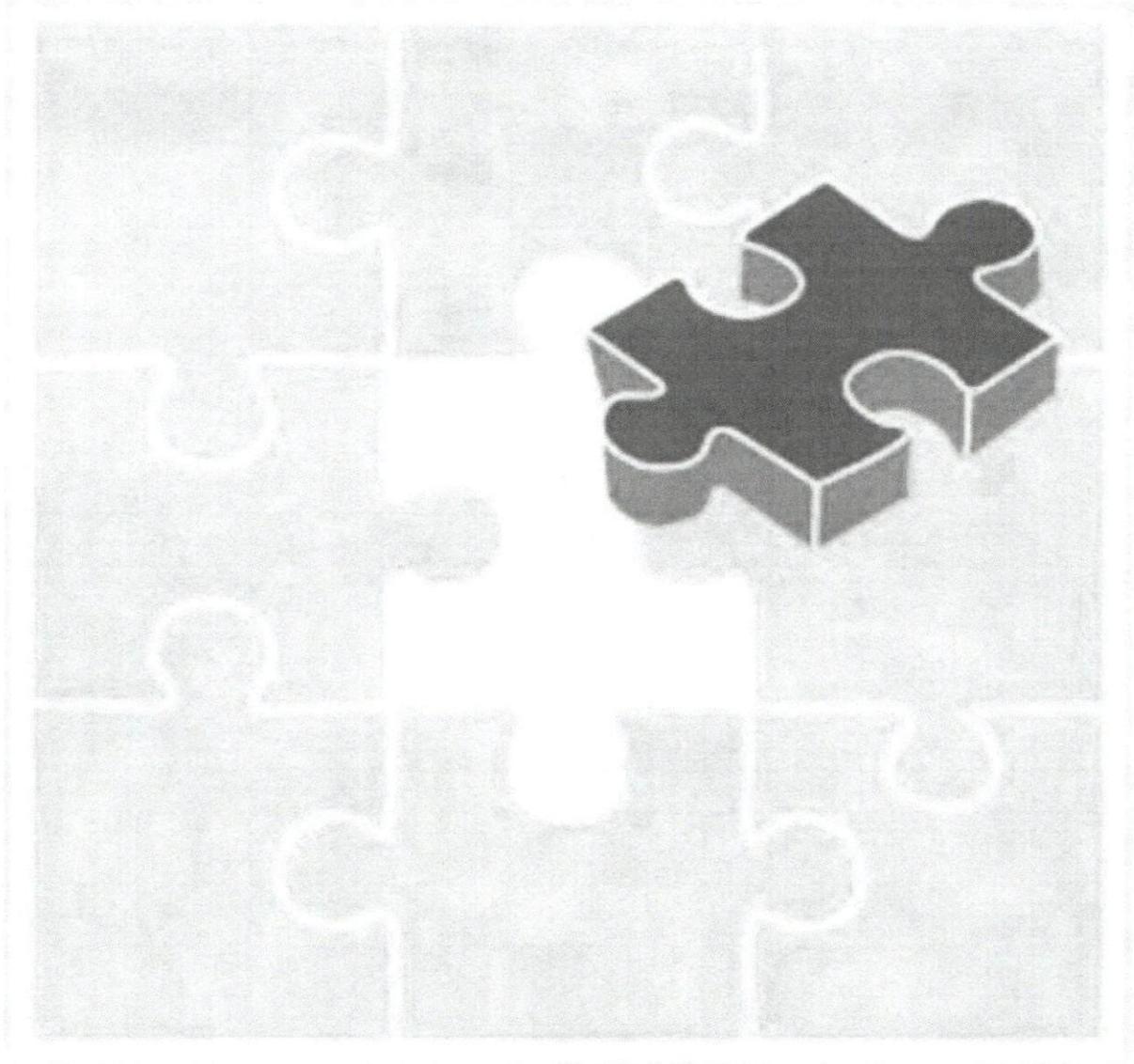


Exhibit B:
BP #A-15950

Monroe County Building Department
Upper / Middle / Lower Keys (circle one)

Permit #: A 15950

R/E #: 00127510-000000

Owner: FRED A. LOSLEY

Control #: 10-5200

OTHER PERMIT # A 11872

10
10

5

00127510-000000

3-7-89 Extension
Exhibit Request
Approved
needs inspection 4-89

BUILDING PERMIT
BUILDING AND ZONING DEPARTMENT
OF
MONROE COUNTY FLORIDA

DATE 8/27/86

PERMIT A 15950

THIS PERMIT SHALL ALLOW WORK (AS DEFINED UNDER WORK DESCRIPTION BELOW AND AS SHOWN AND SPECIFIED ON PLANS SUBMITTED AND ON FILE IN THE BUILDING DEPARTMENT OFFICES) TO BE PERFORMED ON THE FOLLOWING PROPERTY BY THE OWNER LISTED

13 & 38 and NW 1/4 of 14 & 37 Bluewater
LOT _____ BLOCK 46 SUBDIVISION _____ SEC 35 T 67 R 25
STREET OR ROAD Maloney Ave, Stock Island

OWNER Fred A. Losley PHONE 4-4633

MAILING ADDRESS P O Box 2755, Key West, Fl 33040

CONTRACTOR Veloso Construction CRCO 14292 PHONE 4-2151

MAILING ADDRESS 3501 Flagler Ave, Key West, Fl

WORK DESCRIPTION Four (4) Units - SINGLE FAMILY RESIDENCES - 1200 SF EACH with
~~Open Deck 612 SF, 600 SF Slab and Stairs~~

REMARKS Aqueduct and No A/C ESTIMATED VALUE \$264,000 00

Zone V12, Panel 1728

Elevation 11' above M S L

1 CERTIFICATE OF ELEVATION REQUIRED PRIOR TO CO

2. ~~Permit or exemption from SFWD prior to CO~~ *agreed*

HRS approval 6/13/86 contingent on all units connecting to treatment plant - PRIOR TO CO

3. FINAL DRIVEWAY MUST BE COMPLETED PRIOR TO CO
4. FINAL LANDSCAPING

PERMIT CARD MUST BE DISPLAYED ON STREET SIDE OF LOT IN PERMANENT, SUBSTANTIAL MANNER, AND IN A CONSPICUOUS SHELTERED LOCATION ACCESSIBLE TO THE INSPECTOR. PERMIT MUST REMAIN DISPLAYED UNTIL AFTER FINAL INSPECTIONS. ONE COPY OF APPROVED PLANS BEARING BUILDING DEPARTMENT STAMPS MUST BE KEPT ON THE JOB SITE, AVAILABLE TO THE INSPECTORS AT THE TIME OF ALL INSPECTIONS

BUILDING FEE \$1,188 00
PLUMBING FEE 564 00
ELECTRICAL FEE 468 00
TOTAL FEE \$1,970 00 BALANCE *- 250.00 app fee 420206*

THIS PERMIT BECOMES NULL AND VOID IF WORK IS NOT COMMENCED WITHIN THIRTY (30) DAYS OF ISSUANCE OR IF WORK IS SUSPENDED FOR A PERIOD EXCEEDING ONE HUNDRED AND TWENTY (120) DAYS ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK SHALL BE COMPLIED WITH THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY LOCAL STATE OR FEDERAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION THIS PERMIT IS NON TRANSFERABLE NON MARKETABLE AND NON ASSIGNABLE AND ANY ATTEMPTED TRANSFER SALE OR ASSIGNMENT OF SAID PERMIT SHALL RESULT IN THE AUTOMATIC REVOCATION OF SAID PERMIT

SIGNATURE OF OWNER CONTRACTOR OR AUTHORIZED AGENT *[Signature]*

ROBERT L. HEITMAN, BUILDING OFFICIAL

BY *[Signature]*

FAILURE TO COMPLY WITH THE MECHANICS LIEN LAW CAN RESULT IN THE PROPERTY OWNER PAYING TWICE FOR BUILDING IMPROVEMENTS

PERMIT A 15950

BUILDING PERMIT APPLICATION

MONROE COUNTY BUILDING AND ZONING DEPARTMENT
PLEASE PRINT OR TYPE - ONLY

PERMIT NO.: 15950A DATE: 5/14/86 1986

OWNER'S NAME: FRED A. LOSLEY PHONE: 294-4633

OWNER'S ADDRESS: P.O. BOX 2755 KEY WEST, FLORIDA 33040
(MAILING)

CONTRACTOR'S NAME: VELOSO CONSTRUCTION CERT. NO.: GRCO I4292

CONTRACTOR'S ADDRESS: 3501 FLAGLER AVE. K.W., FLA. PHONE: 294-2151

PROPERTY DESCRIPTION: KEY STOCK ISLAND LOT: 14 & 37 BLOCK: 46

SUBDIVISION BLUEWATER

STREET OR ROAD MALONEY AVE.

ZONING RU-3 M.S.L. _____ SECTION 35 TOWNSHIP 67 RANGE 25

PROPOSED CONSTRUCTION: 4-UNITS - SINGLE FAMILY RESIDENCES - 1200SF
EACH, OPEN DECK 612SF, STAIRS, 600SF SLAB

IS LAND CLEARING OR FILL REQUIRED FOR THIS CONSTRUCTION? YES _____ NO _____

SQUARE FEET _____ ESTIMATED TOTAL COST _____
ENCLOSED AREA

SUB-CONTRACTORS:

ELECTRICAL: SUMMERLAND ELECTRIC CERT. # EG310

PLUMBING: BURMAR PLUMBING CERT. # PG171

MECHANICAL: _____ CERT. # _____

UTILITIES: _____ SEPTIC TANK-HEALTH DEPT. PERMIT NO. _____
SEWAGE DISPOSAL: _____ PACKAGE PLANT - DER PERMIT NO. _____
CENTRAL SYSTEM _____
REMARKS: _____

WATER SUPPLY: _____ FCAA CONNECTION-WATER METER NO. _____
PRIVATE RO OR DE-SAL PLANT/DER PERMIT # _____
PRIVATE WELL _____
CISTERN _____
REMARKS: _____

GENERAL REMARKS: _____

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS APPLICATION AND KNOW THAT SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. THE GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISIONS OF ANY LOCAL, STATE OR FEDERAL LAWS REGULATING CONSTRUCTION OF THE PERFORMANCE OR CONSTRUCTION.

SIGNATURE: [Signature]
OWNER/CONTRACTOR

COST OF PERMIT: BUILDING \$ 1188.00
PLUMBING 564.00
ELECTRICAL 468.00
MISC. 0.00
TOTAL 2220.00
Application fees -250.00
\$ 1,970.00

4800 SF
X 55
\$ 264,000.00

APPROVED FOR ISSUANCE OF PERMIT:

[Signature]
BUILDING OFFICIAL, ASS'T. BUILDING OFFICIAL
6-18-86 420206

Monroe County Building Department



CERTIFICATE OF OCCUPANCY

OWNER FRED A. LOSLEY PERMIT NUMBER 15950A

THIS IS TO CERTIFY that the building located at LOTS 13 & 38 NW 1/4 of 14 and 37
BLOCK 46, MALONEY AVE.
BLUEWATER, STOCK ISLAND, for which permit has heretofore been issued,

has been completed according to plans and specifications filed in the office of the MONROE COUNTY

BUILDING INSPECTOR, and that the proposed use of the building, to wit, as a SINGLE FAMILY

4 separate units
RESIDENCES - complies with all the building and health laws and ordinances of MONROE COUNTY

and is approved for this use.

ALLOWABLE FLOOR LOAD PER SQUARE FOOT	MAXIMUM NUMBER OF PERSONS FOR EACH FLOOR
THE FOLLOWING INSPECTIONS HAVE BEEN MADE BY THIS DEPARTMENT ON THIS SITE:	
AUGERS, COLUMNS, INSULATION, ROUGH FRAMING, ROUGH PLUMBING, ROUGH ELECTRICAL,	
FINAL LANDSCAPE, FINAL DRIVE, FINAL ELECTRIC, FINAL PLUMBING, FINAL BUILDING.	
LETTER IN FILE ON CONNECTION TO KEY WEST UTILITIES RESORT CORP.	

DATED THIS 30th DAY OF AUGUST, 1990

CERTIFICATE NUMBER 90-45

Joe Paschall
BUILDING INSPECTOR

Fanny Waters
PLUMBING INSPECTOR

PER FINAL INSPECTION TICKET/Js
ELECTRICAL INSPECTOR

[Signature]
BUILDING OFFICIAL/ASS'T. BUILDING
OFFICIAL

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

This form is to be used for: 1) Post-FIRM construction only when the base flood information is available for the building site; and 2) Pre-FIRM buildings reted using Post-FIRM rules. Instructions for completing this form can be found on the reverse side.

FRED LOSLEY
BUILDING OWNER'S NAME

6630 MALONEY AVE,
STREET ADDRESS

APL-A/Unit-U Suite-8/Blkg.-8 NO. NO. ROUTE NOX NUMBER

LOTS 19 & 20, PR 4, PC, 151, BLUE WATERS SUBDIVISION
OTHER DESCRIPTION (Block and lot numbers, etc.)

STOCK ISLAND KEY WEST FLORIDA 33040
CITY STATE ZIP CODE

This form is to be completed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative should complete the information in Section I and may also complete the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information may also complete this form.

SECTION I BUILDING ELEVATION INFORMATION

- Using the Flood Insurance Manual or the NFIP Flood Insurance Application—Part 2 Worksheet, indicate the proper diagram number 5.
 - FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 15.58 feet NGVD. (or other datum—see #5)
 - FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level floor from the selected diagram is at an elevation of _____ feet NGVD (or other datum—see #5).
 - FIRM Zone AO. The floor used as the reference level from the selected diagram is 1 feet above highest natural grade next to the building (also enter in line 8). This value must be equal to or greater than the AO Zone flood depth number listed below. If no flood depth number is available, is the building's lowest floor (or reference level) elevated in accordance with the community's floodplain management ordinances? Yes No Unknown
 - Indicate the elevation datum system used in determining the above reference level elevations: NGVD Other (describe on back)
 - Indicate the elevation datum system used on the FIRM for base flood elevations: NGVD Other (describe on back)
- (ATTENTION: If the elevation datum used in measuring the elevations is different than that used on the FIRM, then the elevations provided must be converted to the datum system used on the FIRM.)*
- Is the reference level based on actual construction? Yes No
 * A "No" answer is only valid if the building does not have the reference level floor in place. Fill in the elevation based on construction drawings and do not complete question #8. If "No" is checked, this certification will be valid only for buildings in the course of construction. After construction of the reference level floor is completed, a post-construction elevation certificate will be required for continued flood insurance coverage.
 - Provide the following measurements using the natural grade next to the building (round to the nearest foot).
 - The reference level is:

1.5	<input type="checkbox"/> feet	<input checked="" type="checkbox"/> above	<input type="checkbox"/> below (check one) the highest grade.	<input type="checkbox"/> feet	<input type="checkbox"/> above	<input type="checkbox"/> below (check one) the highest grade.
	<input type="checkbox"/> feet	<input type="checkbox"/> above	<input type="checkbox"/> below (check one) the lowest grade.	<input type="checkbox"/> feet	<input type="checkbox"/> above	<input type="checkbox"/> below (check one) the lowest grade.
 - The garage floor (if applicable) is:

SECTION II FLOOD INSURANCE RATE MAP INFORMATION

Provide the following from the proper FIRM (see instructions on back—Date of FIRM) and accompanying insurance application:

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEV. (in AO Zone, use depth)	COMMUNITY ESTIMATED BASE FLOOD ELEVATION ESTABLISHED FOR ZONE A OR ZONE V, IF AVAILABLE
125129	1728	F	17 OCT. 89	AE	9	

Elevation reference mark used appears on FIRM Yes No (See reverse side for details)

SECTION III CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative can sign the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

JAMES B. CASE 2108
CERTIFIER'S NAME LICENSE NUMBER (or Affix Seal)

PROFESSIONAL LAND SURVEYOR CASE LAND SURVEYING
TITLE COMPANY NAME

P. O. BOX 283 SHIMMERLAND KEY FL. 33047
ADDRESS CITY STATE ZIP

James B. Case 13 JULY 90 305-745-7473
SIGNATURE DATE PHONE

The insurance agent should attach the original copy of the completed form to the flood insurance policy application. The second copy should be supplied to the policyholder and the third copy retained by the agent. The fourth copy is for the local community permit office, if required.

FOR OPTIONAL COMMUNITY USE: Is the reference level also the lowest floor under the community's floodplain management ordinances?
 YES NO If NO the elevation of the lowest floor is _____ feet NGVD.

ELEVATION CERTIFICATE

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

Exhibit 2
OMB 3057-007
EXPIRES: JUNE 30 1997

This form is to be used for: 1) Post-FIRM construction only when the base flood information is available for the building site; and 2) Pre-FIRM buildings rated using Post-FIRM rules. Instructions for completing this form can be found on the reverse side.

FRED LOSLEY POLICY NUMBER _____
 BUILDING OWNER'S NAME

6630 MALONEY AVENUE
 STREET ADDRESS

Apt./Unit/L Suite/S/Bldg. NO. ROUTE BOX NUMBER

LOTS 6 & 7, PB 4, PC 151, BLUE WATERS SUBDIVISION
 OTHER DESCRIPTION (Block and lot numbers, etc.)

STOCK ISLAND **KEY WEST** **FLORIDA** **33040**
 CITY STATE ZIP CODE

This form is to be completed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative should complete the information in Section I and may also complete the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information may also complete this form.

SECTION I BUILDING ELEVATION INFORMATION

1. Using the Flood Insurance Manual or the NFIP Flood Insurance Application—Part 2 Worksheet, indicate the proper diagram number 5
2. FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 15.61 feet NGVD. (or other datum—see #5)
3. FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level floor from the selected diagram is at an elevation of _____ feet NGVD (or other datum—see #5).
4. FIRM Zone AO. The floor used as the reference level from the selected diagram is feet above highest natural grade next to the building (also enter in line 8). This value must be equal to or greater than the AO Zone flood depth number listed below. If no flood depth number is available, is the building's lowest floor (or reference level) elevated in accordance with the community's floodplain management ordinances? Yes No Unknown
5. Indicate the elevation datum system used in determining the above reference level elevations: NGVD Other (describe on back)
6. Indicate the elevation datum system used on the FIRM for base flood elevations: NGVD Other (describe on back)
(ATTENTION: If the elevation datum used in measuring the elevations is different than that used on the FIRM, then the elevations provided must be converted to the datum system used on the FIRM.)
7. Is the reference level based on actual construction? Yes No
* A "No" answer is only valid if the building does not have the reference level floor in place. Fill in the elevation based on construction drawings and do not complete question #8. If "No" is checked, this certification will be valid only for buildings in the course of construction. After construction of the reference level floor is completed, a post-construction elevation certificate will be required for continued flood insurance coverage.
8. Provide the following measurements using the natural grade next to the building (round to the nearest foot).
 - a. The reference level is: feet above below (check one) the highest grade.
 - b. The garage floor (if applicable) is: feet above below (check one) the highest grade.

SECTION II FLOOD INSURANCE RATE MAP INFORMATION

Provide the following from the proper FIRM (see instructions on back—Date of FIRM) and accompanying insurance application:

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEV. (in AO Zone, use depth)	COMMUNITY ESTIMATED BASE FLOOD ELEVATION ESTABLISHED FOR ZONE A OR ZONE V, IF AVAILABLE
125129	1728	F	17 OCT. 89	AE	9	

Elevation reference mark used appears on FIRM Yes No (See reverse side for details)

SECTION III CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative can sign the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

JAMES B. CASE **2108**
 CERTIFIER'S NAME LICENSE NUMBER (or Affix Seal)

PROFESSIONAL LAND SURVEYOR **CASE LAND SURVEYING**
 TITLE COMPANY NAME

P O BOX 283 **SHIMMERLAND KEY** **FL 33047**
 ADDRESS CITY STATE ZIP

James B. Case **13 July 90** **305-745-7473**
 SIGNATURE DATE PHONE

The insurance agent should attach the original copy of the completed form to the flood insurance policy application. The second copy should be supplied to the policyholder and the third copy retained by the agent. The fourth copy is for the local community permit office, if required. THIS FORM MAY BE REPRODUCED.

FOR OPTIONAL COMMUNITY USE: Is the reference level also the lowest floor under the community's floodplain management ordinances?
 YES NO If NO the elevation of the lowest floor is _____ feet NGVD

ELEVATION CERTIFICATE
FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

OMB 3047-007
 EXPIRES: JUNE 30 1994

This form is to be used for 1) Post-FIRM construction only when the base flood information is available for the building site; and 2) Pre-FIRM buildings rated using Post-FIRM rules. Instructions for completing this form can be found on the reverse side.

FRED LOSLEY
 BUILDING OWNER'S NAME

6630 MALONEY AVE.
 STREET ADDRESS

LOTS 8 & 9, PR 4, PG 151, BLUE WATERS SUBDIVISION
 OTHER DESCRIPTION (Block and lot numbers, etc.)

STOCK ISLAND KEY WEST FLORIDA 33040
 CITY STATE ZIP CODE

This form is to be completed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative should complete the information in Section I and may also complete the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information may also complete this form.

SECTION I BUILDING ELEVATION INFORMATION

- Using the Flood Insurance Manual or the NFIP Flood Insurance Application—Part 2 Worksheet, indicate the proper diagram number 5
- FIRM Zones A1-A30, AE, AH, and A (with BFE). The top of the reference level floor from the selected diagram is at an elevation of 15.61 feet NGVD. (or other datum—see #5)
- FIRM Zones V1-V30, VE, and V (with BFE). The bottom of the lowest horizontal structural member of the reference level floor from the selected diagram is at an elevation of _____ feet NGVD (or other datum—see #5).
- FIRM Zone AO. The floor used as the reference level from the selected diagram is 11 feet above highest natural grade next to the building (also enter in line 6). This value must be equal to or greater than the AO Zone flood depth number listed below. If no flood depth number is available, is the building's lowest floor (or reference level) elevated in accordance with the community's floodplain management ordinances? Yes No Unknown
- Indicate the elevation datum system used in determining the above reference level elevations: NGVD Other (describe on back)
- Indicate the elevation datum system used on the FIRM for base flood elevations: NGVD Other (describe on back)
 (ATTENTION: If the elevation datum used in measuring the elevations is different than that used on the FIRM, then the elevations provided must be converted to the datum system used on the FIRM.)
- Is the reference level based on actual construction? Yes No
 * A "No" answer is only valid if the building does not have the reference level floor in place. Fill in the elevation based on construction drawings and do not complete question #8. If "No" is checked, this certification will be valid only for buildings in the course of construction. After construction of the reference level floor is completed, a post-construction elevation certificate will be required for continued flood insurance coverage.
- Provide the following measurements using the natural grade next to the building (round to the nearest foot).
 a. The reference level is:
 11.8 feet above below (check one) the highest grade.
 feet above below (check one) the lowest grade.
 b. The garage floor (if applicable) is:
 feet above below (check one) the highest grade.
 feet above below (check one) the lowest grade.

SECTION II FLOOD INSURANCE RATE MAP INFORMATION

Provide the following from the proper FIRM (see instructions on back—Date of FIRM) and accompanying insurance application:

COMMUNITY NO.	PANEL NO.	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEV. (in AO Zone, use depth)	COMMUNITY ESTIMATED BASE FLOOD ELEVATION ESTABLISHED FOR ZONE A OR ZONE V, IF AVAILABLE
125129	1728	F	17 OCT. 89	AE	9	

Elevation reference mark used appears on FIRM Yes No (See reverse side for details)

SECTION III CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30, AE, AH, A(with BFE), V1-V30, VE, and V(with BFE) is required. In the case of zone AO, the building official, the property owner, or the owner's representative can sign the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information, may also sign the certification. I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

JAMES B. CASE
 CERTIFIER'S NAME

2108
 LICENSE NUMBER (or Affix Seal)

PROFESSIONAL LAND SURVEYOR
 TITLE

CASE LAND SURVEYING
 COMPANY NAME

P O BOX 283
 ADDRESS

SHIMMERLAND KEY
 CITY

FL 33047
 STATE ZIP

James B. Case
 SIGNATURE

13 JULY 90
 DATE

305-745-7473
 PHONE

The insurance agent should attach the original copy of the completed form to the flood insurance policy application. The second copy should be supplied to the policyholder and the third copy retained by the agent. The fourth copy is for the local community permit office, if required.
 THIS FORM MAY BE REPRODUCED.

FOR OPTIONAL COMMUNITY USE: Is the reference level also the lowest floor under the community's floodplain management ordinances?
 YES NO If NO the elevation of the lowest floor is _____ feet NGVD.

ELEVATION CERTIFICATE

Exhibit 2
BIM-2007-207
EXPIRES: JUNE 30 1997

FEDERAL EMERGENCY MANAGEMENT AGENCY NATIONAL FLOOD INSURANCE PROGRAM

This form is to be used for 1) Post-FIRM construction only when the base flood information is available for the building and 2) Pre-FIRM buildings retrofitted using Post-FIRM rules. Instructions for completion of this form can be found on the reverse side.

FRED LOSLEY
BUILDING OWNER'S NAME

6630 MALONEY AVE
STREET ADDRESS

NO ROUTE **BOX NUMBER**

LOTS 17 & 18 PB 4 PC 151 BLUE WATERS SUBDIVISION
OTHER DESCRIPTION (Block and lot numbers, etc.)

STOCK ISLAND **KEY WEST** **FLORIDA 33040**
CITY STATE ZIP CODE

This form is to be completed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30 AE AH A(with BFE) V1 V30 VE and V(with BFE) is required. In the case of zone AO the building official, the property owner, or the owner's representative should complete the information in Section I and may also complete the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information may also complete this form.

SECTION I BUILDING ELEVATION INFORMATION

- 1 Using the Flood Insurance Manual or the NFIP Flood Insurance Application—Part 2 Worksheet indicate the proper diagram number 5.
 - 2 FIRM Zones A1-A30 AE AH and A (with BFE) The top of the reference level floor from the selected diagram is at an elevation of 15.53 feet NGVD (or other datum—see #5).
 - 3 FIRM Zones V1 V30 VE and V (with BFE) The bottom of the lowest horizontal structural member of the reference level floor from the selected diagram is at an elevation of _____ feet NGVD (or other datum—see #5).
 - 4 FIRM Zone AO The floor used as the reference level from the selected diagram is 11 feet above highest natural grade next to the building (also enter in line 8). This value must be equal to or greater than the AO Zone flood depth number listed below. If no flood depth number is available is the building's lowest floor (or reference level) elevated in accordance with the community's floodplain management ordinances? Yes No Unknown
 - 5 Indicate the elevation datum system used in determining the above reference level elevations: NGVD Other (describe on back)
 - 6 Indicate the elevation datum system used on the FIRM for base flood elevations: NGVD Other (describe on back)
- (ATTENTION: If the elevation datum used in measuring the elevations is different than that used on the FIRM, then the elevations provided must be converted to the datum system used on the FIRM.)
- 7 Is the reference level based on actual construction? Yes No
 A No answer is only valid if the building does not have the reference level floor in place. Fill in the elevation based on construction drawings and do not complete question #8. If No is checked, this certification will be valid only for buildings in the course of construction. After construction of the reference level floor is completed, a post-construction elevation certificate will be required for continued flood insurance coverage.
 - 8 Provide the following measurements using the natural grade next to the building (round to the nearest foot):
 - a The reference level is _____ feet above below (check one) the highest grade
 - b The garage floor (if applicable) is _____ feet above below (check one) the highest grade
 - 11 6 feet above below (check one) the highest grade
 _____ feet above below (check one) the lowest grade

SECTION II FLOOD INSURANCE RATE MAP INFORMATION

Provide the following from the proper FIRM (see instructions on back—Date of FIRM) and accompanying insurance application:

COMMUNITY NO	PANEL NO	SUFFIX	DATE OF FIRM	FIRM ZONE	BASE FLOOD ELEV (in AO Zone see depth)	COMMUNITY ESTIMATED BASE FLOOD ELEVATION ESTABLISHED FOR ZONE A OR ZONE V IF AVAILABLE
125129	1728	F	17 OCT 89	AC	9	

Elevation reference mark used appears on FIRM: Yes No (See reverse side for details)

SECTION III CERTIFICATION

This certification is to be signed by a land surveyor, engineer, or architect who is authorized by state law to certify elevation information when the elevation information for zones A1-A30 AE AH A(with BFE) V1 V30 VE and V(with BFE) is required. In the case of zone AO the building official, the property owner, or the owner's representative can sign the certification. Community officials who are authorized by local law or ordinance to provide floodplain management information may also sign the certification. I certify that the information on this certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code Section 1001.

JAMES B. CASE **2108**
CERTIFIER'S NAME LICENSE NUMBER (or A/E or P)

PROFESSIONAL LAND SURVEYOR **CASE LAND SURVEYING**
TITLE COMPANY NAME

P.O. BOX 283 **SHIMMERSLAND KEY** **FL. 33049**
ADDRESS CITY STATE ZIP

James B. Case **13 JULY 90** **305-745-2473**
SIGNATURE DATE PHONE

The insurance agent should attach the original copy of the completed form to the flood insurance policy application. The second copy should be supplied to the policyholder and the third copy retained by the agent. The fourth copy is for the local community permit office, if required.

FOR OPTIONAL COMMUNITY USE: Is the reference level also the lowest floor under the community's floodplain management ordinances?
 YES NO If NO the elevation of the lowest floor is _____ feet NGVD

BOARD OF COUNTY COMMISSIONERS
Monroe County, Florida

No 420206

OFFICE OF

Paulberg

FLORIDA

RECEIVED from

Theresa Elie Goodley

Date

6-18-88

FOR:

Quitting Report Application 250.00

OFFICER

By

[Signature]

TOTAL

\$

250.00

Exhibit 2

CHECKLIST FOR REVIEW OF BUILDING PERMITS

Owner's Name Fred Losley
 Date Received 7-9-86 Date Reviewed 7-9-86 Reviewer gle
 Description Lot Bluewaters "Subdivision" Block Stock Island Subdivision Stock Island
 Section 35 Township 67 Range 25
 Unity of Title _____

Zoning Classification RU-3 * Page 5

Lot Size 150 x 400 Substandard Lot Yes No _____

Principal and/or accessory use 4 more SFH's, ~~mult~~ because duplexes under future proposed LUP

(A) LOT AND BUILDING REQUIREMENTS

(1) Minimum living area	Duplex 20x30 = 600 sq. ft. efficient SFH 40x30 = 1200 sq. ft.	OK
(2) Minimum lot/project area	substandard 60,000 sq. ft.	OK
(3) Minimum lot depth	400'	OK
(4) Minimum lot width	(40' required per lot) - OK total substandard 150'	OK
(5) Minimum front yard/setback	50'	OK
(6) Minimum rear yard/setback	(55' from rear property line)	OK
(7) Minimum side yard/setback	- from property line 22' - OK - between buildings 26' and 35' - OK	OK OK
(8) Accessory buildings		NA
(9) Maximum building height	2 stories ~ 25'	OK
(10) Maximum percentage of lot coverage	gross 25%	OK
(11) Minimum setback from man-made waterway	55'	OK
(12) Minimum setback from natural waterway	55'	OK
(13) Maximum density, units per acre	- gross 6/acre (RU 4) (and RU 3) - net	OK

COMMENTS * also evaluated for RU-4 site plan, needs V-zone cut

Street name sign: _____ Lane or Drive

(B) SETBACK FROM AND ACCESS CONTROL ON U.S. 1 (19-93) DOT PERMIT	OK
(C) OFF-STREET PARKING AND LOADING FACILITIES (19-124-6) <i>ok except need covenant</i>	OK
(D) LANDSCAPING (19-127) (buffer zones) <i>Buffer - 5' wide dense evergreen flgs. E-W' high</i>	OK
(E) BASE FLOOD ELEVATION <u>11</u> ZONE <u>V-12</u> PANEL # <u>1728</u> <i>2.7 ft to 4.5' 19' 8" 155' 8" 8" 8"</i> * needs to show that finished grade is 4.5'	OK
V ZONE CERTIFICATION	OK
(F) DRAINAGE (19-151) SFWMD PERMIT	NA
(G) ARCHITECT'S/ENGINEERS SEAL <i>But for duplexes, should all plans be sealed?</i>	NA
(H) TOILET AND LAVATORY FACILITIES	NA.
(I) ENVIRONMENTAL CONCERNS - land clearing permits - fill permits <i>driveway in SPZ</i>	NA
(J) HANDICAPPED ACCESSIBILITY (M.C.C. 6-20, SBCC) - wheelchair ramps - handicapped parking	NA
(K) GENERAL PROVISIONS (19-220) - facing of business uses - access to business uses - screening of business property	NA

COMMENTS:

ALL ADDITIONS, ALTERATIONS AND BUILDING OR SITE IMPROVEMENTS OF ALL TYPES MUST SHOW:

1. Floor plan for any type of building alterations or additions together with elevations, sections and details.
2. Its relationship to main building and/or other structures on the site.
3. All relationships to M.S.L. and flood plain regulations as required by Ordinance#05-1986.
4. Fences, wall, rip-rap, etc. shall be shown on a site plan and the relationship to all structures on the site.
5. All relationships shall be shown by dimension, elevations (finished and proposed), distances to property lines, canals, open water, dunes or berms and any other areas that are deemed critical concern.

Exhibit 2

ELECTRICAL PERMIT WORK SHEET

Applicant's Name Lud Lody Date 7-14-86
 Applicant's Address _____
 Lot _____ Block _____ Subdivision _____

1.	Outlets - Rough	No. <u>9014</u>	@	<u>.96</u>	= \$	<u>180⁰⁰</u>
2.	Oven Range Tops	No. <u>4</u>	@	<u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
3.	Water Heaters	No. <u>4</u>	@	<u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
4.	Refrigerators	No. <u>4</u>	@	<u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
5.	Dryers	No. <u>4</u>	@	<u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
6.	Clothes Washer	No. <u>4</u>	@	<u>6⁰⁰</u>	= \$	<u>24⁰⁰</u>
7.	Dishwasher	No. _____	@	_____	= \$	_____
8.	Disposal	No. _____	@	_____	= \$	_____
9.	Space Heater	No. _____	@	_____	= \$	_____
10.	Fans	No. _____	@	_____	= \$	_____
11.	Motors	No. _____	@	_____	= \$	_____
	Other	No. _____	@	_____	= \$	_____
12.	Service <u>150 A</u>	No. <u>4</u>	@	<u>21⁰⁰</u>	= \$	<u>84⁰⁰</u>
13.	Sub-Feeds <u>10</u>	No. <u>4</u>	@	<u>21⁰⁰</u>	= \$	<u>84⁰⁰</u>
	Other	No. _____	@	_____	= \$	_____
14.	Pool Lights	No. _____	@	_____	= \$	_____
15.	Pool Light Transform.	No. _____	@	_____	= \$	_____
16.	Time Clock	No. _____	@	_____	= \$	_____
17.	Elevators	No. _____	@	_____	= \$	_____
18.	Generators Transform.	No. _____	@	_____	= \$	_____
19.	Spec. Purpose Outlet	No. _____	@	_____	= \$	_____
20.	A/C Wall Unit	No. _____	@	_____	= \$	_____
21.	A/C Electric	No. _____	@	_____	= \$	_____
22.	A/C Tonnage	No. _____	@	_____	= \$	_____
23.	A/C Ducts	No. _____	@	_____	= \$	_____
24.	Temp. Service	No. _____	@	_____	= \$	_____
	Other	No. _____	@	_____	= \$	_____
	Other	No. _____	@	_____	= \$	_____

TOTAL\$ 468⁰⁰

BUILDING PERMIT WORK SHEET

APPLICANT'S NAME FRED WOSLEY

APPLICANT'S ADDRESS _____

1. FIRST FLOOR	<u>1200</u>	SQ. FT.			
2. SECOND FLOOR	_____	SQ. FT.			
3. THIRD FLOOR	_____	SQ. FT.			
4. ADDITIONAL FLOORS	_____	SQ. FT.			
TOTAL OF ALL FLOORS	<u>1200</u>	SQ. FT. @	<u>18.00 x 12</u>	PER SQ. FT. =	<u>216.00</u>
5. ACCESSORY BUILDINGS	_____	SQ. FT. @	_____	PER SQ. FT. =	_____
6. REMODELING & ALTERATIONS	\$ _____	VALUATION @	_____	=	_____
7. MISC. STRUCTURES	\$ _____	VALUATION @	_____	=	_____
8. SIDEWALKS	_____	SQ. FT. @	_____	PER SQ. FT. =	_____
9. FENCES	_____	LN. FT. @	_____	PER LN. FT. =	_____
10. SEAWALLS	_____	LN. FT. @	_____	PER LN. FT. =	_____
11. OTHER <u>OPEN DECK</u>	<u>612^{sq}</u>		<u>9.00 PER 100^{sq} x 7</u>		<u>63.00</u>
12. OTHER <u>SLAB</u>	<u>600^{sq}</u>		<u>18.00 PER 100^{sq} x 1</u>		<u>18.00</u>
13. OTHER _____	_____		_____		_____
14. OTHER _____	_____		_____		_____
15. OTHER _____	_____		_____		_____

TOTAL COST OF PERMIT 297.00

REMARKS: THERE ARE FOUR UNITS \$ 297.00 x 4 = \$ 1188.00

SIGNATURE William Yukel
BUILDING INSPECTOR

PLUMBING PERMIT WORKSHEET

APPLICANT'S NAME Fred A. Lasley DATE 7/10/86
 APPLICANT'S ADDRESS Stock No. 134 3804 37 4 units 5-6-7-8 B46 Welton

1.	Sinks	# <u>4</u>	@ <u>900</u>	<u>3600</u>
2.	Lavatories	# <u>8</u>	@ <u>900</u>	<u>7200</u>
3.	Slop sinks or service sinks	#	@	
4.	Showers	# <u>8</u>	@ <u>900</u>	<u>7200</u>
5.	Toilets	# <u>8</u>	@ <u>900</u>	<u>7200</u>
6.	Urinals	#	@	
7.	Drinking fountains	#	@	
8.	Dishwashers	# <u>4</u>	@ <u>900</u>	<u>3600</u>
9.	Disposals	# <u>4</u>	@ <u>900</u>	<u>3600</u>
10.	Washing machines	# <u>4</u>	@ <u>900</u>	<u>3600</u>
11.	Floor drains	#	@	
12.	Grease traps	#	@	
13.	Septic tank & drainfield	#	@	
14.	Swimming pools	#	@	
15.	Hoods	#	@	
16.	Electric or gas water heaters	# <u>4</u>	@ <u>900</u>	<u>3600</u>
17.	Air Conditioners	#	@	
18.	Air Conditioning ducts	#	@	
19.	Water service connections	# <u>4</u>	@ <u>1200</u>	<u>4800</u>
20.	Sewer Connections	# <u>4</u>	@ <u>3000</u>	<u>12000</u>
21.	others	#	@	
22.	others	#	@	
23.	others	#	@	
24.	others	#	@	
25.	others	#	@	

TOTAL FEE \$ 564.00

Signature M. E. Padron 81
 PLUMBING INSPECTOR

DATE 7-10-90 TIME REC.: _____
 INSPECTOR K
 TYPE INSPECTION Final Driveway
 PERMIT NUMBER 15950 A
 LOT 13,38 BLOCK 46 SEC. _____
 SUBDIVISION Bluewater
 OWNER Losley
 INSPECTORS SIGN [Signature]
 DATE OF INSPECTION 7-10-90
 STREET Malony
 KEY Stock Isl.
 CALLER: _____
 CONTRACTOR: _____

8-7-90
~~7-10-90~~ TIME REC.: _____
 INSPECTOR STEVANSON
 TYPE INSPECTION FL
 PERMIT # 15950A
 LOT 13,38 BLOCK 46
 SUBDIVISION Maloney Subd.
 OWNER Fred Losley
 INSPECTORS SIGN D. STEVANSON
 DATE OF INSPECTION 8-8-90
 STREET Malony (6630)
 KEY Stock Isl.
 Harvel's 294-4633
 CALLER - _____
 CONTRACTOR - 1:00

DATE 4-7-90 TIME REC.: [Signature]
 INSPECTOR [Signature]
 TYPE INSPECTION F. Elec. 4 units
 PERMIT # 15950A
 LOT 13-38 BLOCK _____
 SUBDIVISION Bluewater
 OWNER Losley
 INSPECTORS SIGN [Signature]
 DATE 4-7-90
 STREET Malony
 KEY Stock Island
 PERMIT: _____
 DATE OF ISSUANCE _____
 CALLER - _____
 CONTRACTOR - _____

DATE 12 13 89 TIME REC.: _____
 INSPECTOR Larry
 TYPE INSPECTION R. P.
 PERMIT # 15950 A
 LOT 13-138 BLOCK 48
 SUBDIVISION Blue Water
 OWNER Fred Losley
 INSPECTORS SIGN Larry Waters
 DATE 12 12 89
 STREET Maloney ave 5630
 KEY Stock Island
 PERMIT: if people living in Building
no power. Fred should
see patten.
 DATE OF ISSUANCE _____
 CALLER - Fred Losley
 CONTRACTOR - _____

DATE 5-24 TIME REC: _____
 INSPECTOR JCP
 TYPE INSPECTION F. BLDG.
 PERMIT # ~~11872~~ 15950
 LOT 13-31 BLOCK 46
 SUBDIVISION BLUE WATER
 OWNER LOSLEY
 INSPECTORS SIGN [Signature]
 DATE 5-24-90 JL
 STREET MALONEY
 KEY STOCK 15.

PERMIT:
 DATE OF ISSUANCE _____
 CALLER - _____
 CONTRACTOR - _____

DATE 11-29-89 TIME _____
 INSPECTOR JCP
 TYPE INSPECTION R-Pls
 PERMIT # 15950A
 LOT _____ BLOCK _____
 SUBDIVISION _____
 OWNER Losley
 INSPECTORS SIGN [Signature]
 DATE 11-29-89
 STREET Mc Donald
 KEY 01 Maloney

PERMIT:
 DATE OF ISSUANCE _____
 CALLER - _____
 CONTRACTOR - _____

DATE 10-5-89 TIME REC: _____
 INSPECTOR JCP
 TYPE INSPECTION Insulation
 PERMIT # 15950A
 LOT UNIT #3 BLOCK lot 13-
 SUBDIVISION Maloney
 OWNER Losley
 INSPECTORS SIGN [Signature]
 DATE 10-5-89
 STREET Maloney Ave
 KEY _____

CALLER - _____
 CONTRACTOR - _____

DATE 9-21-89 TIME 9:00
 INSPECTOR Larry
 TYPE INSPECTION INSULATION
 PERMIT # 15950A
 LOT 13 BLOCK _____
 SUBDIVISION Maloney
 OWNER Losley
 INSPECTORS SIGN Samuel Waters
 DATE 9-22-89 where is it?
 STREET Maloney Ave 11630
 KEY Stock Island

check to see if this permit
 is still valid?
 CALLER - Fred Losely
 CONTRACTOR - _____

DATE 6 13 88 TIME REC: 930 E 17-14-87 TIME

INSPECTOR LARRY PECTOR Joe

TYPE INSPECTION R. Plumb E INSPECTION Column Steel

PERMIT # 15950 A MIT # 15950 A

LOT 13 + 38 BLOCK 46 BLOCK

SUBDIVISION Blue Water DIVISION

OWNER Fred Losley ER 605/04

INSPECTORS SIGN Larry Waters PECTORS SIGN OK [Signature]

DATE 6 13 88 E 12/29/87

STREET Maloney Ave. STREET [Signature]

KEY Stock Island KEY Maloney Ave.

*
STEEL FROM AUGERS
T ENOUGH [Signature] ON

CALLER -
CONTRACTOR -

DATE 8-5-89 TIME

INSPECTOR Bill

TYPE INSPECTION Augers

PERMIT # 15950 A

LOT 613829 1/2 BLOCK

SUBDIVISION Blue Water Sub.

OWNER Losley

INSPECTORS SIGN [Signature]

DATE 8/4/89

STREET Maloney Ave.

KEY STOCK ISLAND

✓ *

CALLER -
CONTRACTOR -

DATE 1-2-90 TIME REC: *

INSPECTOR Larry

TYPE INSPECTION F. Aug.

PERMIT # 15950 A

LOT 28 BLOCK 1

SUBDIVISION Blue Water

OWNER Losley

INSPECTORS SIGN Larry Waters

DATE 4 2 90

STREET Maloney

KEY Stock Island

DATE OF ISSUANCE

CALLER -
CONTRACTOR - Losley

DATE <u>8-16-89</u> TIME REC: _____	<u>7-28</u> TIME REC: _____
INSPECTOR <u>Larry</u>	INSPECTOR <u>FRED</u>
TYPE INSPECTION <u>R.P.</u>	INSPECTION <u>PL ?</u>
PERMIT # <u>15950</u>	T # <u>15950</u>
LOT <u>13</u> BLOCK <u>46</u>	<u>13</u> BLOCK <u>46</u>
SUBDIVISION _____	VISION _____
OWNER <u>Losley</u>	<u>LOSLEY</u>
INSPECTORS SIGN <u>No</u>	CTORS SIGN <u>No</u>
DATE _____	DATE _____
STREET <u>Maloney</u>	REET <u>MALONEY</u>
KEY <u>Stock Island</u>	Y <u>STOCK 15</u>

CALLER -
CONTRACTOR -

R -
RACTOR -

DATE 4-3-89 TIME REC: _____

INSPECTOR Ju

TYPE INSPECTION R. Elm other

PERMIT # 15950A

LOT 13-14 BLOCK 46

SUBDIVISION Bluewater

OWNER Losley

INSPECTORS SIGN JL

DATE 4-3-89

STREET _____

KEY _____

CALLER -
CONTRACTOR -

DATE 3-8-89 TIME REC: _____

INSPECTOR Ju

TYPE INSPECTION FRAMING ROUGH

PERMIT # 15950A

LOT 13-38 BLOCK 46

SUBDIVISION BLUE WATER

OWNER FRED A. LOSLEY

INSPECTORS SIGN Joe Proskalik

DATE 3-10-89

STREET Maloney Ave.

KEY _____

CALLER -
CONTRACTOR -

DATE 6-9-88 TIME REC _____
 INSPECTOR Larry
 TYPE INSPECTION R. Elec
 PERMIT # 15950A
 LOT 13-38 BLOCK 46
 SUBDIVISION Blue Water
 OWNER Fred Lasky
 INSPECTORS SIGN No
 DATE _____
 STREET Maloney
 KEY Stock Island

CALLER - FRED Lasky Electrical Co
 CONTRACTOR - BUMAR.

DATE 6-7-88 TIME REC _____
 INSPECTOR Jac
 TYPE INSPECTION Fire
 PERMIT # 15950A
 LOT 13-38 BLOCK _____
 SUBDIVISION Blue Water
 OWNER Lasky
 INSPECTORS SIGN Joe Baskala
 DATE 6-3-88 oh
 STREET Maloney
 KEY STOCK ISLAND

CALLER - _____
 CONTRACTOR - _____

DATE 10-16-88 TIME REC _____
 INSPECTOR Jac
 TYPE INSPECTION R. Elec
 PERMIT # 15950A
 LOT 13-38 BLOCK _____
 SUBDIVISION Blue water
 OWNER Lasky
 INSPECTORS SIGN J
 DATE 10-16-88
 STREET Maloney
 KEY _____

CALLER - _____
 CONTRACTOR - _____

DATE 6-3-88 TIME REC _____
 INSPECTOR Jac
 TYPE INSPECTION Par R. Elec
 PERMIT # 15950A
 LOT 13-38 BLOCK _____
 SUBDIVISION Blue water
 OWNER Lasky
 INSPECTORS SIGN J
 DATE 6-7-88
 STREET Maloney
 KEY _____

CALLER - _____
 CONTRACTOR - _____

FINAL APPROVAL
STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES

SEPTIC TANK PERMIT

Monroe County Health Dept. No. K69-84
Owner: Fred Losley
Installed At: #66 Maloney Ave. Stock Island
UNIT 4
Called By: Pinewood
Inspection By: M. Watson
Infield Size: 270 Sand Filter Size _____
Septic Tank Capacity: 900 Grease Trap _____
Inlet Tank _____ Drain Tile _____
Type of Tank: Concrete

- (a) The approval of septic tank construction does not guarantee performance.
- (b) If sanitary Sewerage becomes available, Connection is Required Within 365 Days after availability notification.

By: M. Watson Date 8/20/86

FORM 4016, Aug 78 (Replaces San-428)

FINAL APPROVAL
STATE OF FLORIDA
DEPARTMENT OF HEALTH
& REHABILITATIVE SERVICES

SEPTIC TANK PERMIT

Monroe County Health Dept. No. K67-84
Owner: Fred Losley
Installed At: #66 Maloney Ave. Stock Island
UNIT 2
Called By: Pinewood
Inspection By: M. Watson
Infield Size: 255 Sand Filter Size _____
Septic Tank Capacity: 900 Grease Trap _____
Inlet Tank _____ Drain Tile _____
Type of Tank: Concrete

- (a) The approval of septic tank construction does not guarantee performance.
- (b) If sanitary Sewerage becomes available, Connection is Required Within 365 Days after availability notification.

By: M. Watson Date 8/20/86

FORM 4016, Aug 78 (Replaces San-428)

~~TRUCK~~
DATE 11 29 89 TIME REC: _____
INSPECTOR Larry R.P.
TYPE INSPECTION R.P.
PERMIT # 15950 A
LOT 13, 38 BLOCK 46
SUBDIVISION Blue Water
OWNER Fred Losley
INSPECTORS SIGN Larry Waters
DATE 11 30 89
STREET Maloney ave
KEY Stock Island

PERMIT:
DATE OF ISSUANCE

CALLER -
CONTRACTOR -

DATE 8 18 89 TIME _____
INSPECTOR Larry
TYPE INSPECTION R.P.
PERMIT # 15950
LOT 13 BLOCK _____
SUBDIVISION _____
OWNER Fred Losley
INSPECTORS SIGN Larry Waters
DATE 8 19 89
STREET Maloney ave
KEY Stock Island

CALLER - Fred Losley
CONTRACTOR -

Exhibit 2

**KW RESORT UTILITIES CORP.
P.O. BOX 2125 • 6630 FRONT STREET
KEY WEST, FLORIDA 33045**

PHONE: 294-9578

8/27/90

To Whom It May Concern:

KW Resort Utilities has extended its mains and service connections to the eight units in the Bluewater Subdivision on Stock Island in Monroe County and the utility has the capacity to collect, treat, and dispose of the sewage generated by the above mentioned development.

Joe Davis,


General Manager

Monroe County Building Department



CERTIFICATE OF OCCUPANCY

RE 00127510-000000

OWNER FRED A. LOSLEY PERMIT NUMBER 15950A

THIS IS TO CERTIFY that the building located at LOTS 13 & 38 NW 1/2 of 14 and 37
BLOCK 46, MALONEY AVE.
BLUEWATER, STOCK ISLAND, for which permit has heretofore been issued,

has been completed according to plans and specifications filed in the office of the MONROE COUNTY

BUILDING INSPECTOR, and that the proposed use of the building, to wit, as a SINGLE FAMILY

RESIDENCES - 4 separate units complies with all the building and health laws and ordinances of MONROE COUNTY

and is approved for this use.

ALLOWABLE FLOOR LOAD PER SQUARE FOOT	MAXIMUM NUMBER OF PERSONS FOR EACH FLOOR
THE FOLLOWING INSPECTIONS HAVE BEEN MADE BY THIS DEPARTMENT ON THIS SITE:	
AUGERS, COLUMNS, INSULATION, ROUGH FRAMING, ROUGH PLUMBING, ROUGH ELECTRICAL,	
FINAL LANDSCAPE, FINAL DRIVE, FINAL ELECTRIC, FINAL PLUMBING, FINAL BUILDING.	
LETTER IN FILE ON CONNECTION TO KEY WEST UTILITIES RESORT CORP.	

DATED THIS 30th DAY OF AUGUST, 1990

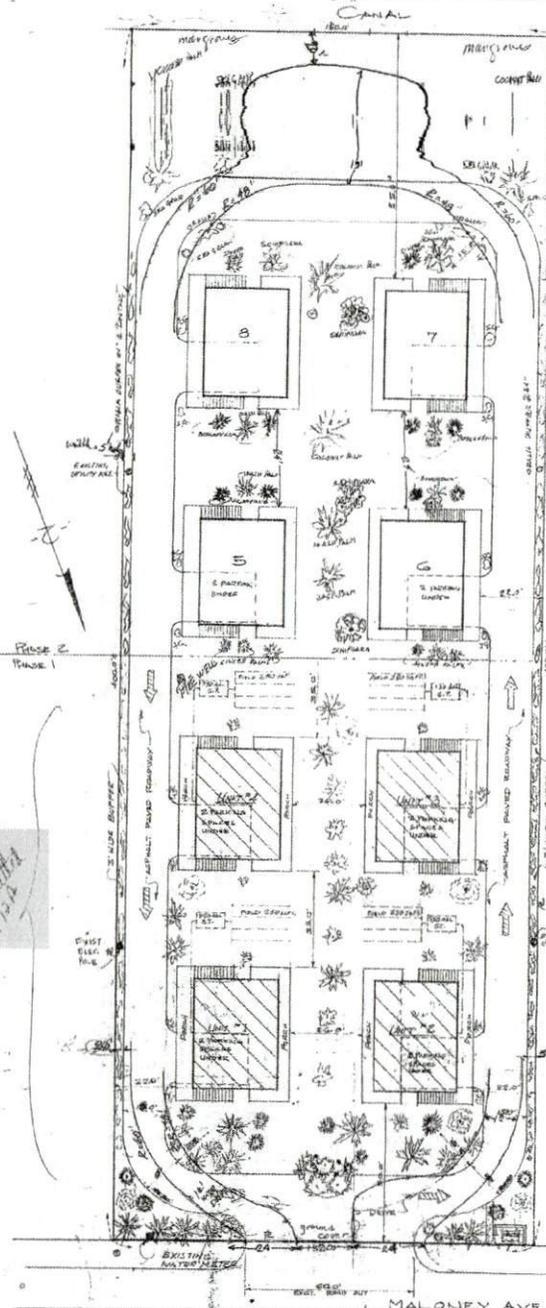
CERTIFICATE NUMBER 90-45

Joe Trankovich
BUILDING INSPECTOR

Larry White
PLUMBING INSPECTOR

PER FINAL INSPECTION TICKET/js
ELECTRICAL INSPECTOR

[Signature]
BUILDING OFFICIAL/ASS'T. BUILDING
OFFICIAL

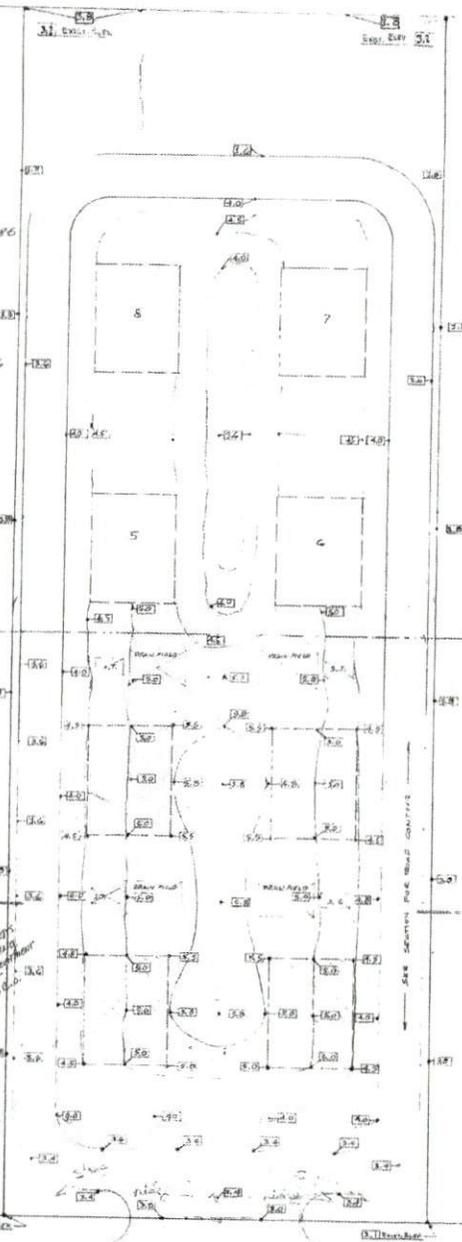


FLOOD ZONE CATEGORIZATION V-12
 BASE FLOOD ELEVATION 11'
 PANEL NO. 1728
 BY: J. J. [Signature]
 ZONING P.U.S. 4
 BY: J. J. [Signature]
 ZONING REQUIREMENTS approval
 BY: J. J. [Signature]

APPROVED CONTINGENT ON ALL CITY PERMITS
 TO BE OBTAINED TO CONDUCT CONSTRUCTION
 TO BE OBTAINED TO CONDUCT CONSTRUCTION
 TO BE OBTAINED TO CONDUCT CONSTRUCTION

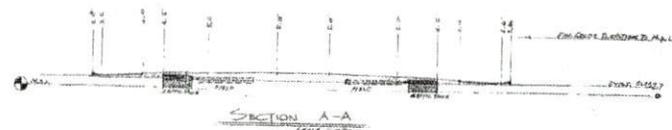
Street sign: Blue Water Lane
 Sand sign: exit only

SITE PLAN - PHASE 2 PLANNING PLAN

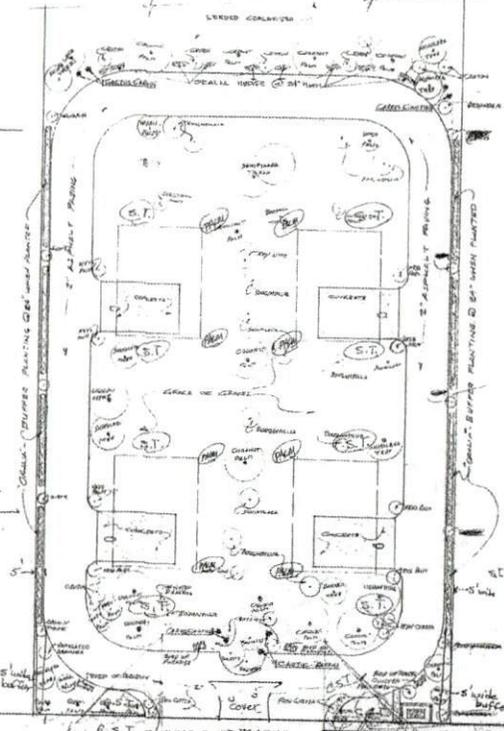


MALONEY AVE.

SITE GRADING PLAN



GENERAL INFORMATION
 ZONING P.U.S. 4
 LOT SIZE 20,000 SQ. FT.
 TOTAL BUILDING AREA 7,800 SQ. FT.
 LOT COVERAGE 12.00 %
 UNIT FLOOR AREA 1,200 SQ. FT.
 ALL LIGHTS ARE TO BE CONNECTED TO TREATMENT PLANT



ground cover (choice)
 - asparagus fern
 - spider lily
 - wild coffee
 - gaultheria

Suggested
 choices for
 low shrubs
 for CLESE SHOT
 TRIANGLE:

- coccoloba
 - medea bush
 - gray necked pod
 - scabroia

ST = Shade trees
 Syringa london
 Wald hornbeam
 Willow bush
 mauve
 salix

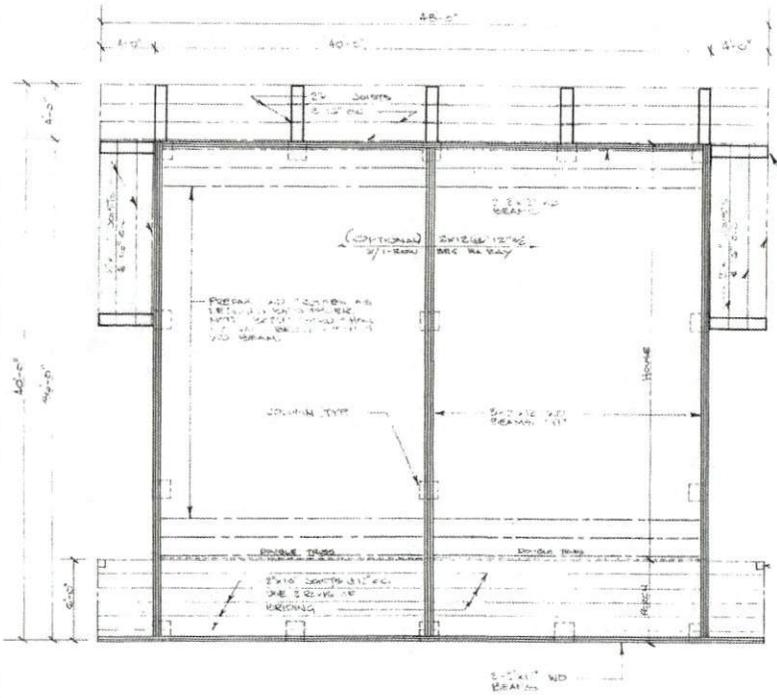
G.B.T. CLEAR EXIST TRIANGLE
 HERE & PARK MAX 3' HIGH
 MALONEY AVE.

PLANNING & PAVING PLAN

DATE: 10-1-84	BY: J. J. [Signature]
SCALE: 1" = 20'	PROJECT NO. 159150
SITE DEVELOPMENT PLAN	
WORKS PROVIDED BY CLIENT	

A 1855

NO.	REVISIONS	BY



BEAM AND FLOOR FRAMING PLAN
1/4" = 1'-0"



COLUMN AND FOUNDATION PLAN
1/4" = 1'-0"

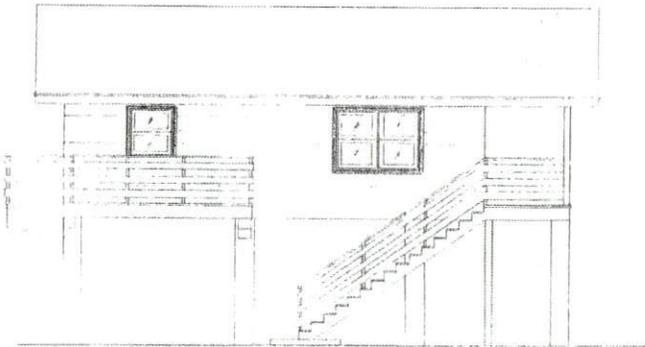
MJK
5-7-88

BLUE WATER HOMES

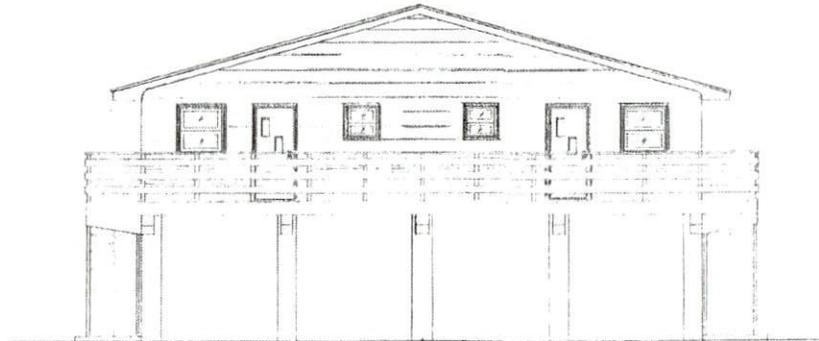
DATE	5-7-88
CHECKED	
BY	
SCALE	AS NOTED
NO.	185
SHEET	2
OF	5 SHEETS

A 158.50

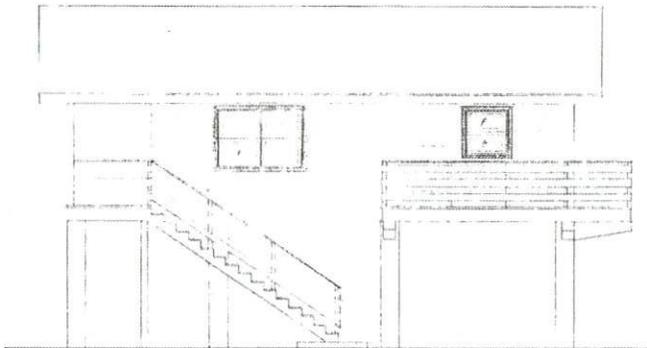
REVISIONS	BY



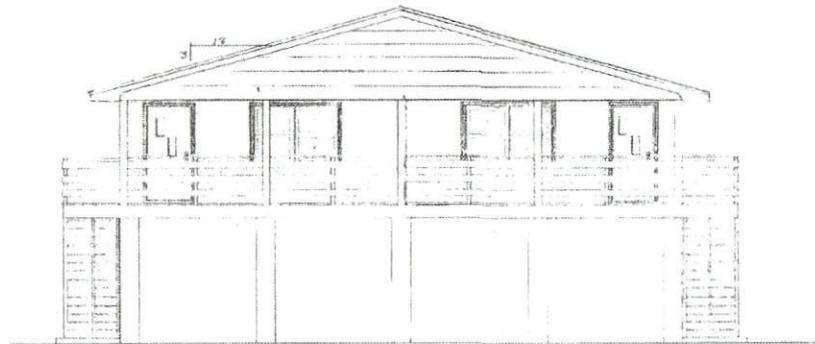
LEFT ELEVATION



REAR ELEVATION



RIGHT ELEVATION



FRONT ELEVATION

BLUEWATER HOMES

DRAWN	RCD
CHECKED	
DATE	8-20
SCALE	AS NOTED
PROJECT NO.	186
SHEET	4
OF	5 SHEETS

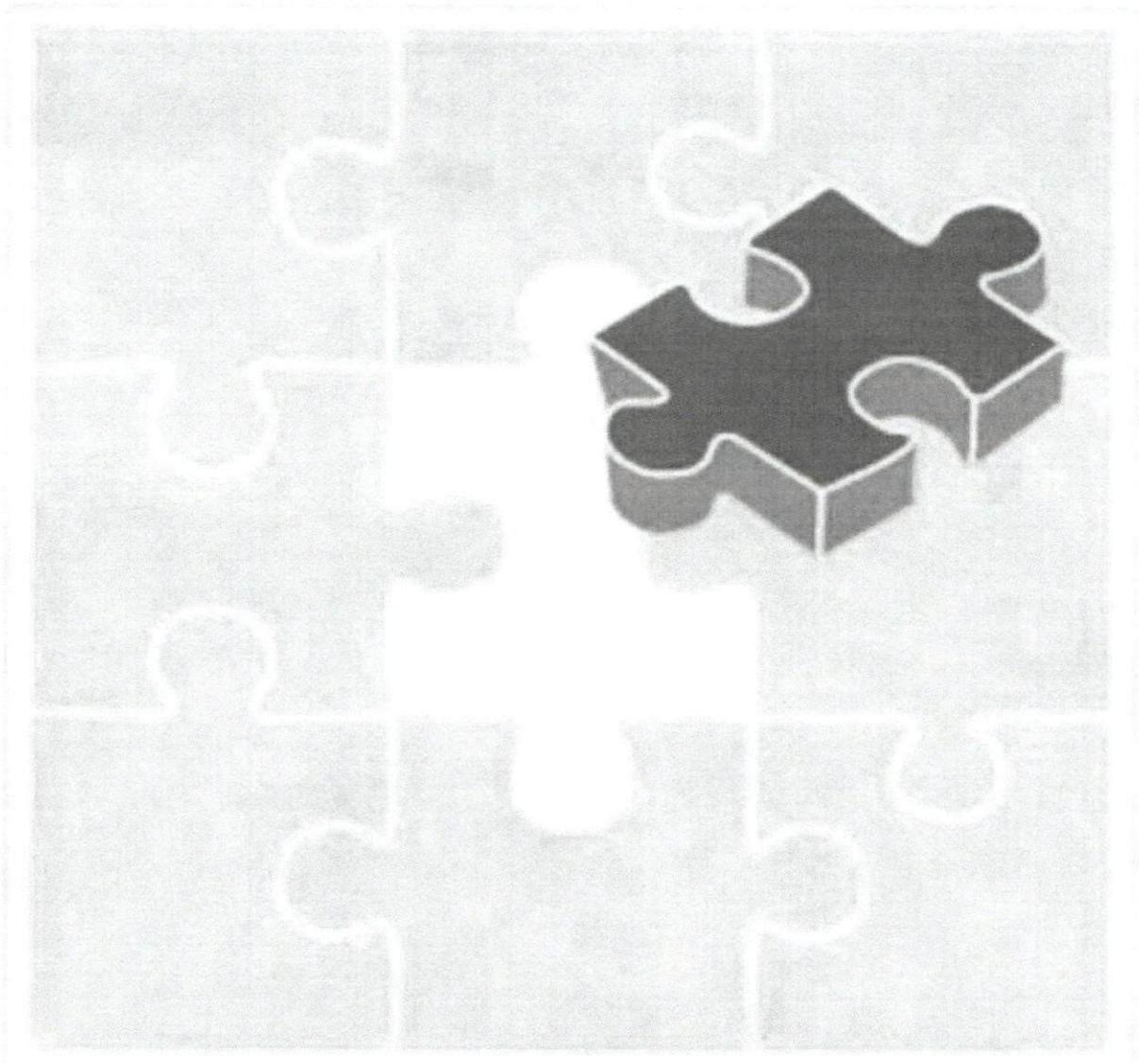


Exhibit C:
BP #8910000344